

Council Chamber
Hillsdale City Hall
97 N. Broad Street
Hillsdale, MI 49242

June 16, 2014
07:00 p.m.
(517)437-6441
www.cityofhillsdale.org

CITY COUNCIL AGENDA

CITY OF HILLSDALE
REGULAR MEETING

1. Call to Order and Pledge of Allegiance
2. Roll Call
3. Approval of Agenda
4. Public Comments on Agenda Items
5. Consent Agenda
 - A. Approval of Bills from claims of June 5, 2014 Claims of \$200,025.36 Payroll of \$88,164.40
Invoice Distribution Report 6.5.14
 - B. Committee Reports (Pending Approval):
 - C. Council Minutes of June 2, 2014
6.2.14
 - D. Budget Amendments
Bonnie's Memo
Amendments
6. Communications/Petitions
7. Introduction and Adoption of Ordinance/Public Hearing
 - A. Public Hearing - IFT Metallist, Inc
CM Memo

Assessor Memo

Impact Sheet

EDC Review Memo

Resolution

8. Unfinished Business

A. Local Streets Maintenance

B. Code Enforcement - May 2014

Code Violations PD

New Enforcements

Closed Enforcements

Open Enforcements

Pictures

C. Clerk/Treasurer Duties and Hours

9. Old Business

10. New Business

A. Ordinance Amendments

CM Memo

Zoning Administrator Memo

B. Contract for Professional Engineering Services RS&H Michigan, Inc. -
Airport

CM Memo

Agreement

C. Granicus

CM Memo

D. City of Hillsdale Clean Water State Revolving Fund Project Plan (Resolution)

CM Memo

BPU Memo

Resolution

E. Contract for Brush Grinding and Removal

CM Memo

Bid Recommendation

Brush Grinding Contract

Advertisement

Brush Grinding Specifications

F. Great American Parade/July 3rd Fireworks Display

CM Memo

Night Magic Fireworks Agreement

Permit

G. HBA Cruise-In - Agreement for Use Portion of Street

CM Memo

Agreement

11. Miscellaneous

12. General Public Comment

13. Adjournment

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 GENERAL FUND					
Dept 000.000	2014-15 WORKER'S COMPENSATION -	MICHIGAN MUNICIPAL WC FU	2014-15 WORKERS COMPENSATION INS	33,032.60	72459
101-000.000-123.000	EMPLOYEE CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	5,429.14	
101-000.000-228.003				38,461.74	
Total For Dept 000.000					
Dept 101.000 CITY COUNCIL	NAME PLATE & HOLDER FOR TIM WEL	CURRENT OFFICE SOLUTIONS	NAME PLATE/HOLER FOR NEW COUNCIL MEMB	22.99	72436
101-101.000-726.000	SUUPPLIES FOR COUNCIL	VISA	PHOTO COLLAGE POSTERS - COUNCIL MEETI	31.50	72477
101-101.000-726.000				54.49	
Total For Dept 101.000 CITY COUNCIL					
Dept 172.000 CITY MANAGER	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	581.48	
101-172.000-716.000	PHOTO CON. UNIT LP126C - CM COP	CURRENT OFFICE SOLUTIONS	NAME PLATE/HOLER/PHOTOCON UNIT FOR CO	223.90	72436
101-172.000-726.000	HAMMERMILL LASER PRINT PAPER/CO	STOCKHOUSE CORPORATION	PRINTER/COPY PAPER	138.74	72473
101-172.000-726.000				944.12	
Total For Dept 172.000 CITY MANAGER					
Dept 174.000 ECONOMIC DEVELOPMENT	COPIER RENT/COPIES FOR ECONOMIC	CURRENT OFFICE SOLUTIONS	COPIER RENTALS FOR JUNE/MAY COPIES	26.05	72436
101-174.000-801.000				26.05	
Total For Dept 174.000 ECONOMIC DEVELOPMENT					
Dept 175.000 ADMINISTRATIVE SERVICES	TECH SUPPORT FOR JUNE 2014	NONIK TECHNOLOGIES, INC.	TECH SUPUPORT FOR JUNE 2014	1,540.00	72461
101-175.000-801.000	SITE PLAN REVIEW - HILLSDALE CO	FLEIS & VANDENBRINK	AUDITORIUM ADDITION/WEST ST	590.49	72439
101-175.000-807.000				2,130.49	
Total For Dept 175.000 ADMINISTRATIVE SERVICES					
Dept 191.000 ELECTIONS	WAGES FOR MAY 6, 2014 SPECIAL E	DAWN JOHNSON	SPECIAL ELECTION FOR MAY 6, 2014	318.75	72420
101-191.000-801.000	MAY 6, 2014 SPECIAL ELECTION MI	DAWN JOHNSON	SPECIAL ELECTION FOR MAY 6, 2014	71.68	72420
101-191.000-860.000				390.43	
Total For Dept 191.000 ELECTIONS					
Dept 209.000 ASSESSING DEPARTMENT	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	432.92	72436
101-209.000-716.000	MESSAGE BOOK	CURRENT OFFICE SOLUTIONS	OFFICE SUPPLIES	14.97	72477
101-209.000-726.000	SUPPLIES FOR ASSESSING OFFICE	VISA	I PAD COVER/CALCULATOR	116.46	72436
101-209.000-801.000	COPIER RENT/COPIES FOR ASSESSIN	CURRENT OFFICE SOLUTIONS	COPIER RENTALS FOR JUNE/MAY COPIES	155.84	72436
101-209.000-801.000				720.19	
Total For Dept 209.000 ASSESSING DEPARTMENT					
Dept 215.000 CITY CLERK DEPARTMENT	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	108.65	72467
101-215.000-716.000	COILS OF FOREVER STAMPS	HILLSDALE POSTMASTER	POSTAGE STAMPS	490.00	72436
101-215.000-734.000	COPIER RENTALS/COPIES CLERK'S O	CURRENT OFFICE SOLUTIONS	COPIER RENTALS FOR JUNE/MAY COPIES	149.01	72436
101-215.000-801.000				747.66	
Total For Dept 215.000 CITY CLERK DEPARTMENT					
Dept 219.000 FINANCE DEPARTMENT	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	302.91	72448
101-219.000-716.000				302.91	72448
Total For Dept 219.000 FINANCE DEPARTMENT					
Dept 253.000	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	30.64	72450
101-253.000-716.000	2013 PILOT DISTRIBUTION	HILLSDALE CO. I.S.D.	2013 PILOT DISTRIBUTUION	5,252.97	72450
101-253.000-964.000	TRAILER FEES 7/1/13 - 6/30/14	HILLSDALE COUNTY TREASUR	TRAILER FEES FY 2013-14	1,185.00	72450
101-253.000-964.000	2013 PILOT DISTRIBUTION	HILLSDALE COUNTY TREASUR	2013 PILOT DISTRIBUTION	9,310.86	72450
101-253.000-964.000	2013 MSHDA FEES FOR 2013 PILOT	STATE OF MICHIGAN	2013 PILOT DISTRIBUTION	40,415.07	72472
101-253.000-964.000	2013 PILOT DISTRIBUTION	HILLSDALE COMMUNITY SCHO	2013 PILOT DISTRIBUTUION	2,524.44	72449

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 GENERAL FUND					
Dept 253.000		Total For Dept 253.000		58,718.98	
Dept 265.000 BUILDING AND GROUNDS					
101-265.000-726.000	PAPER PRODUCTS FOR CITY HALL	CURRENT OFFICE SOLUTIONS	PAPER TOWELS/T PAPER/AIR FRESHNERS/LI	325.91	72436
101-265.000-726.000	WATER - CITY HALL	HEFFERNAN SOFT WATER SER	WATER	34.00	72447
101-265.000-726.000	WATER - CITY HALL	HEFFERNAN SOFT WATER SER	WATER	19.75	72447
101-265.000-801.000	RUGS FOR CITY HALL	CINTAS CORPORATION	RUGS FOR CITY HALL	20.00	72434
101-265.000-801.000	RUGS FOR CITY HALL	CINTAS CORPORATION	RUGS FOR CITY HALL	20.00	72434
101-265.000-801.000	RUGS FOR CITY HALL	CINTAS CORPORATION	RUGS FOR CITY HALL	20.00	72434
101-265.000-801.000	PEST CONTROL - SPIDER MITES @	PEST PATROL	GENERAL PEST CLEAN OU = SPIDER MITES	150.00	72466
101-265.000-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	1,664.35	72429
101-265.000-925.000	TELEPHONE SERVICE FOR JUNE 2014	AT&T	TELEPHONE SERVICE JUNE 2014	129.97	72425
101-265.000-930.000	2ND FLOOR DRINKING FOUNTAIN	BRIGG'S PLUMBING & HEATI	SHUT OFF WATER SUPPLY DRINKING FOUNTA	74.00	72372
101-265.000-930.000	CONCRETE & REBAR #63882	BECKER & SCRIVENS	CONCRETE/REBAR	369.20	72428
		Total For Dept 265.000 BUILDING AND GROUNDS		2,827.18	
Dept 266.000 PARKING LOTS					
101-266.000-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	332.34	72429
		Total For Dept 266.000 PARKING LOTS		332.34	
Dept 276.000 CEMETERIES					
101-276.000-726.000	GERANIUM/SPIKES FOR OAK GROVE	GLEI'S, INC.	GERANIUM, SPIKES FOR OAK GROVE	21.56	72444
101-276.000-801.000	PORTABLE RESTROOM RENTAL #6221	ABS RENTAL SERVICES, LLC	PORTABLE RESTROOM RENTAL	160.00	72421
101-276.000-801.000	TEMP EMPLOYEES #27120671	MANPOWER OF LANSING	TEMP EMPLOYEES W/E 5/18/2014	637.26	72457
101-276.000-801.000	TEMP EMPLOYEES #27151413	MANPOWER OF LANSING	TEMP EMPLOYEES W/E 5/25/2014	723.12	72457
101-276.000-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	236.54	72429
		Total For Dept 276.000 CEMETERIES		1,778.48	
Dept 295.000 AIRPORT					
101-295.000-726.000	WATER - AIRPORT	HEFFERNAN SOFT WATER SER	WATER	19.75	72447
101-295.000-726.000	WATER - AIRPORT	HEFFERNAN SOFT WATER SER	WATER	10.25	72447
101-295.000-801.000	DUMPSTER @ AIRPORT	REPUBLIC SERVICES OF KAL	DUMPSTER @ AIRPORT	115.24	72470
101-295.000-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	619.47	72429
101-295.000-925.000	TELEPHONE SERVICE FOR JUNE 2014	AT&T	TELEPHONE SERVICE JUNE 2014	44.98	72425
		Total For Dept 295.000 AIRPORT		809.69	
Dept 301.000 POLICE DEPARTMENT					
101-301.000-716.000	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	8,830.47	72427
101-301.000-726.000	REF NO. 0032514000419 - RECORDS	BANK OF AMERICA-LEGAL OR	FEE FOR RECORDS REQUEST RE COMPLAINT	35.32	72460
101-301.000-726.000	INV. NO. 1228 - AMERICAN FLAG	MICHIGAN STATE INDUSTRIE	AMERICAN FLAGS	24.95	72462
101-301.000-726.000	INV. NO. 460515/CASLER-BADGE/WA	NYE UNIFORM COMPANY	RETIREMENT BADGE/WALLET (CASLER)	102.43	72462
101-301.000-742.000	INV. NO. 464287/SIMS-SHIRTS/PAN	NYE UNIFORM COMPANY	S/S SHIRTS/PANTS(SIMS)	268.85	72462
101-301.000-742.000	INV. NO. 465371/BRENDEL-SHIRTS/	NYE UNIFORM COMPANY	S/S SHIRTS/PANTS (BRENDEL)	206.00	72462
101-301.000-801.000	INV. NO. 287243202540X05252014	AT & T MOBILITY	NETWORK ACCESS FEE FOR IN-CAR MOBILE	53.75	72424
101-301.000-801.000	COPIER RENT FOR POLICE	CURRENT OFFICE SOLUTIONS	COPIER RENTALS FOR JUNE/MAY COPIES	8.25	72436
		Total For Dept 301.000 POLICE DEPARTMENT		9,530.02	
Dept 336.000 FIRE DEPARTMENT					
101-336.000-716.000	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	1,964.09	72460
101-336.000-726.000	INV. NO. 1228 - AMERICAN FLAG	MICHIGAN STATE INDUSTRIE	AMERICAN FLAGS	24.95	72465
101-336.000-730.000	INV. NO. 1-1100907 - BM TIRE WE	PERFORMANCE AUTOMOTIVE	TIRE WET/TIREFOAM	16.57	72441
101-336.000-742.000	INV. NO. 001973222 - 2PR PANTS	GALL'S, INC.	CLOTHING (PANTS) HAWKINS/PAUKEN	84.98	72441
101-336.000-742.000	INV. NO. 002016052 - DUTY BOOTS	GALL'S, INC.	DUTY BOOTS/HAWKINS SHOE ALLOWANCE 201	76.94	72441
101-336.000-801.000	INV. NO. 351671142 05/15/14	CINTAS CORPORATION	CONTRACTUAL LINEN SERVICE	13.68	72434

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 GENERAL FUND					
Dept 336.000 FIRE DEPARTMENT					
101-336.000-801.000	INV. NO. 351672328 05/29/14	CINTAS CORPORATION	CONTRACTUAL LINEN SERVICE	13.68	72434
101-336.000-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	652.45	72429
Total For Dept 336.000 FIRE DEPARTMENT				2,847.34	
Dept 441.000					
101-441.000-716.000	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	313.81	
101-441.000-726.000	WATER - DPS	HEFFERNAN SOFT WATER SER	WATER	19.75	72447
101-441.000-726.000	WATER - DPS	HEFFERNAN SOFT WATER SER	WATER	15.00	72447
101-441.000-726.000	NITRILE GLOVES, BOWL CAGE, URINA	KSS ENTERPRISES	T PAPER/GLOVES/LINERS	178.74	72454
101-441.000-742.000	"	CINTAS CORPORATION	RUGS/UNIFORMS - DPS	38.00	72434
101-441.000-742.000	"	CINTAS CORPORATION	RUGS/UNIFORMS - DPS	38.00	72434
101-441.000-801.000	MAY 2014 COMPOST WINDROW TURNIN	BRODBECKS, LLC	MAY 2014 COMPOST WINDROW TURNING	1,750.00	72434
101-441.000-801.000	"	CINTAS CORPORATION	RUGS/UNIFORMS - DPS	42.87	72434
101-441.000-801.000	"	CINTAS CORPORATION	RUGS/UNIFORMS - DPS	37.36	72434
101-441.000-801.000	COPIER RENTAL/COPIES FOR DPS	CURRENT OFFICE SOLUTIONS	COPIER RENTALS FOR JUNE/MAY COPIES	112.87	72436
101-441.000-801.000	4 YARD DUMPSTER RENTAL - DPS	MANPOWER OF LANSING	TEMP EMPLOYEES W/E 5/18/2014	61.76	72457
101-441.000-801.000	ELECTRIC UTILITY FOR MAY 2014	REPUBLIC SERVICES OF KAL	4 YARD DUMPSTER RENTAL - DPS	119.80	72470
101-441.000-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	402.24	72429
Total For Dept 441.000				3,130.20	
Dept 448.000					
101-448.000-920.202	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	5,528.46	72429
101-448.000-920.203	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	234.90	72429
Total For Dept 448.000				5,763.36	
Dept 756.000 PARKS					
101-756.000-726.000	CONCRETE #63883	BECKER & SCRIVENS	CONCRETE/REBAR/SEALER	1,008.25	72428
101-756.000-726.000	QUICK SLEEVES #10497	BOARD OF PUBLIC UTILITIE	QUICK SLEEVES, STREET LIGHT MAINTENAN	51.84	72429
101-756.000-726.000	GRY SPRAY PAINT #A57845	GELZER & SON INC.	PAINT	21.96	72442
101-756.000-726.000	KEY #C98369	GELZER & SON INC.	KEYS	1.99	72442
101-756.000-726.000	TOILET PAPER, NITRILE GLOVES, CL	KSS ENTERPRISES	T PAPER/GLOVES/LINERS	119.60	72454
101-756.000-726.000	GARDEN HOSE, SPRINKLER TRIPODS,	TSC STORES	HOSE, SPRINKLER TRI-PODS, LINE	167.32	72475
101-756.000-726.000	CONCRETE DRESSING, MORTAR, FENC	BECKER & SCRIVENS	CONCRETE DRESSING, MORTAR, FENCE POST	388.00	72428
101-756.000-726.000	BRICK SET, CHISEL #C98148	GELZER & SON INC.	BRICK SET, CHISEL	26.78	72442
101-756.000-726.000	ANCHOR, BOLTS, SCREWS, CAUTION TAP	GELZER & SON INC.	PAINT, BRICK SET, CHISEL, BOLTS, SCRE	34.41	72442
101-756.000-801.000	RC 60 TRACK LOADER RENTAL #0640	ABS RENTAL SERVICES, LLC	PORTABLE RESTROOM RENTAL	580.00	72421
101-756.000-801.000	"	D-P EQUIPMENT CO.	TRACK LOADER RENTAL - USED @ SANDY BE	895.66	72437
101-756.000-801.000	"	MANPOWER OF LANSING	TEMP EMPLOYEES W/E 5/18/2014	24.10	72457
101-756.000-801.000	"	MANPOWER OF LANSING	TEMP EMPLOYEES W/E 5/25/2014	108.48	72457
101-756.000-801.000	STREET LIGHT MAINTENANCE #10498	BOARD OF PUBLIC UTILITIE	QUICK SLEEVES, STREET LIGHT MAINTENAN	127.29	72429
101-756.000-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	492.26	72429
101-756.000-930.000	FLUORESCENT LAMP #1420671	AMERICAN COPPER AND BRAS	LAMPS - FOD	64.80	72422
101-756.000-930.000	LEXAN BUBLE, SCREWS, SOCKETS, #	RECREATION CREATION LLC	SCREWS, SOCKET, WRENCH, BITS, LEXAN BUB	218.99	72469
101-756.000-930.000	PVC, CEMENT, BASE, BRKR KIT #14206	AMERICAN COPPER AND BRAS	CEMENT, BASE, BREAKER KIT, PVC - FOD	31.01	72422
Total For Dept 756.000 PARKS				4,362.74	
Total For Fund 101 GENERAL FUND				133,878.41	
Fund 202 MAJOR ST./TRUNKLINE FUND					
Dept 460.000					
202-460.000-726.000	CLEAR LINERS #874725	KSS ENTERPRISES	T PAPER/GLOVES/LINERS	90.94	72454
202-460.000-726.000	VACUUM TEE #1101278 (DT WATERIN	PERFORMANCE AUTOMOTIVE	FITTINGS	1.79	72465
202-460.000-801.000	"	BOARD OF PUBLIC UTILITIE	QUICK SLEEVES, STREET LIGHT MAINTENAN	519.21	72429

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
 POST DATES 05/23/2014 - 06/06/2014
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 202 MAJOR ST./TRUNKLINE FUND Dept 460.000		Total For Dept 460.000		611.94	
Dept 460.500 TRUNKLINE R.O.W. MAINTENANCE 202-460.500-801.000	"	BOARD OF PUBLIC UTILITIE QUICK SLEEVES, STREET LIGHT MAINTENAN		111.48	72429
		Total For Dept 460.500 TRUNKLINE R.O.W. MAINTENANCE		111.48	
Dept 470.000 TREES 202-470.000-801.000	TREE / STUMP REMOVAL & TRIMMING	CRAIG WICKHAM	TREE / STUMP REMOVAL & TRIMMING	700.00	72435
		Total For Dept 470.000 TREES		700.00	
Dept 480.000 DRAINAGE 202-480.000-801.000		MANPOWER OF LANSING	TEMP EMPLOYEES W/E 5/18/2014	162.69	72457
		Total For Dept 480.000 DRAINAGE		162.69	
Dept 490.000 TRAFFIC 202-490.000-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	437.02	72429
		Total For Dept 490.000 TRAFFIC		437.02	
Dept 490.500 TRUNKLINE TRAFFIC 202-490.500-920.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	429.62	72429
		Total For Dept 490.500 TRUNKLINE TRAFFIC		429.62	
		Total For Fund 202 MAJOR ST./TRUNKLINE FUND		2,452.75	
Fund 203 LOCAL ST. FUND Dept 460.000 203-460.000-801.000	"	BOARD OF PUBLIC UTILITIE	QUICK SLEEVES, STREET LIGHT MAINTENAN	428.72	72429
		Total For Dept 460.000		428.72	
Dept 470.000 TREES 203-470.000-801.000		CRAIG WICKHAM	TREE / STUMP REMOVAL & TRIMMING	200.00	72435
		Total For Dept 470.000 TREES		200.00	
Dept 480.000 DRAINAGE 203-480.000-801.000		MANPOWER OF LANSING	TEMP EMPLOYEES W/E 5/18/2014	102.44	72457
		Total For Dept 480.000 DRAINAGE		102.44	
		Total For Fund 203 LOCAL ST. FUND		731.16	
Fund 208 RECREATION FUND Dept 000.000 208-000.000-123.000		MICHIGAN MUNICIPAL WC FU	2014-15 WORKERS COMPENSATION INS	2,570.00	72459
		Total For Dept 000.000		2,570.00	
Dept 751.000 RECREATION DEPARTMENT 208-751.000-716.000	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	147.69	72419
208-751.000-801.000	SOFT WERVE MACHINE	TAYLOR FREEZER	EQUIPMNT RENTAL - SANDY BEACH CONCES	1,425.00	72436
208-751.000-801.000	COPIER RENT/COPIES FOR RECREATI	CURRENT OFFICE SOLUTIONS	COPIER RENTALS FOR JUNE/MAY COPIES	25.27	
		Total For Dept 751.000 RECREATION DEPARTMENT		1,597.96	
		Total For Fund 208 RECREATION FUND		4,167.96	
Fund 247 TAX INCREMENT FINANCE ATH. Dept 900.000					

Invoice Line Desc Vendor Invoice Description Amount Check #

Fund 247 TAX INCREMENT FINANCE ATH.
 Dept 900.000
 247-900.000-806.000 PARKER,HAYES & LOVINGER, LEGAL SERVICES - KEEPER HOUSE PURCHAS
 Total For Dept 900.000 150.00 72463

Fund 271 LIBRARY FUND
 Dept 000.000
 271-000.000-123.000 MICHIGAN MUNICIPAL WC FU 2014-15 WORKERS COMPENSATION INS
 Total For Dept 000.000 265.00 72459

Dept 790.000	EMPLOYER CONTRIBUTIONS FOR MAY	M.E.R.S.	MAY 2014 CONTRIBUTIONS	219.56	
271-790.000-716.000	NAME TAGS	CURRENT OFFICE SOLUTIONS	NAME TAGS	19.00	72436
271-790.000-726.000	BATHROOM TISSUE	CURRENT OFFICE SOLUTIONS	PAPER TOWELS/T-PAPER	74.24	72436
271-790.000-726.000	DELL TONER	CURRENT OFFICE SOLUTIONS	DELL TONER	438.44	72436
271-790.000-726.000	BUS CARD HOLDER	CURRENT OFFICE SOLUTIONS	BUS CARD HOLDER	4.75	72436
271-790.000-726.000	LIBRARY SUPPLIES	DEMCO, INC.	LIBRARY SUPPLIES	993.72	72438
271-790.000-726.000	WATER - LIBRARY	HEFFERNAN SOFT WATER SER	WATER	15.00	72447
271-790.000-726.000	WATER - LIBRARY	HEFFERNAN SOFT WATER SER	WATER	5.50	72447
271-790.000-726.000	LIBRARY SUPPLIES	VISA	LIBRARY SUPPLIES/ALA MEMBERSHIP DUES	55.05	72477
271-790.000-726.000	LIBRARY SUPPLIES	WALMART COMMUNITY	SUPPLIES FOR LIBRARY	91.05	72478
271-790.000-801.000	YEARLY RENEWAL	FOLLETT SOFTWARE COMPANY	SOFTWARE YEARLY RENEWAL	639.60	72440
271-790.000-801.000	PEST CONTROL - MAY	GRIFFIN PEST SOLUTIONS	PEST CONTROL FOR MAY 2014	41.00	72446
271-790.000-801.000	AVOLON MONIOTOR	NONIK TECHNOLOGIES, INC.	AVOLON MONIOTOR	100.00	72461
271-790.000-810.000	MEMBERSHIP DUES JULY 2014-JUNE	MICHIGAN LIBRARY ASSOCIA	MEMBERSHIP DUES FOR 2015	342.00	72458
271-790.000-820.000	AMERICAN LIBRARY ASSOC. 2014 ME	VISA	LIBRARY SUPPLIES/ALA MEMBERSHIP DUES	131.00	72477
271-790.000-930.000	ELECTRIC UTILITY FOR MAY 2014	BOARD OF PUBLIC UTILITIE	ELECTRIC UTILITY MAY 2014	1,729.56	72429
271-790.000-970.000	BREAKER RPR KIT,SLOAN CLOSET KI	GELZER & SON INC.	VAC BREAKER REPAIR KIT/SLOAN CLOSET K	34.98	72442
271-790.000-982.000	RE-UPHOLSTER 4 CHAIRS & 1 STOOL	LAUX UPHOLSTERY	REUPHOLSTER 4 CHAIRS & 1 STOOL	666.43	72456
271-790.000-982.000	MAY ADULT BOOK ORDER	BAKER & TAYLOR COMPANY	MAY ADULT BOOKS	268.43	72426
271-790.000-982.000	April Adult Book Order	BAKER & TAYLOR COMPANY	MAY ADULT BOOK ORDER	283.02	72426
271-790.000-982.000	APRIL ADULT BOOK ORDER CREDIT	BAKER & TAYLOR COMPANY	APRIL ADULT BOOK ORDER	14.55	72426
271-790.000-982.000	MAY ADULT BOOK ORDER	BAKER & TAYLOR COMPANY	CREDIT MEMO	(9.80)	72426
271-790.000-982.000	STERLING MYSTERY & BESTSELLER S	BAKER & TAYLOR COMPANY	MAY ADULT BOOK ORDER	30.49	72426
271-790.000-982.001	April Kids Order	CENTER POINT LARGE PRINT	BOOK ORDER	1,301.00	72432
271-790.000-982.001	CHILDREN'S BOOKS - PI BETA PHI	BAKER & TAYLOR COMPANY	APRIL KID'S BOOK OFDER	6.70	72426
271-790.000-982.001	CHILDREN'S BOOKS - PATRON JUSTIN N	THE BOOK FARM, INC.	CHILDREN'S BOOKS	33.98	72430
271-790.000-982.001	LOST MEL BOOK - PATRON JUSTIN N	CHARLOTTE COMMUNITY LIBR	LOST MEL BOOK - JUSTIN NUBAL	20.95	72433
Dept 792.000	CHILDREN'S SUPPLIS FOR LIBRARY	Total For Dept 790.000		7,610.20	
271-792.000-726.000	CHILDREN'S SUMMER READING SUPPL	VISA	LIBRARY SUPPLIES/ALA MEMBERSHIP DUES	32.72	72477
271-792.000-726.792	March Book Order - Kids	WALMART COMMUNITY	SUPPLIES FOR LIBRARY	31.98	72478
271-792.000-982.000	March Book Order - Kids	BAKER & TAYLOR COMPANY	MARCH BOOK ORDER - KIDS	31.98	72364
271-792.000-982.000	March Book Order - Kids	BAKER & TAYLOR COMPANY	MARCH BOOK ORDER - KIDS	25.75	72426
Total For Dept 792.000				122.43	
Total For Fund 271 LIBRARY FUND				7,997.63	

Fund 408 FIELDS OF DREAMS
 Dept 751.000 RECREATION DEPARTMENT
 408-751.000-801.000 CONTRACTUAL SERVICES
 HILLSDALE COUNTY TREASUR BUILDING PERMIT FOR FOD DUGOUTS 280.00 72417
 Total For Dept 751.000 RECREATION DEPARTMENT 280.00

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 408 FIELDS OF DREAMS					
	Total For Fund 408 FIELDS OF DREAMS			280.00	
Fund 409 STOCK'S PARK					
	Dept 756.000 PARKS	GENERAL CONTAINER CO. LL	ICE CREAM SOCIAL @ MRS STOCKS PARK	330.00	72443
	409-756.000-726.000	Total For Dept 756.000 PARKS		330.00	
Fund 471 LIBRARY IMPROVEMENT FUND					
	Dept 790.000	Total For Fund 409 STOCK'S PARK		330.00	
	471-790.000-726.000	CONEY'S & SWIRLS	CUMMER READING PRIZES	119.25	72418
	Total For Dept 790.000	Total For Fund 471 LIBRARY IMPROVEMENT FUND		119.25	
Fund 481 AIRPORT IMPROVEMENT FUND					
	Dept 900.000	ARROW ENERGY	AVGAS 100 LL FOR AIRPORT	19,608.35	72423
	481-900.000-740.295	Total For Dept 900.000		19,608.35	
Fund 588 DIAL-A-RIDE FUND					
	Dept 000.000	MICHIGAN MUNICIPAL WC FU	2014-15 WORKERS COMPENSATION INS	4,318.40	72459
	588-000.000-123.000	Total For Fund 481 AIRPORT IMPROVEMENT FUND		19,608.35	
Fund 588 DIAL-A-RIDE FUND					
	Dept 588.000	M.E.R.S.	MAY 2014 CONTRIBUTIONS	126.27	72436
	588-588.000-716.000	EMPLOYER CONTRIBUTIONS FOR MAY	ERASERS/POST ITS/PACKING TAPE	6.78	72436
	588-588.000-726.000	SUPPLIES	POST IT NOTES	7.56	72442
	588-588.000-726.000	POST-ITS FOR DART	PHONE CORD	5.99	72442
	588-588.000-726.000	POWER STRIP/PHONE CORD	POWER STRIP	16.99	72447
	588-588.000-726.000	POWER STRIP/PHONE CORD	WATER	9.50	72465
	588-588.000-726.000	WATER - DFS	UNIV CHAIN LUB FOR DART	10.18	72451
	588-588.000-726.000	CHAIN LUBE #1101230 (DART)	GAS SPRINGS, ADAPTOR, SCREW,WASHER,ST	94.00	72451
	588-588.000-730.000	GAS SPRING #X101001360 (#60)	ADAPTOR, SCREW,WASHER, STOP LEVER	36.75	72452
	588-588.000-730.000	ADAPTOR,SCREW,WASHER,LEVER#X101	FILTER	21.78	72465
	588-588.000-730.000	AIR FILTER #PC01252156	FILTERS FOR #109	33.01	72465
	588-588.000-730.000	OIL FILTERS #1100614	RETURNED BRAKE PADS	(94.39)	72465
	588-588.000-730.000	RTRN BRAKE PADS #1101011 (#60)	BRAKE PADS	94.39	72429
	588-588.000-730.000	BRAKE PADS #1100635 (#60)	ELECTRIC UTILITY MAY 2014	346.17	72425
	588-588.000-920.000	ELECTRIC UTILITY FOR MAY 2014	TELEPHONE SERVICE JUNE 2014	80.36	
	588-588.000-925.000	TELEPHONE SERVICE FOR JUNE 2014		795.34	
	Total For Dept 588.000	Total For Fund 588 DIAL-A-RIDE FUND		5,113.74	
Fund 633 PUBLIC SERVICES INV. FUND					
	Dept 233.000 PUBLIC SERVICES INVENTORY	JONESVILLE LUMBER	GRAVEL & MORTAR MIX	492.96	72453
	633-233.000-726.000	GRAVEL & MORTAR MIX #680364	PROFILE COVER GROW - SEED AIDE 40# BA	1,648.00	72455
	633-233.000-726.000	PROFILE COVER GROW #SINP-14-111	COLD PATCH - UPM #2	2,724.96	72476
	633-233.000-726.000	UPM #2 COLD PATCH #237125	PUBLIC SERVICES INVENTORY	4,865.92	

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
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Fund 633 PUBLIC SERVICES INV. FUND					
Fund 640 REVOLVING MOBILE EQUIP. FUND					
Dept 000.000					
640-000.000-123.000					
Dept 444.000	MOBILE EQUIPMENT MAINTENANCE				
640-444.000-716.000	EMPLOYER CONTRIBUTIONS FOR MAY				
640-444.000-726.000	FLOOR DRY #PC01252834				
640-444.000-726.000	ELEKTROCUT CLOTH #1101303				
640-444.000-730.000	KEYS & RING #A58138				
640-444.000-730.000	BOLT & NUT #S82082 (#109)				
640-444.000-730.000	FILTERS #PC01252723				
640-444.000-730.000	RTRN SHOE CORE #PC01252731				
640-444.000-730.000	HYD HOSE #1101142 (#20)				
640-444.000-730.000	HD BAND CLAMP #1101229 (#34.4)				
640-444.000-730.000	AIR & OIL FILTERS #1100614 (#10				
640-444.000-730.000	BRASS ELBOW, HOSE END#1101421 (
640-444.000-730.000	HYD HOSE & FITTINGS #1100262				
640-444.000-730.000	GASKET, FLANGE, STUD, SCREW#151863				
640-444.000-730.000	FUEL CAP #151853 (#118)				
640-444.000-730.000	EDGER BLADE #27306				
640-444.000-730.000	FILTERS, POWER SUPPLY #PC012527				
640-444.000-742.000	"				
640-444.000-742.000	"				
640-444.000-801.000	RUGS/UNIFORMS - DPS #351671856				
640-444.000-801.000	RUGS/UNIFORMS - DPS #351672438				
640-444.000-801.000	CYLINDER TANK RENTAL #00582330				
640-444.000-801.000	INV. NO. 55892 - LABOR/LUBE, OI				
640-444.000-801.301	ELECTRIC UTILITY FOR MAY 2014				
640-444.000-820.000	CHAIN SAW, PWER BROOM #151867				
Fund 699 DPS LEAVE AND BENEFITS FUND					
Dept 000.000					
699-000.000-123.000					
Dept 441.000	EMPLOYER CONTRIBUTIONS FOR MAY				
699-441.000-716.000					
Fund 633 PUBLIC SERVICES INV. FUND					
Fund 640 REVOLVING MOBILE EQUIP. FUND					
Dept 000.000					
640-000.000-123.000					
Total For Fund 633 PUBLIC SERVICES INV. FUND					
4,865.92					
MICHIGAN MUNICIPAL WC FU 2014-15 WORKERS COMPENSATION INS					
Total For Dept 000.000					
2,287.00					
M.E.R.S.	MAY 2014 CONTRIBUTIONS				
JACKSON TRUCK SERVICE IN	FLOOR DRY,				
PERFORMANCE AUTOMOTIVE	ELEKTROCUT CLOTH				
GELZER & SON INC.	KEYS & KEY RING				
GODFREY BROTHERS, INC.	BOLT & NUT				
JACKSON TRUCK SERVICE IN	FILTERS				
JACKSON TRUCK SERVICE IN	CORE CREDIT				
PERFORMANCE AUTOMOTIVE	HYD HOSE FOR #20				
PERFORMANCE AUTOMOTIVE	CLAMPS FOR #34.4				
PERFORMANCE AUTOMOTIVE	FILTERS FOR #109				
PERFORMANCE AUTOMOTIVE	FITTING FOR POWER WASHER #135				
SPRATT'S	HYD HOSE, FITTINGS				
SPRATT'S	GASKETS, FLANGE, STUD, FUEL CAP				
TOM'S SMALL ENGINE REPAI	GASKETS, FLANGE, STUD, FUEL CAP				
JACKSON TRUCK SERVICE IN	GASKETS, FLANGE, STUD, FUEL CAP				
CINTAS CORPORATION	EDGER BLADE				
CINTAS CORPORATION	FILTERS, PWR SUPPLY, FLOOR DRY,				
CINTAS CORPORATION	RUGS/UNIFORMS - DPS				
CINTAS CORPORATION	RUGS/UNIFORMS - DPS				
CINTAS CORPORATION	RUGS/UNIFORMS - DPS				
PURITY CYLINDER GASES, I	RUGS/UNIFORMS - DPS				
PARNEY'S CAR CARE	CYLINDER TANK RENTAL				
BOARD OF PUBLIC UTILITIE	OIL CHANGE - UNIT 2-1 (2012 DODGE CHA				
SPRATT'S	ELECTRIC UTILITY MAY 2014				
	GASKETS, FLANGE, STUD, FUEL CAP				
Total For Dept 444.000 MOBILE EQUIPMENT MAINTENANCE					
1,848.72					
Total For Fund 640 REVOLVING MOBILE EQUIP. FUND					
4,135.72					
MICHIGAN MUNICIPAL WC FU 2014-15 WORKERS COMPENSATION INS					
Total For Dept 000.000					
16,072.00					
M.E.R.S.	MAY 2014 CONTRIBUTIONS				
Total For Dept 441.000					
Total For Fund 699 DPS LEAVE AND BENEFITS FUND					
16,194.47					

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
 POST DATES 05/23/2014 - 06/06/2014
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
			Fund Totals:		
			Fund 101 GENERAL FUND	133,878.41	
			Fund 202 MAJOR ST./TRU	2,452.75	
			Fund 203 LOCAL ST. FUN	731.16	
			Fund 208 RECREATION FU	4,167.96	
			Fund 247 TAX INCREMENT	150.00	
			Fund 271 LIBRARY FUND	7,997.63	
			Fund 408 FIELDS OF DRE	280.00	
			Fund 409 STOCK'S PARK	330.00	
			Fund 471 LIBRARY IMPRO	119.25	
			Fund 481 AIRPORT IMPRO	19,608.35	
			Fund 588 DIAL-A-RIDE F	5,113.74	
			Fund 633 PUBLIC SERVIC	4,865.92	
			Fund 640 REVOLVING MOB	4,135.72	
			Fund 699 DPS LEAVE AND	16,194.47	
			Total For All Funds:	200,025.36	

Council Chambers
Hillsdale City Hall
97 N. Broad St.
Hillsdale, MI 49242

June 2, 2014
7:00 p.m.
(517)437-6441
www.cityofhillsdale.org

CITY COUNCIL MINUTES

City of Hillsdale
Regular Meeting

Call to Order and Pledge of Allegiance

Mayor Scott Sessions opened the meeting with the pledge of allegiance.

Roll Call

Motion by Councilperson Kinney, supported by Councilperson Sharp, to excuse the absence of Ward Three Councilperson Emily Stack Davis from the June 2, 2014 Regular Council Meeting.

All Ayes

Motion carried.

Mayor Scott Sessions called the meeting to order with the following Council members present: Council members Brian Watkins and Adam Stockford representing Ward One; Council members Sally Kinney and Timothy Wells representing Ward Two; Councilmember Bruce Sharp representing Ward Three; and Council members Mary Beth Bail and Patrick Flannery representing Ward Four.

Also present were City Manager Linda Brown, City Attorney Lewis Loren, Deputy Clerk Michelle Loren, Bonnie Tew (City Finance), Kay Freese (HR), Keith Richard (DPS), Ruth Brown, Shirley VanArsdalen, Alan Beeker (Code Enforcement, Planning, Zoning), Julie Beeker, Amos VanAuken, Jeff King, James Scheibner (Airport), Sara Lisznyai, Andy Barrand (HDN), Aimee England.

Approval of Agenda

City Manager Linda Brown requested *Item B. Aimee England, Great American Parade* be added to the agenda under Communications. City Manager Brown also requested *New Business Item C. Resignation of City Clerk* be added.

Motion by Councilperson Watkins, supported by Councilperson Stockford, approve the agenda with the requested additions.

All ayes.

Motion carried.

Public Comment

Jeff King, 1020 W. Reading Ave., Cambria Township and owner of Aero Data offered comment regarding the benefit of Hillsdale Airport. Mr. King presented Council with data regarding use by various businesses and the economic value to the businesses and community alike.

Consent Agenda

- A. Approval of Bills from claims of May 22, 2014; Claims of \$87,821.74; Payroll of \$85,661.68.
- B. Committee Reports:
 1. TIFA Minutes of March 18, 2014
 2. TIFA Target development Minutes of March 24, 2014 & April 28, 2014
 3. TIFA Façade Grant Committee Minutes of May 19, 2014
- C. Council Minutes of May 19, 2014
- D. Work Session Notes of May 29, 2014

Motion by Councilperson Watkins, supported by Councilperson Kinney, to approve the Consent Agenda as presented.

Roll call: Councilpersons Flannery – yes; Kinney – yes; Sharp – yes; Stockford – yes; Watkins – yes; Wells – yes; Mayor Sessions – yes; Bail – yes.

Approved 8-0.

Motion carried.

Communications and Petitions

- A. Sara Lisznyai, District Court judge candidate, introduced herself to Council and gave a brief overview of her legal history as well as her strong involvement in the community by serving on various boards and committees.
- B. Aimee England, coordinator of the Great American Parade presented Council with plans for the annual Great American Parade to be held July 3, 2014 and asked Council's approval of the event.

Motion by Councilperson Stockford, supported by Councilperson Watkins, to approve the request and authorize signatures by the Mayor and Clerk on the required Usage Agreement. Roll Call: Councilpersons Kinney – yes; Sharp – yes; Stockford – yes; Watkins – yes; Wells – yes; Mayor Sessions – yes; Councilpersons Bail – yes; Flannery – yes.

Approved 8-0.

Motion carried.

Introduction and Adoption of Ordinances/Public Hearings

None

Unfinished Business

None

Old Business

None

New Business

- A. Indiana Outboard Races. City Manager Linda Brown reported to Council that, as in the past, the Indiana Outboard Racing Association requested permission to use the shoreline at Owen Memorial Park for its Jun 27-29, 2014 and September 5-7 boat racing events. Use of the shoreline is to include boat launching from the shore and placement of portable toilets. The racing association also obtains clearance from both the Department of Natural Resources and the Sheriff's Department Marine Patrol for the event.

Motion by Councilperson Flannery, supported by Councilperson Sharp, to approve the request by the Indiana Outboard Racing Association and authorize signatures by the Mayor and Clerk on the use agreement pending legal review. Roll call: Councilpersons Sharp – yes; Stockford – yes; Watkins – yes; Wells – yes; Mayor Sessions – yes; Councilpersons Bail – yes; Flannery – yes; Kinney – yes.

Approved 8-0.

Motion carried.

- B. Hillsdale College Easement. City Manager Linda Brown reported to Council that, last fall, the City was approached by Hillsdale College regarding an expansion to Philips Auditorium and the Dow Center. Upon review of the plans, it was apparent there would be impact to the West Street right-of-way. Since that time, an easement has been developed addressing the impact. City Manager Brown presented Council with a copy of the easement for their review.

Motion by Councilperson Watkins, supported by Councilperson Sharp, to approve the easement and authorize the Mayor's signature. Roll call: Councilpersons Stockford – yes; Watkins – yes; Wells – yes; Mayor Sessions – yes; Councilpersons Bail – yes; Flannery – yes; Kinney – yes; Sharp – yes.

Approved 8-0.

Motion carried.

- C. Resignation of City Clerk. City Manager Brown reported that, over the weekend, City Clerk Robilyn Swisher had submitted a full resignation from the office of City Clerk. City Manager Brown asked that Council accept the resignation of City Clerk Swisher and authorize Deputy Clerk Michelle Loren to act on behalf of the City at the August and November 2014 elections.

Motion by Councilperson Watkins, supported by Councilperson Kinney, to accept the resignation of City Clerk Robilyn Swisher and authorize Deputy Clerk Michelle Loren to act on behalf of the City at the August and November 2014 elections. Roll call: Councilpersons Watkins – yes; Wells – yes; Mayor Sessions – yes; Councilpersons Bail – yes; Flannery – yes; Kinney – yes; Sharp – yes; Stockford – yes.

Approved 8-0.

Motion carried.

Miscellaneous

A. Appointments to Standing Committees.

1. Public Services: Emily Stack Davis, Patrick Flannery, Adam Stockford
2. Community Development: Sally Kinney, Bruce Sharp, Brian Watkins
3. Finance: Mary Beth Bail, Patrick Flannery, Timothy Wells
4. Operations and Governance: Emily Stack Davis, Tim Wells, Sally Kinney
5. Public Safety: Bruce Sharp, Adam Stockford, Brian Watkins

Motion by Councilperson Watkins, supported by Councilperson Sharp to approve the appointments of Council members to Standing Committees. Roll call: Councilpersons Wells – yes; Mayor Sessions – yes; Councilpersons Bail – yes; Flannery – yes; Kinney – yes; Sharp – yes; Stockford – yes; Watkins – yes.

Approved 8-0.

Motion carried.

General Public Comment

Amos VanAuken, 15 Salem, expressed his concern with speeders on Salem Street and the danger it brings to the children in the neighborhood.

Ruth Brown, 45 Apple Run, stressed the importance of council members educating themselves by attending training courses and workshops.

Julie Becker, 140 N. Hillsdale St., expressed the need for the City to put proper measures in place in order to ensure a City Clerk is put in office and remains there rather than the turnovers experienced in the recent past.

Council Comment

Mayor Sessions, at Councilperson Stack-Davis' request, inquired about setting a date for another Council Work Session. Councilperson Stockford suggested waiting for Councilperson Stack

Davis to return before setting a date. Councilperson Sharp expressed his support of the work sessions. City Manager Brown suggested allowing department heads to respond to items discussed at the last work session before meeting again.

Councilperson Stockford inquired as to whether or not Council can appoint a Clerk on a temporary basis until the next city election. City Attorney Loren stated Charter restricts Council from doing so.

Adjournment

Motion by Councilmember Kinney, seconded by Councilmember Stockford, to adjourn.

Motion carried.

7:48 p.m.

Scott M. Sessions, Mayor

Michelle Loren, Deputy City Clerk

Memo

To: Linda Brown, City Manager
From: Bonnie Tew, Finance Director
Date: June 11, 2014
Subject: Budget Amendments

The budget is a working document. It is difficult to plan more than a year in advance for every situation or circumstance that will transpire. Consequently, adjustments are necessary from time to time to meet state and local legal requirements. The last two years the auditors have reported a deficiency in our audit report because our expenditures exceeded our budgets in several departments. I am therefore making an asserted effort to make sure that no department goes over its budget for 2013-14. The attachment outlines all the amendments necessary to keep that from happening again. These amendments focus mainly on General Fund where I have made numerous adjustments, both up and down. The majority of these adjustments were necessary because of the hard winter we experienced. The city was hit hard with added snow plowing/removal and increased utility costs. I also did an amendment to the Revolving Mobile Equipment Fund (640) to accommodate the purchase of a 2-ton dump truck that was delivered in this year's budget but was originally budgeted in 2012-13.

The 2013-14 General Fund Budget anticipated spending \$ 192,565 of fund balance. Those funds were used to reconstruct Charles Street, a local street, which cost the City a total of \$257,754. We did not anticipate the added costs for the hard winter or the reduction in property tax revenues. Taking into account the attached amendments, the amended budget will reflect a reduction in fund balance of \$361,665 from fiscal year end 2012-13. When all is finalized for fiscal year 2013-14 I anticipate the General Fund fund balance will be \$681,000 - \$730,000 or between 14.6% and 15.7% of 2014-15 budgeted expenditures. That is in line with the council's targeted goal of 15%.

I recommend that the attached amendments be placed on the consent agenda for council action at their next meeting scheduled for Monday, June 16, 2014.

Thank you.

Budget Amendments

June 16, 2014

Account	Old Amount	+ / -	New Amount
General Fund (101)			
Revenues:			
Current Taxes 101-000.000-402.000 Projected too high	\$2,050,000	(\$90,000)	\$1,960,000
Federal Grant - Rental Rehab 101-000.000-525.000 Experienced delays in the startup of the program. Set to begin early in 2014-15 budget year. No grant revenue/expenditures will be incurred during this budget year.	\$1,000,000	(\$1,000,000)	\$0
Other Revenue - Rental Rehab 101-000.000-692.690 This is the property owner's portion of the Rental Rehab program, set to begin in 2014-15 budget year. No revenue/expenditures will be incurred during this budget year.	\$300,000	(\$300,000)	\$0
Expenditures:			
Council (101)			
Transportation and Millage 101-101.000-860.000	\$250	(\$250)	\$0
Training & Seminars 101-101.000-861.000	\$500	(\$500)	\$0
Lodging & Meals 101-101.000-862.000 Council did not incur any training expenditures for the year.	\$350	(\$350)	\$0
Economic Development (174)			
Contractual Services - Rental Rehab 101-174.000-801.525 No expenditures will be incurred in this budget year for the Rental Rehab program.	\$1,300,000	(\$1,300,000)	\$0
Administrative Services (175)			
Legal Services - Tax Cases 101-175.000-806.002 Cost of defending tax cases at MTT were higher than anticipated	\$10,000	\$30,000	\$40,000
Assessing (209)			
Health & Life Insurance 101-209.000-715.000 New staff didn't take our insurance	\$29,820	(\$15,000)	\$14,820
Clerk's Office (215)			
Health & Life Insurance 101-215.000-715.000 Costs were less than anticipated	\$16,220	(\$2,000)	\$14,220
City Treasurer (253)			
Refunds and Rebates 101-253.000-964.000 PILOT, 425 Area and County Bill Backs were higher than anticipated	\$96,000	\$24,200	\$120,200
Building and Grounds (265)			
Wages 101-265.000-702.000 Wages were over budget because of winter related maintenance.	\$10,400	\$10,000	\$20,400
Fringe Benefits - Allocated 101-265.000-725.000 Over budget because of winter related maintenance.	\$6,240	\$6,000	\$12,240
Utilities 101-265.000-920.000 Increases in heating costs due to cold winter	\$28,000	\$5,000	\$33,000
Property Taxes 101-265.000-957.000 Sidewalk special assessment.	\$0	\$7,000	\$7,000

Budget Amendments
June 16, 2014

Account		Old Amount	+ / -	New Amount
Airport (295)	Contractual Services 101-295.000-801.000 Increase due to heavy snows and cost of removal.	\$55,000	\$20,000	\$75,000
Police (301)	Health & Life Insurance 101-301.000-715.000 Costs were not as high as anticipated	\$227,550	(\$15,000)	\$212,550
	Equipment Rental 101-301.000-940.000 Rates are based on miles driven. Millage not as high as projected.	\$99,000	(\$20,000)	\$79,000
Department of Public Services (441)	Health & Life Insurance 101-441.000-715.000 Costs were less than anticipated.	\$36,465	(\$5,000)	\$31,465
	Equipment Rental 101-441.000-940.000 Used less than anticipated	\$20,000	(\$5,000)	\$15,000
Street Lighting (448)	Utilities - Major Streets 101-448.000-920.202 Costs exceeded expectations.	\$60,000	\$10,000	\$70,000
Parks (756)	Supplies 101-756.000-726.000 Sandy Beach Rotary Project/winter maintenance	\$5,000	\$5,000	\$10,000
	Equipment Rental 101-756.000-940.000 Sandy Beach Rotary Project/winter maintenance	\$25,000	\$25,000	\$50,000

Source of Funds: General Fund - Fund Balance

Revolving Mobile Equipment Fund (640)

Expenditures:	Capital Outlay - Vehicles 640-444.000-981.000 Two-ton dump truck budgeted in fy 2012-13 but was not delivered until after new fiscal year began in July 2013.	\$0	\$116,800	\$116,800
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Source of Funds: RMEF Fund - Fund Balance

City of Hillsdale

Agenda Item Summary

Meeting Date: June 16, 2014

Agenda Item #7: Introduction of Ordinance/Public Hearing

SUBJECT: Public Hearing – Metallist, Inc Application for IFT
(Resolutions)

BACKGROUND:

At its May 19, 2014 meeting Council set tonight at 7:00 p.m. as the time to conduct a public hearing to allow input regarding the application of Metallist, Inc for an Industrial Facilities Tax Exemptions. All required notices of the public hearing have been sent.

While I am not including the applications in this writing as a result of being so large, I have included a memo from the Assessor. You will receive additional information from the Assessor regarding its impact on taxes.

The EDC review committee met regarding this request and recommended that Council approve the requested transfers. A memo is attached which includes that recommendation.

RECOMMENDATION:

Following the public hearing, I recommend that Council pass the attached Resolution approving the Industrial Facilities Tax Exemption for the twelve (12) years.



TO: Economic Development Corporation; City Manager; City Clerk; City Council

FROM: Kimberly Thomas, City Assessor

DATE: April 29, 2014

RE: Application for Industrial Facilities Tax Exemption Certificate received from Metallist, Inc

Background: The Economic Development Corporation (or their Business Review Committee) serves as an advisory board in the review of applications for property tax abatements such as Industrial Facilities Tax Exemption Certificates, and should prepare a letter of recommendation to City Council for each request received. This letter should include the recommended term (up to 12 years) for the exemption certificate if approval is recommended. Specific reasons should be given if disapproval is recommended.

An application for an Industrial Facilities Tax Exemption Certificate was received by the City Clerk's Office on April 23, 2014 from Metallist, Inc. The project for which the exemption is requested is the purchase and installation of new personal property between November 5, 2013 and April 16, 2014 with a total investment of 1,001,747.

The property to be exempted is located at 200 Development Drive, in Hillsdale Industrial Park Number 4. A list is attached showing previously granted certificates for Metallist, Inc at this location. All of these previously granted certificates have expired.

Statutory Requirements: Not more than 60 days after receipt by the clerk, Council must either approve or disapprove the application by resolution. The clerk is required to notify the applicant, the assessor and the affected taxing jurisdictions of the application and an opportunity to be heard shall be provided.

If disapproved, the reasons must be included in the resolution. The applicant may appeal disapproval by the local unit to the State Tax Commission within 10 days. If the application is approved by Council, the Clerk must forward the application and all required attachments to the State Tax Commission for a final determination. The application must be received by the State Tax Commission no later than October 31, 2014 for the property to be exempt on the 2015 tax roll.

Fiscal Impact: Please refer to the attached worksheet showing the potential financial impact of granting the requested exemption. This worksheet also shows the value of existing property at this location.

The aggregate state equalized valuation of the property requested to be exempt considered together with property exempt under certificates previously granted and currently in force does not exceed 5% of the total state equalized value of the City. In the estimation of the assessor, granting the requested exemption(s) shall not have the effect of substantially impeding the operation of the City or impairing the financial soundness of any affected taxing unit.

Applicant: Metallist, Inc																																																																		
Date Received: April 23, 2014																																																																		
Property Address: 200 Development Drive																																																																		
Real Property Investment:	\$ -																																																																	
Personal Property Investment:	\$ 1,001,747																																																																	
Real Property Classification: Industrial																																																																		
	<table border="1"> <thead> <tr> <th></th> <th>Real & Personal City Taxes Foregone</th> <th>Cumulative City Taxes Foregone</th> <th>Real & Personal Taxes Foregone - All Entities</th> <th>Cumulative Taxes Foregone - All Entities</th> </tr> </thead> <tbody> <tr> <td>2015</td> <td>\$ 2,839.85</td> <td>\$ 6,165.46</td> <td>\$ 5,660.41</td> <td>\$ 12,289.04</td> </tr> <tr> <td>2016</td> <td>\$ 2,503.55</td> <td>\$ 8,669.01</td> <td>\$ 4,990.09</td> <td>\$ 17,279.13</td> </tr> <tr> <td>2017</td> <td>\$ 2,241.98</td> <td>\$ 10,910.99</td> <td>\$ 4,468.74</td> <td>\$ 21,747.87</td> </tr> <tr> <td>2018</td> <td>\$ 2,017.79</td> <td>\$ 12,928.78</td> <td>\$ 4,021.87</td> <td>\$ 25,769.74</td> </tr> <tr> <td>2019</td> <td>\$ 1,830.95</td> <td>\$ 14,759.73</td> <td>\$ 3,649.47</td> <td>\$ 29,419.21</td> </tr> <tr> <td>2020</td> <td>\$ 1,681.49</td> <td>\$ 16,441.22</td> <td>\$ 3,351.56</td> <td>\$ 32,770.77</td> </tr> <tr> <td>2021</td> <td>\$ 1,569.39</td> <td>\$ 18,010.61</td> <td>\$ 3,128.12</td> <td>\$ 35,898.89</td> </tr> <tr> <td>2022</td> <td>\$ 1,419.92</td> <td>\$ 19,430.54</td> <td>\$ 2,830.20</td> <td>\$ 38,729.09</td> </tr> <tr> <td>2023</td> <td>\$ 1,345.19</td> <td>\$ 20,775.73</td> <td>\$ 2,681.24</td> <td>\$ 41,410.33</td> </tr> <tr> <td>2024</td> <td>\$ 1,233.09</td> <td>\$ 22,008.82</td> <td>\$ 2,457.81</td> <td>\$ 43,868.14</td> </tr> <tr> <td>2025</td> <td>\$ 1,158.36</td> <td>\$ 23,167.18</td> <td>\$ 2,308.85</td> <td>\$ 46,176.99</td> </tr> <tr> <td>Maximum Tax Impact (12 Year Abatement)</td> <td>\$ 23,167.18</td> <td></td> <td>\$ 46,176.99</td> <td></td> </tr> </tbody> </table>		Real & Personal City Taxes Foregone	Cumulative City Taxes Foregone	Real & Personal Taxes Foregone - All Entities	Cumulative Taxes Foregone - All Entities	2015	\$ 2,839.85	\$ 6,165.46	\$ 5,660.41	\$ 12,289.04	2016	\$ 2,503.55	\$ 8,669.01	\$ 4,990.09	\$ 17,279.13	2017	\$ 2,241.98	\$ 10,910.99	\$ 4,468.74	\$ 21,747.87	2018	\$ 2,017.79	\$ 12,928.78	\$ 4,021.87	\$ 25,769.74	2019	\$ 1,830.95	\$ 14,759.73	\$ 3,649.47	\$ 29,419.21	2020	\$ 1,681.49	\$ 16,441.22	\$ 3,351.56	\$ 32,770.77	2021	\$ 1,569.39	\$ 18,010.61	\$ 3,128.12	\$ 35,898.89	2022	\$ 1,419.92	\$ 19,430.54	\$ 2,830.20	\$ 38,729.09	2023	\$ 1,345.19	\$ 20,775.73	\$ 2,681.24	\$ 41,410.33	2024	\$ 1,233.09	\$ 22,008.82	\$ 2,457.81	\$ 43,868.14	2025	\$ 1,158.36	\$ 23,167.18	\$ 2,308.85	\$ 46,176.99	Maximum Tax Impact (12 Year Abatement)	\$ 23,167.18		\$ 46,176.99	
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Other Property At This Location			
Ad Valorem Parcels at this Location:	2014 State Equalized Value	2014 Taxable Value	Comments
006-221-201-11	211,000	211,000	Real property owned by Michiel J & Marta J Vaillancourt Joint Trust
006-900-173-00	501,700	501,700	Personal Property owned by applicant
Total:	712,700	712,700	
Previously Granted Certificates & Other Special Act Parcels at this Location:			
006-904-251-05	-	-	IFT #2004-251 expired 2013
006-993-186-05	-	-	IFT #1993-186 expired 2005
006-998-542-05	-	-	IFT #1998-542 expired 2007
Total:	-	-	
Total Value of Properties at this Location:	712,700	712,700	
Is Property in LDFA?	Yes		
Is Property in TIFA?	No		

Applicant: Metallist, Inc
Date Received: April 23, 2014
Property Address: 200 Development Drive
Cost of Investment: \$ 1,001,747.00

Real Property Classification: Industrial

Tax	Millage Rate*	2015		Standard Depreciation 0.88	Taxable Value 445,777	Taxes Foregone
		Without IET	With IET			
Summer						
City Operating	14.9205	\$ 6,651.22	\$ 3,325.61	7.46025	\$ 3,325.61	\$ 3,325.61
Library	0.9947	\$ 443.41	\$ 221.71	0.49735	\$ 221.71	\$ 221.71
County Operating	4.9552	\$ 2,208.92	\$ 1,104.46	2.47760	\$ 1,104.46	\$ 1,104.46
Shared Education Tax	0.0000	\$ -	\$ -	0.00000	\$ -	\$ -
School Operating	0.0000	\$ -	\$ -	0.00000	\$ -	\$ -
School Building/Site	0.9994	\$ 445.51	\$ 222.75	0.49970	\$ 222.75	\$ 222.75
ISD General	0.1337	\$ 59.60	\$ 29.80	0.06685	\$ 29.80	\$ 29.80
ISD Special Ed	1.5000	\$ 668.67	\$ 334.33	0.75000	\$ 334.33	\$ 334.33
ISD Vocational Ed	0.4459	\$ 198.77	\$ 99.39	0.22295	\$ 99.39	\$ 99.39
Administration Fee	1%	\$ 106.76	\$ 53.38	1%	\$ 53.38	\$ 53.38
Total Summer	23.9494	\$ 10,782.86	\$ 5,391.43	11.97470	\$ 5,391.43	\$ 5,391.43
Winter						
County Medical Care Facility	0.6000	\$ 267.47	\$ 133.73	0.30000	\$ 133.73	\$ 133.73
County Medical Care Facility 2006	0.4200	\$ 187.23	\$ 93.61	0.21000	\$ 93.61	\$ 93.61
County Ambulance	0.2500	\$ 111.44	\$ 55.72	0.12500	\$ 55.72	\$ 55.72
County Ambulance 2006	0.1500	\$ 66.87	\$ 33.43	0.07500	\$ 33.43	\$ 33.43
County Senior Services	0.4968	\$ 221.46	\$ 110.73	0.24840	\$ 110.73	\$ 110.73
County Senior Services 2008	0.5000	\$ 222.89	\$ 111.44	0.25000	\$ 111.44	\$ 111.44
School Operating	0.0000	\$ -	\$ -	0.00000	\$ -	\$ -
School Building/Site	0.9994	\$ 445.51	\$ 222.75	0.49970	\$ 222.75	\$ 222.75
ISD General	0.1337	\$ 59.60	\$ 29.80	0.06685	\$ 29.80	\$ 29.80
ISD Special Ed	1.5000	\$ 668.67	\$ 334.33	0.75000	\$ 334.33	\$ 334.33
ISD Vocational Ed	0.4459	\$ 198.77	\$ 99.39	0.22295	\$ 99.39	\$ 99.39
Administration Fee	1%	\$ 24.50	\$ 12.25	1%	\$ 12.25	\$ 12.25
Total Winter	5.4958	\$ 2,474.40	\$ 1,237.20	2.74790	\$ 1,237.20	\$ 1,237.20
GRAND TOTALS	29.4452	\$ 13,257.27	\$ 6,628.63	14.72260	\$ 6,628.63	\$ 6,628.63

*Rates based on most recent information available.

Year	Standard Depreciation	Taxable Value	City Operating Foregone Annually	Cumulative City Taxes Foregone	Total Taxes Foregone Annually	Cumulative Total Taxes Foregone
2	0.76	380,664	\$ 2,839.85	\$ 6,105.46	\$ 5,660.41	\$ 12,289.04
3	0.67	335,585	\$ 2,503.55	\$ 8,669.01	\$ 4,990.09	\$ 17,279.13
4	0.60	300,524	\$ 2,241.98	\$ 10,910.99	\$ 4,458.74	\$ 21,747.87
5	0.54	270,472	\$ 2,017.79	\$ 12,928.78	\$ 4,031.87	\$ 25,769.74
6	0.49	245,428	\$ 1,830.95	\$ 14,759.73	\$ 3,649.47	\$ 29,419.21
7	0.45	225,393	\$ 1,681.49	\$ 16,441.22	\$ 3,351.56	\$ 32,770.77
8	0.42	210,367	\$ 1,569.39	\$ 18,010.61	\$ 3,128.12	\$ 35,898.89
9	0.38	190,332	\$ 1,419.92	\$ 19,430.54	\$ 2,830.20	\$ 38,729.09
10	0.36	180,314	\$ 1,345.19	\$ 20,775.73	\$ 2,681.24	\$ 41,410.33
11	0.33	165,288	\$ 1,233.09	\$ 22,008.82	\$ 2,457.81	\$ 43,868.14
12	0.31	155,271	\$ 1,158.36	\$ 23,167.18	\$ 2,308.85	\$ 46,176.99
Maximum Tax Dollar Impact if approved for 12-year abatement:				\$ 23,167.18	\$ 46,176.99	Total All Entities



TO: City Manager
FROM: EDC Business Review Committee
DATE: June 16, 2014
RE: Metallist, Inc. Industrial Facilities Tax Exemption

Background An application requesting an IFT for Metallist, Inc. was reviewed by the EDC BRC Subcommittee. The Committee is recommending that the Council approve the IFT for Metallist, Inc. for the maximum 12 years allowed.

Fiscal Impact: See Assessor's review.

Resolution # _____

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on June 16, 2014 at City Hall, in 97 N. Broad Street, Hillsdale, Michigan, at 7:00pm.

PRESENT:

ABSENT:

The following preamble and resolution were offered by: _____ and supported by:

_____.

Resolution Approving Application of Metallist, Inc. for Industrial Facilities Exemption Certificate for a New Facility

WHEREAS, pursuant to PA 198 of 1974, as amended, after a duly noticed public hearing held on June 29, 1987, this Common Council by resolution established an Industrial Development District, covering Hillsdale Industrial Park Number Four as platted; and

WHEREAS, Metallist, Inc. has filed an application for an Industrial Facilities Exemption Certificate with respect to a new facility to be acquired and installed within the said Industrial Development District; and

WHEREAS, before acting on said application, the City of Hillsdale held a hearing on June 16, 2014, at the City Hall, in 97 N. Broad Street, Hillsdale, Michigan, at 7:00 pm, at which hearing the applicant, the Assessor and a representative of the affected taxing units were given written notice and were afforded an opportunity to be heard on said application; and

WHEREAS, construction of the facility and installation of new machinery and equipment had not begun earlier than six (6) months before April 23, 2014, the date of acceptance of the application for the Industrial Facilities Exemption Certificate; and

WHEREAS, completion of the facility is calculated to and will, at the time of issuance of the certificate, have the reasonable likelihood to retain, create or prevent the loss of employment in the City of Hillsdale; and

WHEREAS, the aggregate SEV of real and personal property exempt from ad valorem taxes within the City of Hillsdale, after granting this certificate, will not exceed 5% of an amount equal to the sum of the SEV of the unit, plus the SEV of personal and real property thus exempted.

NOW, THEREFORE, BE IT RESOLVED BY the Common Council of the City of Hillsdale that:

1. The Common Council finds and determines that the granting of the Industrial Facilities Exemption Certificate considered together with the aggregate amount of certificates previously granted and currently in force under PA 198 of 1974, as amended and PA 225 of 1978, as amended shall not have the effect of substantially impeding the operation of the City of Hillsdale, or impairing the financial soundness of a taxing unit which levies ad valorem property taxes in the City of Hillsdale.

2. The application from Metallist, Inc. for an Industrial Facilities Exemption Certificate, with respect to a New Facility on the following described parcel of real property situated within the Industrial Development District, to wit:

W-2 Lot 51 and the East 165.86 feet of Lot 50 Hillsdale Industrial Park No. 4.

be and the same is hereby approved.

3. The Industrial Facilities Exemption Certificate, when issued, shall be and remain in force for a period of 12 years.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

I hereby certify that the foregoing constitutes a true and complete copy of a resolution adopted by the Common Council of the City of Hillsdale, County of Hillsdale, Michigan, at a regular meeting held on June 16, 2014.

Mayor's Signature

Deputy Clerk's Signature

		May	2014	Code Violations
purple-	improper parking	citation issued		
pink-	improper parking	citation issued	citation paid	
blue-	violation corrected			
orange-	improper parking	citation issued	not paid	10 day letter mailed (10 days to pay before civil infraction issued)
green-	not corrected	citation issued		
yellow-	assist to assessor			
5/2/2014	34 Marion St.	trash/garbage, D.H.	5/4/14	violation corrected
5/2/2014	28 Marion St.	trash/garbage, D.H.	5/4/14	violation corrected
5/2/2014	22 Marion St.	trash/garbage, D.H.	5/4/14	violation corrected
5/5/2014	61 Salem St.	unregistered vehicles	5/19/14	violation corrected
5/8/2014	219 N. West St.	trash/garbage, D.H.	5/10/14	violation corrected
5/8/2014	22 Park St.	trash/garbage, D.H.	5/10/14	violation corrected
5/11/2014	83 E. Hallett St.	trash/garbage, D.H.	5/23/14	citation issued, sent via certified mail
5/13/2014	84 Hillisdale St.	couch/mattress at curb, D.H.	5/16/15	violation corrected
5/13/2014	83 E. Hallett St.	couch/mattress at curb, D.H.	5/16/14	violation corrected
5/14/2014	Howell St./North St.	improper pking, 3a-5a	5/14/14	citation paid, 3107
5/14/2014	Howell St./Bacon St.	improper pking, 3a-5a	6/3/14	10 day letter mailed, 3108
5/14/2014	Howell St./Bacon St.	improper pking, 3a-5a	6/2/14	citation voided, vehicle registered to out of state rental company
5/14/2014	2 W. Sharp St.	trash/garbage, tall grass D.H.	5/16/14	violation corrected
5/14/2014	12 W. Sharp St.	trash/garbage, D.H.	5/16/14	violation corrected
5/14/2014	353 N. West St.	improper pking, on sidewalk	5/15/14	citation paid, 1736
5/14/2014	353 N. West St.	improper pking, on sidewalk	5/16/14	citation paid, 1737
5/15/2014	60 N. West St.	assist assessor, post building		assessing office handling this property
5/15/2014	126 State St.	multiple violations		assessing office handling this property
5/15/2014	76 Oak St.	trash/couch at curb, D.H.	5/16/14	violation corrected
5/19/2014	280 Spring St.	trash/garbage, tall grass D.H.	6/2/14	citation mailed, violation not corrected
5/21/2014	352 Hillisdale St.	tall grass/weeds, D.H.	5/29/14	violation corrected
5/21/2014	188 Union St.	tall grass/weeds, D.H.	5/25/14	violation corrected
5/21/2014	6 Vine St.	tall grass/weeds, D.H.	5/25/14	violation corrected
5/21/2014	8 Vine St.	tall grass/weeds, D.H.	5/30/14	citation mailed, violation not corrected
5/21/2014	22 W. St. Joe St.	tall grass/weeds, D.H.	5/25/14	violation corrected
5/22/2014	7 Mead St.	tall grass/weeds, D.H.	5/25/14	violation corrected
5/22/2014	37 Mead St.	tall grass/weeds, D.H.	5/25/14	violation corrected

5/22/2014	53 Howder St.	tall grass/weeds, D.H.	5/25/14	violation corrected
5/22/2014	4 Spring St.	tall grass/weeds, D.H.	5/25/14	violation corrected
5/22/2014	12 Spring St.	trash/garbage, tall grass D.H.	5/30/14	citation mailed, violation not corrected
5/22/2014	120 Oak St.	tall grass/weeds, D.H.	6/4/14	citation mailed, violation not corrected
5/23/2014	Union St./College St.	improper, face wrong way	5/23/14	citation paid, 3110
5/27/2014	143 Griswold St.	unregistered vehicles	6/1/14	violation corrected
5/27/2014	24 N. Norwood Ave.	tall grass/weeds	6/3/14	citation issued, violation not corrected
5/27/2014	30 N. Norwood Ave.	tall grass/weeds	6/3/14	citation issued, violation not corrected
5/28/2014	121 Lumbard St.	tall grass/weeds, D.H.	6/2/14	violation corrected
5/28/2014	113 Lumbard St.	tall grass/weeds, D.H.	6/1/14	violation corrected
5/28/2014	16 W. College St.	tall grass/weeds, D.H.	6/2/14	violation corrected
5/28/2014	312 Summit St.	tall grass/weeds, D.H.	6/1/14	violation corrected
5/28/2014	88 N. West St.	tall grass/weeds	6/2/14	violation corrected
5/28/2014	153 Hillsdale St.	unregistered vehicles, D.H.	6/2/14	per assessing office, given until 6/30/14 to comply
5/28/2014	47 E. St. Joe St.	tall grass, trash, brush pile, D.H.	6/2/14	citation issued, violation not corrected, 6/5/14 violation corrected
5/29/2014	12 Vine St.	tall grass/weeds, D.H.	6/2/14	violation corrected
5/29/2014	29 Vine St.	tall grass/weeds, D.H.	6/1/14	violation corrected
5/29/2014	85 Union St.	tall grass/weeds, D.H.	6/1/14	violation corrected
5/29/2014	51 Howder St.	tall grass/weeds, D.H.	6/5/14	violation corrected
5/29/2014	15 Mead St.	tall grass/weeds, D.H.	6/2/14	violation corrected
5/29/2014	175 S. Howell St.	tall grass/weeds, D.H.	6/1/14	violation corrected
5/29/2014	156 S. Broad St.	tall grass/weeds, D.H.	6/3/14	citation issued, violation not corrected, 6/5/14 violation corrected
5/29/2014	99 Rippon Ave.	tall grass/weeds, D.H.	6/5/14	violation corrected
5/29/2014	64 Rippon Ave.	tall grass/weeds, D.H.	6/3/14	citation issued, violation not corrected
5/29/2014	4 Rippon Ave.	tall grass/weeds, D.H.	6/1/14	violation corrected
5/29/2014	58 S. Norwood Ave.	tall grass/weeds, D.H.	6/1/14	violation corrected
5/29/2014	62 Park St.	tall grass/weeds, D.H.	6/1/14	violation corrected
5/29/2014	32 McClellan St.	tall grass/weeds, D.H.	6/5/14	violation corrected

Enforcement List by Address

06/03/14

345 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0231	VACANT STRUCTURE UNMAINTA	FORECLOSURE PENDING - REDEMPTION EXPIRES 11/2/14 CHECK FOR BLIGHT ALSO CHECK OCCUPANCY (CLAIMING PRINCIPAL RESIDENCE EXEMPTION)	05/21/14	OPEN	

Total Enforcements: 1

41 N BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0234	OBSERVED VIOLATION	5/21/2014 - EXTERIOR STAIR FROM 2ND FLOOR UNSAFE, NO GUARDRAIL OR HANDRAIL, NOT TO CODE.	05/22/14		

Total Enforcements: 1

99 N BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0204	CITIZEN COMPLAINT	305.4 - STAIRS AND/OR WALKING SURFACES - CLEAR/REPAIR/OR REPLACE.	05/06/14	30 day	

Total Enforcements: 1

70 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0203	USE AND OCCUPANCY EXPIRED	2011 USE & OCCUPANCY NEVER APPROVED; ALSO SIGN VIOLATIONS	05/02/14	OPEN	

Total Enforcements: 1

10 ELM ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed

Enforcement List by Address

06/03/14

E2014-0216 CITIZEN COMPLAINT

RETAINING WALL

05/13/14

Total Enforcements: 1

8 ELM HILL

CASE #

Category

Complaint Details

Date Filed

Status

Date Closed

E2014-0241

USE AND OCCUPANCY EXPIRED

NO USE & OCCUPANCY PERMIT ON FILE. NEW OWNER 5/5/14 CLAIMING PRINCIPAL RESIDENCE EXEMPTION.

05/27/14

OPEN

Total Enforcements: 1

12 GRISWOLD ST

CASE #

Category

Complaint Details

Date Filed

Status

Date Closed

E2014-0242

CITIZEN COMPLAINT

SHINGLES FALLING OFF TOP ROOF WHICH IS BAD AND BLOWING IN NEIGHBORS YARD.

05/27/14

OPEN

Total Enforcements: 1

43 GRISWOLD ST

CASE #

Category

Complaint Details

Date Filed

Status

Date Closed

E2014-0213

USE AND OCCUPANCY EXPIRED

USE & OCCUPANCY PERMIT EXPIRED - VA OWNED AS OF 4/25/2014 (SHERIFFS DEED REDEMPTION EXPIRED)

05/12/14

OPEN

Total Enforcements: 1

126 HILLSDALE ST

CASE #

Category

Complaint Details

Date Filed

Status

Date Closed

E2014-0206

USE AND OCCUPANCY EXPIRED

05/08/14

OPEN

Total Enforcements: 1

153 HILLSDALE ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0235	OBSERVED VIOLATION	OBSERVED UNLICENSED VEHICLES, REFERRED TO POLICE	05/07/14		
		CONTACTED BY OWNER, SENDING LETTER ASKING FOR EXTENSION TO REMOVE VEHICLES FROM BACK YARD BY JUNE 30, 2014.			
		6/2/2014 OWNER GIVEN EXTENSION TO 6/30/2014.			

Total Enforcements: 1

11 LUDLAM ST & 11 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0205	USE AND OCCUPANCY EXPIRED		05/06/14	OPEN	

Total Enforcements: 1

14 LUDLAM ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0215	USE AND OCCUPANCY EXPIRED	2011 TENANCY TRANSFER NEVER APPROVED (WEST SIDE GARAGE EXTERIOR PAINTING REQUIRED, NOT CONFIRMED COMPLIANT) - NOT OWNER OCCUPIED	05/13/14	Resolved	05/30/14

Total Enforcements: 1

121 LUMBARD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0243	CITIZEN COMPLAINT	TG&W AND PILE OF WOOD	05/27/14	REFERRED TO POLICE	

Total Enforcements: 1

116 S MANNING ST

Enforcement List by Address

06/03/14

Case # Category Complaint Details Date Filed Status Date Closed

E2014-0226 USE AND OCCUPANCY EXPIRED NO USE & OCCUPANCY PERMIT ON FILE, OWNER OCCUPIED SINCE 2009? (SEE PRE RECORDS FOR 61 S NORWOOD) 05/19/14 OPEN

5/15/14 OBSERVED VIOLATION - OVERGROWN SHRUBBERY BLOCKING DOOR ON MANNING ST SIDE. CAR IN DRIVE ON SHARP ST SIDE.

Total Enforcements: 1

120 S MANNING ST

Case # Category Complaint Details Date Filed Status Date Closed

E2014-0224 USE AND OCCUPANCY EXPIRED USE & OCCUPANCY PERMIT EXPIRED. NEW OWNER 12/27/2012. CLAIMING PRINCIPAL RESIDENCE EXEMPTION. LAST INSPECTION 10/27/2008. 05/19/14 OPEN

5/15/14 OBSERVED VIOLATION - WEEDS, LOOSE FRONT PORCH SOFFIT

Total Enforcements: 1

148 S MANNING ST

Case # Category Complaint Details Date Filed Status Date Closed

E2014-0219 CITIZEN COMPLAINT YARD NOT MAINTAINED - BELIEVED TO BE VACANT 05/15/14 OPEN

5/2/14 LEFT CARD IN DOOR REQUESTING OWNER CONTACT CODE ENFORCEMENT 5/19/14 SPOKE WITH MRS. LAWRENCE - THEY ARE IN PROCESS OF GETTING A LIST FROM THE REALTOR OF LOCAL PROPERTY MAINTENANCE PEOPLE TO HANDLE GENERAL UPKEEP. ADVISED HER THAT GRASS IS APPROACHING THE 10" LIMIT SO THEY NEED TO MAKE ARRANGEMENTS QUICKLY. KAT. MRS. LAWRENCE'S DAUGHTER CALLED BACK TO LET US KNOW REALTOR IS MAKING ARRANGEMENTS ASAP.

Total Enforcements: 1

Enforcement List by Address

06/03/14

149 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0239	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED 4/13/14. NEW OWNER 4/28/14 CLAIMING PRINCIPAL RESIDENCE EXEMPTION.	05/27/14	OPEN	

Total Enforcements: 1

34 MARION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0202	CITIZEN COMPLAINT	COMPLAINT OF BED FRAME, BOXES, CHAIRS, WATER HEATERS, ETC. PILED BEHIND THE GARAGE. 5-4-14 CORRECTED PER OFFICER	05/01/14	Resolved	05/02/14

Total Enforcements: 1

28 MCCLELLAN ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0228	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE, NEW OWNER CLAIMING PRINCIPAL RESIDENCE EXEMPTION AS OF 8/23/13.	05/19/14	OPEN	

Total Enforcements: 1

27 MEAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0232	OBSERVED VIOLATION	5/21/2014 OBSERVED PEELING PAINT	05/21/14		

Total Enforcements: 1

31 MEAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed

Enforcement List by Address

06/03/14

E2014-0212 CITIZEN COMPLAINT

PEELING PAINT

05/12/14

05/21/14

Total Enforcements: 1

37 MEAD ST

CASE # Category

Complaint Details

Date Filed Status

Date Closed

E2014-0211 CITIZEN COMPLAINT

PEELING PAINT

05/12/14

OPEN

Total Enforcements: 1

38 MEAD ST

CASE # Category

Complaint Details

Date Filed Status

Date Closed

E2014-0230 VACANT STRUCTURE UNMAINTA

INATED - FURNITURE REMOVAL - UTILITY ROOM

05/21/14

OPEN

Total Enforcements: 1

65 N NORWOOD AVE

CASE # Category

Complaint Details

Date Filed Status

Date Closed

E2014-0222 USE AND OCCUPANCY EXPIRED

TEMP C OF O ISSUED 11/7/2012 EXPIRED, NO FOLLOW-UP INSPECTIONS CALLED FOR. NEW OWNER 11/16/2012.

05/19/14

OPEN

Total Enforcements: 1

100 N NORWOOD AVE

CASE # Category

Complaint Details

Date Filed Status

Date Closed

E2014-0237 USE AND OCCUPANCY EXPIRED

USE & OCCUPANCY PERMIT EXPIRED - NOT OWNER OCCUPIED. LAST INSPECTION 2010.

05/23/14

OPEN

Total Enforcements: 1

110 N NORWOOD AVE

Date Closed

Enforcement List by Address

06/03/14

E2014-0236	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NEW OWNER 4/10/12, CLAIMING PRINCIPAL RESIDENCE EXEMPTION. LAST INSPECTION ON FILE 2007.	05/23/14	OPEN	
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Total Enforcements: 1

38 OAK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0229	USE AND OCCUPANCY EXPIRED		05/20/14	OPEN	

Total Enforcements: 1

76 OAK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0218	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NOT OWNER OCCUPIED, APPEARS TO BE COLLEGE RENTAL ALSO OBSERVED VIOLATION - COUCH AND TV AT CURB, BAGGED GARBAGE ON PORCH - REFERRED TO CITY POLICE ON 5/14/2014 - RESOLVED 5/16/14 5-29-14 OWNER STOPPED IN AND ADVISED VACANT NOW AND WILL BE RENTING LATER IN SUMMER. WILL CALL BY END OF JULY TO INSPECT. IT'S A COLLEGE RENTAL.	05/14/14	OPEN	

Total Enforcements: 1

115 OAK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0246	OBSERVED VIOLATION	302.7 ACCESSORY STRUCTURE PAINT	05/29/14	OPEN	

Total Enforcements: 1

120 OAK ST

Enforcement List by Address

06/03/14

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0225	CITIZEN COMPLAINT	JUNK VAN PARKED IN THE LAWN - REFERRED TO POLICE ON 5/19/14 5-21-14 OFFICER HOLTZ CHECKED AND THERE IS NO VEHICLE ON LAWN.	05/19/14	Resolved	05/21/14

Total Enforcements: 1

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0223	CITIZEN COMPLAINT	A CONCERNED NEIGHBOR - A SINGLE WIRE FENCE HAS BEEN ERECTED AT 155 OAK STREET ON THE NORTH BOUNDARY LINE. THIS IS NECK/HEAD HIGH TO A CHLD. SEC. 6-121 & 6-122 INSPECTED ON 5/21/2014 - FROM SIDEWALK COULD NOT VERIFY THAT THERE WAS ANY TYPE OF SINGLE WIRE FENCING.	05/19/14		05/22/14

Total Enforcements: 1

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0240	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED. NEW OWNER 4/28/14. NOT OWNER OCCUPIED.	05/27/14	OPEN	

Total Enforcements: 1

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0244	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - LAST INSPECTION 2010, NOT COMPLIANT	05/27/14	OPEN	

Total Enforcements: 1

15 STATE ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0207	CITIZEN COMPLAINT	5-8-14 PEELING PAINT	05/08/14	OPEN	
Total Enforcements: 1					

23 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0210	CITIZEN COMPLAINT	PEELING PAINT	05/12/14	OPEN	
Total Enforcements: 1					

65 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0217	OBSERVED VIOLATION	5/14/14 - OBSERVED PEELING PAINT ON VARIOUS SURFACES AND INDOOR FURNITURE IN THE YARD.	05/14/14		
Total Enforcements: 1					

71 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0221	OBSERVED VIOLATION	5/14/14 - OBSERVED PEELING PAINT 5-29-14 SUBMITTED TIMELINE - SEE FILE - ASKED UNTIL END OF JULY	05/15/14		
Total Enforcements: 1					

123 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0209	CITIZEN COMPLAINT		05/12/14	OPEN	
Total Enforcements: 1					

Enforcement List by Address

06/03/14

MATERIAL

5/27/14 MR. MOON CONTACTED CITY
MANAGER - PLANS TO REPAINT PEELED
SIDING OVER THE SUMMER. SHE ADVISED
HIM TO CONTACT OUR OFFICE TO GET
EXTENSION.

Total Enforcements: 1

175 STATE ST

CASE # Category
E2014-0208 CITIZEN COMPLAINT

Complaint Details
PEELING PAINT

Date Filed Status
05/12/14 OPEN

Date
Closed

Total Enforcements: 1

35 N WEST ST

CASE # Category Complaint Details
E2014-0220 USE AND OCCUPANCY EXPIRED USE & OCCUPANCY PERMIT EXPIRED. NEW
OWNER 10/30/2012. APPEARS OCCUPIED AS OF
5/13/2014. MULTI-UNIT? - NO

Date Filed Status
05/15/14 OPEN

Date
Closed

Total Enforcements: 1

364 N WEST ST

CASE # Category Complaint Details
E2014-0233 OBSERVED VIOLATION 5/21/2014 - OBSERVED VACANT PROPERTY IN
NEED OF MAINTENANCE

Date Filed Status
05/22/14

Date
Closed

Total Enforcements: 1

427 N WEST ST

CASE # Category
E2014-0214 CITIZEN COMPLAINT

Complaint Details
PEELING PAINT

Date Filed Status
05/12/14 OPEN

Date
Closed

Total Enforcements: 1

Enforcement List by Address

06/03/14

42 S WEST ST UNITS 1-4

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0238	CITIZEN COMPLAINT	PER OCCUPANT - UPSTAIRS APT MAIN DRAIN PIPES LEAKING IN WALL. PATCHED, BUT STILL LEAKING CAUSING MOLD & BUGS. FIRE ALARM IS BROKEN (6 MOS). TURNED OFF FURNACE - HEATING WITH GAS OVEN. POWER - BREAKERS OVERLOADED. NO COMMON HALLWAY LIGHTS. 4 UNIT APARTMENT. BEDBUGS IN UPSTAIRS APARTMENT. NO USE & OCCUPANCY PERMIT (LAST INSPECTION 2006). 5-27-14 OWNER STOPPED IN AND SAID 3 OF THE UNITS WILL BE VACANT IN THE NEXT MONTH. HE WILL SCHEDULE INSPECTIONS BY JULY 1, 2014. (TIMELINE IN FILE)	05/23/14	OPEN	

Total Enforcements: 1

26 WESTWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0227	OBSERVED VIOLATION	OBSERVED VIOLATION - PEELING PAINT	05/19/14	OPEN	

Total Enforcements: 1

9 WINDSWEPT LN

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0245	USE AND OCCUPANCY EXPIRED		05/28/14	Resolved	05/28/14

Total Enforcements: 1

Records: 45

Population: All Records
 Enforcement Date Filed Between 5/1/2014 12:00:00 AM
 AND 6/1/2014 12:00:00 AM

Enforcement List by Address

06/03/14

324 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0155	OBSERVED VIOLATION	DISCARDED HOUSEHOLD ITEMS THROWN ALL OVER YARD	04/02/14	Resolved	05/02/14

Total Enforcements: 1

55 S BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
ERES-07-0097	RESIDENTIAL INSP.	INITIAL INSPECTION 10/11/07***OWNER MISSED APPOINTMENT REINSPECTION 10/29/07***GRANTED 30 DAY EXTENSION TO SHOW IMPROVEMENT. INSPECTION 02/11/08**GRANTED 60 DAY EXTENSION REINSPECTION CHANGED FROM 9/29 TO 10/01 TO ALLOW ACCESS TO BUILDING. POSTED UNSAFE BY BUILDING INSPECTOR 8-7-09	10/15/07	CLOSED/ NEW OPENED	05/13/14
E2010-0513	Vacant Structure		07/13/10	CLOSED/ NEW OPENED	05/13/14
E2010-0645	REAL ESTATE TRANSFER		09/01/10	CLOSED/ NEW OPENED	05/13/14

Total Enforcements: 3

3883 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0072	USE AND OCCUPANCY EXPIRED		03/11/14	Resolved	05/09/14

Total Enforcements: 1

70 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0049	SIGN VIOLATION	Temporary sign Issues: exceeded allowable number, exceeded maximum number of days	03/12/13	CLOSED/ NEW OPENED	05/02/14

Enforcement List by Address

06/03/14

Total Enforcements: 1

258 W CARLETON RD

CASE # E2012-0074 Category SIGN VIOLATION

Complaint Details sign at front of property "Tax Help" without permit. Date Filed 03/05/12 Status

Date 05/06/14
Closed

Total Enforcements: 1

83 E HALLETT ST

CASE # E2014-0200 Category CITIZEN COMPLAINT

Complaint Details SUSPECT LIVING IN THE TRAILER, EXTENSION CORDS FROM TRAILER TO THE HOUSE. ALSO JUNK IN BACK OF THE HOUSE, ON SIDEWALKS, ETC. SEVERAL VEHICLES ON PROPERTY Date Filed 04/29/14 Status CLOSED/ NEW OPENED

Date 05/12/14
Closed

Total Enforcements: 1

1 HEATHCLIFF DR

CASE # E2014-0166 Category USE AND OCCUPANCY EXPIRED

Complaint Details USE & OCCUPANCY PERMIT EXPIRED. NEW OWNER 3/28/14 (LAND CONTRACT) CLAIMED PRINCIPAL RESIDENCE EXEMPTION. Date Filed 04/09/14 Status Resolved

Date 05/15/14
Closed

Total Enforcements: 1

126 HILLSDALE ST

CASE # E2011-0469 Category CITIZEN COMPLAINT

Complaint Details Ceilings in disrepair, Smoke Detector, Date Filed 07/12/11 Status CLOSED/ NEW OPENED

Date 05/08/14
Closed

Total Enforcements: 1

1 HOWDER ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0152	USE AND OCCUPANCY EXPIRED	CLOSED OLD ENFORCEMENT AND OPENED NEW ONE - DUE FOR U&O INSPECTION	03/28/14	Resolved	05/14/14

Total Enforcements: 1

57 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0102	USE AND OCCUPANCY EXPIRED	1 WORKING -	03/13/14	Resolved	05/21/14

Total Enforcements: 1

81 LEWIS ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0105	USE AND OCCUPANCY EXPIRED		03/13/14	Resolved	05/20/14

Total Enforcements: 1

90 LEWIS ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0192	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - APPEARS TO BE OCCUPIED RESIDENCE. NEW OWNER 9/12/2012. 5-14-14 CANCELED BY FIRE DEPT DUE TO POSSIBLE STORMS.	04/24/14	Resolved	05/14/14

Total Enforcements: 1

14 LUDLAM ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0215	USE AND OCCUPANCY EXPIRED	2011 TENANCY TRANSFER NEVER APPROVED (WEST SIDE GARAGE EXTERIOR PAINTING REQUIRED, NOT CONFIRMED COMPLIANT) - NOT OWNER OCCUPIED	05/13/14	Resolved	05/30/14

Enforcement List by Address

06/03/14

Total Enforcements: 1

11 LUDLAM ST & 11 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0395	WEEDS & TALL GRASS	LIQUID FUEL OIL CAN WITH LIQUID FUEL PROHIBITED. ALL PREMISES AND EXTERIOR PROPERTY SHALL BE MAINTAINED FREE FROM WEEDS OR PLANT GROWTH IN EXCESS OF 10 INCHES. ALL NOXIOUS WEEDS SHALL BE PROHIBITED.	06/23/09	ORD. MOWED BY CITY	05/05/14

Total Enforcements: 1

14 LUDLAM ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0641	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NEW TENANT	10/27/11	CLOSED / NEW OPENED	05/13/14

Total Enforcements: 1

100 LUMBARD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0104	USE AND OCCUPANCY EXPIRED		03/13/14	Resolved	05/21/14

Total Enforcements: 1

117 LUMBARD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0173	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED OR NO PERMIT ON FILE; NEW OWNER (LAND CONTRACT) 4/10/14, CLAIMING PRINCIPAL RESIDENCE EXEMPTION	04/15/14	Resolved	05/03/14

Total Enforcements: 1

Enforcement List by Address

06/03/14

36 E LYNWOOD BLVD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0182	USE AND OCCUPANCY EXPIRED	4-28-14 OCCUPANT MAIL RETURNED VACANT	04/22/14	Resolved-No Action	05/02/14

Total Enforcements: 1

39 S MANNING ST & 39 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0444	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE	12/12/13	Resolved	05/08/14

Total Enforcements: 1

149 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0543	TALL GRASS & WEEDS		08/18/11	Closed-invoice paid	05/27/14

Total Enforcements: 1

34 MARION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0202	CITIZEN COMPLAINT	COMPLAINT OF BED FRAME, BOXES, CHAIRS, WATER HEATERS, ETC. PILED BEHIND THE GARAGE. 5-4-14 CORRECTED PER OFFICER	05/01/14	Resolved	05/02/14

Total Enforcements: 1

31 MEAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0212	CITIZEN COMPLAINT	PEELING PAINT	05/12/14		05/21/14

Total Enforcements: 1

Enforcement List by Address

06/03/14

37 MEAD ST

CASE # E2012-0340 Category Garbage/Solid Waste

Complaint Details Couch and debris cited 7/3/12 not corrected 7/6/12
 Date Filed 07/10/12 Status CLOSED/ NEW OPENED

Date Closed 05/12/14

Total Enforcements: 1

65 N NORWOOD AVE

CASE # E2012-0479 Category REAL ESTATE TRANSFER

Complaint Details USE & OCCUPANCY PERMIT EXPIRED. MULTI-UNIT RESIDENTIAL. NEW OWNER 11/16/2012. 11/7/2012 - INITIAL INSPECTION 11/16/2012 - NEW OWNER 5/2/2014 - REVIEW (EXTERIOR INSPECTION) - REMAINING DEFICIENCIES PRESENT. SENT LETTER TO APPLY FOR NEW USE & OCCUPANCY PERMIT.

Date Filed 11/05/12 Status CLOSED/ NEW OPENED
 Date Closed 05/19/14

Total Enforcements: 1

51 S NORWOOD AVE

CASE # E09-0367 Category Vacant Structure

Complaint Details
 Date Filed 06/18/09 Status Resolved

Date Closed 05/22/14

Total Enforcements: 1

72 OAK ST

CASE # E2014-0085 Category USE AND OCCUPANCY EXPIRED

Complaint Details USE & OCCUPANCY PERMIT EXPIRED 8/04/2008 - NEW TENANT PER BPU
 Date Filed 03/11/14 Status Resolved

Date Closed 05/08/14

Total Enforcements: 1

120 OAK ST

CASE # Category

Complaint Details
 Date Filed Status

Date Closed

Enforcement List by Address

06/03/14

E2014-0225 CITIZEN COMPLAINT JUNK VAN PARKED IN THE LAWN - REFERRED TO POLICE ON 5/19/14 05/19/14 Resolved 05/21/14
 5-21-14 OFFICER HOLTZ CHECKED AND THERE IS NO VEHICLE ON LAWN.

Total Enforcements: 1

155 OAK ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2014-0223 CITIZEN COMPLAINT A CONCERNED NEIGHBOR - A SINGLE WIRE FENCE HAS BEEN ERECTED AT 155 OAK STREET ON THE NORTH BOARDARY LINE. THIS IS NECK/HEAD HIGH TO A CHILD. SEC. 6-121 & 6-122 05/19/14 05/22/14
 INSPECTED ON 5/21/2014 - FROM SIDEWALK COULD NOT VERIFY THAT THERE WAS ANY TYPE OF SINGLE WIRE FENCING.

Total Enforcements: 1

175 OAK ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2014-0024 USE AND OCCUPANCY EXPIRED 01/24/14 Resolved 05/29/14

Total Enforcements: 1

38 OAK ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2013-0310 ZONING VIOLATION rear deck without permit 08/20/13 Resolved 05/21/14

Total Enforcements: 1

70 E SOUTH ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2013-0372 Vacant Structure 10/08/13 Closed-time elapse 05/27/14

Enforcement List by Address

06/03/14

THESE OF OR VACANT LAND SHALL BE MAINTAINED IN A CLEAN, SAFE, SECURE AND SANITARY CONDITION AS PROVIDED HEREIN SO AS NOT TO CAUSE A BLIGHTING PROBLEM OR ADVERSELY AFFECT THE PUBLIC HEALTH OR SAFETY.

Total Enforcements: 1

72 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E08-0253	REAL ESTATE TRANSFER	10/17/08 structure encroaches into... way easement granted	09/29/08	CLOSED / NEW OPENED	05/27/14
		12/16/08 Vacant 180 day deadline for reinspection			

Total Enforcements: 1

44 W ST JOE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0099	USE AND OCCUPANCY EXPIRED		03/13/14	Resolved	05/08/14

Total Enforcements: 1

65 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0112	CITIZEN COMPLAINT	sewer smell in backyard, possible unsanitary conditions inside.	04/30/13	Closed-time lapse	05/14/14

Total Enforcements: 1

247 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0320	CITIZEN COMPLAINT	furniture on porch	08/27/13	CLOSED / NEW OPENED	05/29/14

Total Enforcements: 1

Enforcement List by Address

06/03/14

181 URAN ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0063	USE AND OCCUPANCY EXPIRED	OWNER HAS A CONSULTANT BUSINESS AND IS USING THE OFFICE AND A SMALL PORTION OF BUILDING AND THE REST IS FOR OCCUPANT WHICH IS DOING MFG ASSEMBLY.	03/05/14	Resolved	05/08/14

Total Enforcements: 1

12 WALDRON ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E09-0548	Vacant Structure		07/30/09	Resolved	05/13/14

Enforcement List by Address

06/03/14

UNSAFE BY COUNTY INSPECTION 7/2/2012
 PURCHASED BY KEN HODGE 10/21/2013
 11/7/2013 SPOKE WITH KEN - PLANS TO
 DEMOLISH AS SOON AS POSSIBLE. WILL
 CONTACT THIS OFFICE BY 11/12/2013 WITH A
 TIMELINE FOR COMPLETION.
 11/14/2013 SAID HE WOULD HAVE DOWN BY
 THE END OF THE MONTH. DEMOLITION
 PERMIT PULLED WITH COUNTY INSPECTION
 DEPARTMENT, EXPIRES MAY 14, 2014.
 12/18/2013 PER CITY ATTORNEY VIA CITY
 MANAGER - NEEDS TO SUBMIT ACCEPTANCE
 OF RESPONSIBILITY WITHIN 5 DAYS. NEEDS
 TO SIGN COMMITMENT TO DEMOLISH NO
 LATER THAN JANUARY 31, 2014.
 12/27/2013 ACCEPTANCE AND RESPONSIBILITY
 SIGNED IN OFFICE BY KEN HODGE. REFUSED
 TO SIGN COMMITMENT TO DEMOLISH BY
 JANUARY 31, BUT VERBALLY EXPRESSED
 INTENT TO TRY TO MEET THAT DEADLINE.
 2/19/14 NO PROGRESS. NO REQUEST FOR
 EXTENSION - CIC #1062 ISSUED.
 3/5/14 NO PROGRESS. KEVIN SHIRK TO
 CHECK ON STATUS OF CIC #1062.
 3/19/14 NO PROGRESS. CIC #1065 PREPARED.
 PER SGT HEPPNER AND KEVIN SHIRK JUDGE
 GAVE DEADLINE OF APRIL 1 TO ALLOW TIME
 TO COMPLETE DEMOLITION. CIC HELD BACK
 3/21/14 - KEN WAS IN AND ADVISED HE
 WOULD TRY TO HAVE COMPLETED BY APRIL 1
 PENDING WEATHER. WILL CONTACT KEVIN -
 NO LATER THAN MAY 14 (DEMOLITION
 PERMIT EXPIRATION).
 5/13/14 DEMOLITION AND ALL CLEANUP
 COMPLETE. PROPERTY HAS BEEN DEED TO
 ADJACENT OWNER.

Total Enforcements: 1

337 N WEST ST

CASE #	Category	Complainer Details	Date filed	Status	Date Closed
E2014-0147	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - NEW OWNER 1/22/2014	03/25/14	Resolved	05/12/14

Total Enforcements: 1

Enforcement List by Address

06/03/14

35 N WEST ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2011-0339	Vacant Structure	REVIEW FOR BLIGHT NEW OWNER 10/30/2012	05/24/11	CLOSED / NEW OPENED	05/13/14

Total Enforcements: 1

9 WINDSWEPT LN

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0245	USE AND OCCUPANCY EXPIRED		05/28/14	Resolved	05/28/14

Total Enforcements: 1

Records: 42

Population: All Records
Enforcement.DateClosed Between 5/1/2014 12:00:00
AM AND 6/1/2014 12:00:00 AM

Enforcement List by Address

06/03/14

130 ARBOR CT

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0054	REAL ESTATE TRANSFER		02/13/12	OPEN	

Total Enforcements: 1

95 ARBOR VIEW CT

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0186	REAL ESTATE TRANSFER		05/26/09	OPEN	

Total Enforcements: 1

8 ARMSTRONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0430	VACANT STRUCTURE UNMAINTA	WATER TURNED OFF - BROKEN PIPES	11/27/13	REFERRED TO COUNTY INSPECTION	

Total Enforcements: 1

28 ARMSTRONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0067	USE AND OCCUPANCY EXPIRED		03/06/14	OPEN	

Total Enforcements: 1

160 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0023	CITIZEN COMPLAINT	PARKING VIOLATIONS RELATED TO FOOD PANTRY ON TUESDAY MORNINGS.	01/21/14	REFERRED TO POLICE	

Total Enforcements: 1

187 E BACON ST

Enforcement List by Address

06/03/14

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0177	USE AND OCCUPANCY EXPIRED		04/22/14	OPEN	

Total Enforcements: 1

202 E BACON ST & 204

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0255	CITIZEN COMPLAINT	PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM, PLUS EXCESS TRASH 10/18/2013 ADDITIONAL COMPLAINTS RECEIVED BY CITY MANAGER - OCCUPIED CAMPER IN DRIVE (REMOVED); TRASH & RUBBISH IN YARD, PALLETTS (COMMERCIAL STORAGE) 12/5/13 ADDITIONAL COMPLAINTS RECEIVED - EYESORE; TRAFFIC IN & OUT IN EVENINGS; 2/17/14 LETTER ISSUED BY CITY ATTORNEY'S OFFICE - CRIMINAL COMPLAINT AND WARRANT IF PALLETTS NOT REMOVED BY MARCH 1, 2014. 3/5/2014 NO CHANGE. PICTURES FORWARDED TO CITY ATTORNEY'S OFFICE FOR FOLLOW-UP.	06/19/13	REFERRED TO CITY ATTORNEY	

Total Enforcements: 1

235 E BACON ST ETAL

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0196	CITIZEN COMPLAINT	PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM, TRASH/DEBRIS, DAMAGED WINDOWS, ETC 1/28/14 "OCCUPANT" MAIL RETURNED UTR INSPECTOR COMMENTS: PARTIAL CLEARED - SIDEWALKS 304.2 SANITATION CLEAN TRASH AND RUBBISH FROM EXTERIOR AREA - UNKNOWN DUE TO SNOW	05/20/13	OPEN	

Total Enforcements: 1

236 E BACON ST #1 (DOWN)

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0032	USE AND OCCUPANCY EXPIRED	NO USE AND OCCUPANCY PERMIT ON FILE. OCCUPANT REQUESTED INSPECTION 12/9/13. MULTIPLE VIOLATIONS FOUND. OWNER INDICATED 1/10/14 EVICTION IN PROCESS AND WOULD CALL TO SCHEDULE INSPECTION WHEN VACANT.	02/04/14	VACANT	

Total Enforcements: 1

236 E BACON ST #2 (UP)

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0031	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE. LAST INSPECTION ON RECORD 9/9/1994.	02/04/14	On Hold - Vacant	

Total Enforcements: 1

267 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0027	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFERRED - NO USE & OCCUPANCY PERMIT ON FILE	01/27/14	VACANT	

Total Enforcements: 1

318 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0154	OBSERVED VIOLATION		04/02/14	OPEN	

Enforcement List by Address

06/03/14

SIDE OF GARAGE. DISCARDED BUILDING MATERIALS SOUTH OF GARAGE. COUNTY BUILDING INSPECTOR SENT LETTER REQUIRING INSPECTION TO VERIFY INTEGRITY OF EXPOSED CONSTRUCTION. PRIOR TO RENEWAL OF BUILDING PERMIT. 4-15-14 OWNER CALLED AND WE ASKED HIM TO SUBMIT SOMETHING IN WRITING THAT HE IS GOING TO APPLY FOR A DEMOLATION PERMIT FROM THE COUNTY. HE IS CLEARNING OUT SMALL SHRUB TREES, WITH MISC STUFF LAYING THERE AND HE WILL BE TAKING CARE OF IT. 5/2/14 NO PROGRESS, ADDITIONAL ACCUMULATION. 5/19/14 NO PERMIT ON FILE PER KEITH AT COUNTY INSPECTION

Total Enforcements: 1

319 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0163	USE AND OCCUPANCY EXPIRED	USE AND OCCUPANCY EXPIRED. JANUARY 2014 NOT APPROVED. TRANSFERRED 3/21/2014 WITH OPEN VIOLATIONS. NO ACCEPTANCE OF RESPONSIBILITY FILED. NEW OWNER FILED PRINCIPAL RESIDENCE EXEMPTION A DEPT 14/1/14	04/09/14	OPEN	

Total Enforcements: 1

345 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0231	VACANT STRUCTURE UNMAINTA	FORECLOSURE PENDING - REDEMPTION EXPIRES 11/2/14 CHECK FOR BLIGHT ALSO CHECK OCCUPANCY (CLAIMING PRINCIPAL RESIDENCE EXEMPTION)	05/21/14	OPEN	

Total Enforcements: 1

18 W BACON ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0417	USE AND OCCUPANCY EXPIRED	EXPIRED USE & OCCUPANCY PERMIT/NO PERMIT ON FILE	11/21/13	On Hold - Vacant	
Total Enforcements: 1					

48 W BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0368	USE AND OCCUPANCY EXPIRED	PRINCIPAL RESIDENCE EXEMPTION AFFIDAVIT FILED - NO USE & OCCUPANCY PERMIT ON FILE. REMODEL IN PROGRESS - REQUIRES PERMITS FROM COUNTY INSPECTION DEPARTMENT	10/07/13	REFERRED TO COUNTY INSPECTION	
Total Enforcements: 1					

112 W BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0057	USE AND OCCUPANCY EXPIRED	NOT OWNER OCCUPIED. PRIOR OCCUPYING OWNER IS NOW DECEASED. USE & OCCUPANCY PERMIT EXPIRED OR NO PERMIT ON FILE.	02/27/14	OPEN	
Total Enforcements: 1					

141 W BACON ST & 143

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0199	USE AND OCCUPANCY EXPIRED		04/28/14		
Total Enforcements: 1					

6 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0061	USE AND OCCUPANCY EXPIRED		03/28/13	On Hold - Vacant	

Enforcement List by Address

06/03/14

TRANSFER
 4/1/13 NEW OWNER
 5/1/13 INSPECTED FOR REASSESSMENT -
 VACANT - SPOKE WITH OWNER ABOUT
 NECESSARY IMMEDIATE REPAIRS.
 ELECTRICAL SERVICE DISCONNECTED, PLANS
 TO PAINT AND MAKE REPAIRS SOMETIME IN
 THE FUTURE - POSSIBLY WILL MAKE RENTAL.
 5/1/14 NO CHANGE IN VACANT STATUS -
 HOUSE IS SECURE AND YARD IS MAINTAINED.

Total Enforcements: 1

32 E BACON ST

CASE # _____ Category _____
 E2011-0292 Vacant Structure

Complaint Details _____

Date Filed _____ Status _____
 05/03/11 On Hold - Vacant

Date
 Closed _____

Total Enforcements: 1

115 E BACON ST

CASE # _____ Category _____
 E2012-0128 Vacant Structure

Complaint Details _____

Date Filed _____ Status _____
 04/18/12 VACANT

Date
 Closed _____

Total Enforcements: 1

121 E BACON ST

CASE # _____ Category _____
 E2012-0129 Vacant Structure

Complaint Details _____

Date Filed _____ Status _____
 04/18/12 On Hold - Vacant

Date
 Closed _____

Total Enforcements: 1

310 E BACON ST

CASE # _____ Category _____
 E2013-0194 CITIZEN COMPLAINT

Complaint Details _____

Pending exterior paint under city wide complaint system

Date Filed _____ Status _____
 05/20/13

Date
 Closed _____

Total Enforcements: 1

Enforcement List by Address

06/03/14

353 E BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2010-0047	Garbage/Solid Waste		01/27/10	Violation mailed	

Total Enforcements: 1

12 W BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0261	CITIZEN COMPLAINT	Roof, fascia and front steps damaged or deteriorated.	03/31/11	45 day	

Total Enforcements: 1

44 W BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0613	Vacant Structure		10/06/09	OPEN	

Total Enforcements: 1

54 W BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0157	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13		

Total Enforcements: 1

71 W BACON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0275	REAL ESTATE TRANSFER		04/19/11	30 day	

Total Enforcements: 1

73 W BACON ST

Enforcement List by Address

06/03/14

CASE # Category
 E08-0286 TALL GRASS & WEEDS

Complaint Details

HMC 14-142. PLANT GROWTH LIMITED: WEEDS PROHIBITED.
 ALL PREMISES AND EXTERIOR PROPERTY SHALL BE MAINTAINED FREE FROM WEEDS OR PLANT GROWTH IN EXCESS OF 10 INCHES. ALL NOXIOUS WEEDS SHALL BE PROHIBITED.
 Grass and weeds greater than 10" in height

Date Filed Status
 10/28/08 OPEN

Date Closed

Total Enforcements: 1

76 W BACON ST

CASE # Category
 E2011-0552 Vacant Structure
 E2011-0553 REAL ESTATE TRANSFER

Complaint Details

Date Filed Status
 08/22/11 VACANT
 08/22/11 Violation mailed

Date Closed

Total Enforcements: 2

94 W BACON ST

CASE # Category
 E2013-0125 CITIZEN COMPLAINT

Complaint Details

LEAVING RUBBIS IN LAND
 5-2-14 VACANT AS OF NOW -
 EVERETT RAYMOND * STEP-DAD TO DARLENE
 (517) 200-8366 - WILL START CLEANING UP THIS
 WEEKEND

Date Filed Status
 05/06/13

Date Closed

Total Enforcements: 1

96 W BACON ST

CASE # Category
 E2013-0126 CITIZEN COMPLAINT

Complaint Details

TRASH IN YARD
 5-8-14 OWNER CALLED AND ADVISED WILL
 CLEAN UP OVER THE WEEKEND

Date Filed Status
 05/06/13

Date Closed

Total Enforcements: 1

Enforcement List by Address

06/03/14

100 W BACON ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E09-0579	WEEDS & TALL GRASS	weeds and brush overhang sidewalk, obstructing sidewalk access	08/26/09	OPEN	

Total Enforcements: 1

107 W BACON ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0158	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/17/13		

Total Enforcements: 1

107 W BACON ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E09-0561	REAL ESTATE TRANSFER		08/12/09	45 day	

Total Enforcements: 1

310 BARBER DR

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0281	CITIZEN COMPLAINT	TRASH, DEBRIS IN YARD, ON PORCH, ETC 5-2-14 - OWNER CALLED AND ADVISED THERE WILL BE PALLETS AND STUFF IN YARD AS WORK IS GOING TO BE DONE ON HOME.	07/10/13	Violation mailed	

Total Enforcements: 1

100 BARNARD ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0339	CITIZEN COMPLAINT	PROPERTY NOT MAINTAINED.	09/04/13	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

165 BARNARD ST

CASE # Category
 E09-0584 CITIZEN COMPLAINT

Complaint Details
 yard sale infraction?

Date Filed Status
 08/31/09 Notice posted

Date
 Closed

Total Enforcements: 1

139 BARR ST

CASE # Category
 E2012-0294 SIGN VIOLATION

Complaint Details
 Signs without permit

Date Filed Status
 06/26/12

Date
 Closed

Total Enforcements: 1

39 BARRY ST

CASE # Category
 E2014-0101 USE AND OCCUPANCY EXPIRED

Complaint Details
 4-17-14 OWNER CALLED AND STATE SHE
 WOULD CALL BACK IN A COUPLE OF WEEKS
 TO SCHEDULE AN INSPECTION.

Date Filed Status
 03/13/14 OPEN

Date
 Closed

Total Enforcements: 1

9 BARRY ST

CASE # Category
 E2012-0362 USE AND OCCUPANCY EXPIRED

Complaint Details
 EXPIRED USE & OCCUPANCY/NO PERMIT ON
 FILE

Date Filed Status
 07/20/12 Civil Inf Citation Issued

Date
 Closed

10/21/2013 INFORMAL HEARING - TICKET
 DISMISSED (PROGRESS MADE TOWARD
 COMPLIANCE)
 12/4/2013 CIC #1057 ISSUED - FAILED TO CALL
 FOR RE-INSPECTION
 3/20/14 - FORMAL HEARING - CIC #1057
 DISMISSED BY CONSENT (HAS SHOWN
 PROGRESS IN BRINGING INTO COMPLIANCE)

Total Enforcements: 1

Enforcement List by Address

06/03/14

10 BARRY ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0567	Vacant Structure		08/17/09	VACANT	

Total Enforcements: 1

39 BARRY ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0422	REAL ESTATE TRANSFER		08/07/12		

Total Enforcements: 1

42 BARRY ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0168	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13		

Total Enforcements: 1

64 BARRY ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2010-0730	Vacant Structure		12/15/10	VACANT	
E2011-0659	REAL ESTATE TRANSFER		12/06/11	On Hold - Vacant	

Total Enforcements: 2

3380 BECK RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0414	USE AND OCCUPANCY		07/31/12	SCHEDULED	

Total Enforcements: 1

41 N BROAD ST

Enforcement List by Address

06/03/14

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2013-0453	USE AND OCCUPANCY EXPIRED	NO U&O PERMIT ON FILE - NEW OCCUPANT. 12/18/14 CITIZEN COMPLAINT VIA POLICE DEPARTMENT - SIDEWALKS NOT CLEARED (VACANT STRUCTURE). 3-6-14 SIDEWALKS CLEARED	12/23/13	VACANT
E2014-0234	OBSERVED VIOLATION	5/21/2014 - EXTERIOR STAIR FROM 2ND FLOOR UNSAFE, NO GUARDRAIL OR HANDRAIL, NOT TO CODE.	05/22/14	

Total Enforcements: 2

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2013-0454	USE AND OCCUPANCY EXPIRED	NO U&O PERMIT ON FILE - CURRENTLY VACANT	12/23/13	OPEN

Total Enforcements: 1

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2013-0455	USE AND OCCUPANCY EXPIRED	NO U&O PERMIT ON FILE - NEW OCCUPANT	12/23/13	OPEN

Total Enforcements: 1

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E09-0134	SIGN VIOLATION	New sign placed on building without permit	05/04/09	OPEN

Total Enforcements: 1

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2014-0204	CITIZEN COMPLAINT		05/06/14	30 day

99 N BROAD ST

92 N BROAD ST

98 N BROAD ST

75 N BROAD ST

Enforcement List by Address

06/03/14

CLEAR/REPAIR/OR REPLACE.

Total Enforcements: 1

110 N BROAD ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0149	OBSERVED VIOLATION	FASCLA / SOFFIT / OVERHANG REQUIRES REPAIR / REPLACEMENT / PAINT. PM 304.2-304.8&9	03/14/14		

Total Enforcements: 1

3 S BROAD ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0198	CITIZEN COMPLAINT	BRUSH ON SIDEWALK AND SIDE OF ROAD 5-5-14 OFFICER ADVISED THE BRUSH IS NOT IMPEDING THE SIDEWALK - WILL CHECK AFTER THE BRUSH CLEAN UP	04/28/14	OPEN	

Total Enforcements: 1

10 S BROAD ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0385	OBSERVED VIOLATION	BUILDING MAINTENANCE	10/25/13	OPEN	

Total Enforcements: 1

33 S BROAD ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0391	USE AND OCCUPANCY EXPIRED	OCCUPANCYPERMI	10/30/13	OPEN	

Total Enforcements: 1

44 S BROAD ST

Enforcement List by Address

06/03/14

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0247	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - COMMERCIAL BUILDING - NEW OWNER/OCCUPANT 5/22/14	06/02/14	OPEN	

Total Enforcements: 1

46 S BROAD ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0076	USE AND OCCUPANCY EXPIRED	4-1-14 OWNER CALLED AND ADVISED PROPERTY IS VACANT	03/11/14	On Hold - Vacant	

Total Enforcements: 1

104 S BROAD ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0420	USE AND OCCUPANCY EXPIRED	EXPIRED USE & OCCUPANCY/NO PERMIT ON FILE 4-18-14 TENANT CALLED AND ADVISED APT 2 IS OCCUPIED. 4-30-14 - THREE UNITS AND APT 2 AND 3 ARE OCCUPIED, APT 1 OCCUPANT IS GONE FOR AWHILE. DOUG CALLED AND ADVISED HE WILL CALL BACK AFTER MAY 10TH - AS HIS WIFE IS COMING HOME WITH HOSPICE 5-21-14 OCCUPANT OF UNIT 2 STOPPED IN OFFICE AND ADVISED THAT UNIT 3 IS VACANT.	11/22/13	OPEN	

Total Enforcements: 1

142 S BROAD ST -144

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0185	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED 2013. NOT OWNER OCCUPIED. ALSO OBSERVED VIOLATION ON 4/2/14 - REFRIGERATOR IN DRIVE.	04/22/14	OPEN	

Enforcement List by Address

06/03/14

Total Enforcements: 1

23 N BROAD ST & 25

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0250	USE AND OCCUPANCY EXPIRED		03/23/11	Notice posted	

Total Enforcements: 1

25 N BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0112	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED 5/21/14 PER MARTIN TAYLOR - SAFETY INSPECTION NEEDED (STRUCTURAL WORK DONE WITHOUT PERMITS)	03/14/14	OPEN	

Total Enforcements: 1

97 N BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0292	SIGN VIOLATION	Political signs placed city-wide within the ROW	06/26/12	Violation mailed	

Total Enforcements: 1

23 S BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0303	REAL ESTATE TRANSFER		08/08/13		

Total Enforcements: 1

55 S BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0203	CITIZEN COMPLAINT		05/20/13	CONDEMNED	

Enforcement List by Address

06/03/14

COMPLAINT SYSTEM

SEVERAL PRIOR UNRESOLVED VIOLATIONS -
POSTED UNSAFE BY BUILDING INSPECTOR 8-7-

09

5-1-14 NEIGHBOR STOPPED IN AND ADVISED
THE PROPERTY IS NOT SECURED. BACK DOOR
IS WIDE OPEN AND THE HOUSE IS A MESS.

5-2-14 MET WITH NEIGHBOR AT PROPERTY.
UNABLE TO VERIFY WITHOUT TRESPASSING.

OWNER HAS 48 HOURS TO SECURE AND
SCHEDULE APPOINTMENT TO CONFIRM.

ALSO 10 DAYS TO SUBMIT TIMELINE FOR
DEMOLITION OR TO BRING INTO

COMPLIANCE WITH ALL DEFICIENCIES.

5-2-14 MAILED OUT LETTER REG MAIL

5-5-14 MAILED SAME LETTER CERTIFIED

5-13-14 NO RESPONSE FROM OWNER, MAIL

NOT RETURNED. ADDITIONAL COMPLAINTS

FROM NEIGHBORS OF UNAUTHORIZED

OCCUPANCY (UNCONFIRMED) - CODE

OFFICIAL CHECKED REAR DOOR - SCREEN

DOOR CLOSED, BUT INTERIOR DOOR OPEN.

CLOSED AND LOCKED BY CODE OFFICIAL.

NO OBVIOUS SIGN OF FORCED ENTRY OR

DAMAGE TO DOOR.

5-14-14 RECOMMENDATION SUBMITTED TO

HAVE DECLARED A PUBLIC NUISANCE BY

COUNCIL AT 5-19-14 MEETING

5-13-14 COMPLAINT SENT TO COUNCIL

MEMBER. FORWARDED TO CITY MANAGER

FORWARDED TO CODE ENFORCEMENT ON 5-

14-14. NO NEW ALLEGATIONS, COMPLAINANT

ALREADY MET WITH CODE OFFICIAL ON 5-2-14

AT THE SITE. UNHAPPY WITH LACK OF

PROGRESS.

5-19-14 DECLARED PUBLIC NUISANCE BY

COUNCIL RESOLUTION. 30 DAYS TO PULL

PERMITS AND BEGIN DEMOLITION, TO BE

COMPLETED WITHIN 60 DAYS OR REASONABLE

TIME AS DETERMINED BY BUILDING

INSPECTOR

5-20-14 POSTED PROPERTY. CIC #1070 ISSUED

FOR FAILURE TO COMPLY WITH 5/2 NOTICE &

TALL WEEDS & GRASS.

5-27-14 PER NEIGHBOR HE MOWED THE GRASS

OVER THE WEEKEND, NOT DANA.

5-29-14 RETURNED CALL FROM MAXINE - SHE

CLAIMS TO HAVE A POTENTIAL BUYER

INTERESTED IN THE PROPERTY. I ADVISED

THAT THE CITY WOULD NOT APPROVE

LIFTING THE ORDER TO DEMOLISH UNLESS

Enforcement List by Address

06/03/14

COUNTY BUILDING INSPECTOR APPROVED
FOR SAFETY.

Total Enforcements: 1

57 S BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0182	CITIZEN COMPLAINT	<p>PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM</p> <p>5/17/13 - OBSERVED VIOLATION 5/20/13 - NOTICE OF VIOLATION SENT 6/18/13 - 2ND NOTICE 7/3/13 - OWNER CALLED, REQUEST FOR EXTENSION IN THE MAIL 7/8/13 - EXTENSION GRANTED, DEADLINE 10/6/13 12/5/13 - THERE APPEARS TO BE EXTENSIVE RENOVATION TAKING PLACE ON THIS PROPERTY. 2002 PERMIT FOR FIRE RENOVATION, CLOSED BUT NOT FINALED IN 2006 - NO ACTIVE PERMITS FOUND. REFERRED TO COUNTY INSPECTION. KAT 1/14/14 - COUNTY INSPECTION SENT LETTER ADVISING TO PULL PERMITS FOR ANY REMODELING AND TO CONTACT OUR OFFICE TO VERIFY CORRECTION OF EXTERIOR MAINTENANCE PROBLEMS 5/13/14 - SEE PICTURE TAKEN FROM 55 S BROAD ST. SOME OF THE BUILDING WRAP HAS COME LOOSE. LITTLE VISIBLE PROGRESS ON EXTERIOR OF STRUCTURE. YARD DOES APPEAR TO BE WELL MAINTAINED. 5/14/14 - LETTER FOUND IN FILE FROM 2008 COMPLAINT WITH PICTURES - ROOF EXTENSION HAS BEEN ADDED AT REAR OF HOUSE, PARTIALLY COVERED OLD SIDING WITH OSB AND PARTIALLY WRAPPED. NOT SIGNIFICANT PROGRESS FOR A 6 YEAR PERIOD. ALSO ASSESSOR'S NOTES AND OLD U&O INSPECTIONS SHOW THIS IS A 2-UNIT. USE & OCCUPANCY PERMIT EXPIRED? 5/15/14 NO PERMITS HAVE BEEN OBTAINED PER COUNTY INSPECTION. 5/27/14 MR. WARD CALLED THIS OFFICE - WILL PULL PERMITS WITH COUNTY INSPECTION. PLANS ON DOING SIDING OVER THE SUMMER AS TIME & MONEY ALLOW.</p>	05/20/13	REFERRED TO COUNTY INSPECTION	

Enforcement List by Address

06/03/14

Total Enforcements: 1

63 S BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0253	Vacant Structure		06/06/12	VACANT	

Total Enforcements: 1

72 S BROAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0255	VACANT STRUCTURE UNMAINTA		06/07/12	VACANT	

Enforcement List by Address

06/03/14

BUILT BY NEIGHBOR
 ADDITIONAL VIOLATIONS FOUND.
 11/9/12 BUILDING POSTED UNSAFE BY
 COUNTY BUILDING INSPECTOR
 LAND CONTRACT BUYER DEFAULTED,
 BROUGHT SUIT AGAINST SELLER CLAIMING
 DAMAGES.
 NOW VACANT STRUCTURE.
 8/1/13 COUNTY INSPECTOR DID WALK
 THROUGH WITH MR & MRS BRAMLET. THEY
 COMMITTED AT THAT TIME TO COMMENCING
 WORK TO MAKE CORRECTIONS AS SOON AS
 LAND CONTRACT SUIT RESOLVED
 11/5/13 LAND CONTRACT SUIT DISMISSED.
 1/27/14 PER CITY ATTORNEY, OWNER IS TO
 CONTACT COUNTY INSPECTION TO PULL
 PERMITS TO FIX OR DEMOLISH.
 2/7/14 - SPOKE WITH MR. & MRS. BRAMLET.
 PLAN TO START WORKING ON THE
 STRUCTURE WHEN THE WEATHER IMPROVES.
 WILL PULL PERMITS WITH COUNTY
 INSPECTION AND COMPLY WITH CODE
 REQUIREMENTS. SIDEWALKS ARE CLEARED,
 WORKING TO MAKE HOUSE APPEAR
 OCCUPIED, ETC.
 5/13/14 COMPLAINT EMAILED TO COUNCIL
 MEMBER, FORWARDED TO CITY MANAGER,
 FORWARDED TO CODE ENFORCEMENT ON
 5/14/14. NO NEW ALLEGATIONS, UNHAPPY
 WITH LACK OF PROGRESS.
 5/14/14 CONTACTED COUNTY INSPECTION
 OFFICE TO CHECK PERMIT STATUS. NONE AS
 OF THIS DATE.
 5/15/14 SENT LETTER WITH DEADLINE OF
 6/1/14 TO OBTAIN PERMITS AND SUBMIT PLAN
 FOR CORRECTION

Total Enforcements: 1

74 S BROAD ST

CASE # Category
 E2013-0332 TENANCY TRANSFER

Complaint Details
 realtor requested inspection

Date Filed Status
 09/03/13 SCHEDULED

Date
 Closed

Total Enforcements: 1

77 S BROAD ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0169	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13	OPEN	
Total Enforcements: 1					
94 S BROAD ST					
E2012-0411	CITIZEN COMPLAINT	MOULD ON WALLS, MOULD ON WALLS (PAINTED OVER), FLOOR NEAR TUB AND TOILET SPONGY, FRONT PORCH IN DISREPAIR	07/30/12		
Total Enforcements: 1					
130 S BROAD ST					
E2012-0257	Vacant Structure		06/08/12	VACANT	
Total Enforcements: 1					
146 S BROAD ST					
E2013-0124	CITIZEN COMPLAINT	chair at curb	05/06/13		
Total Enforcements: 1					
156 S BROAD ST					
E2013-0315	CITIZEN COMPLAINT		08/21/13	Civil Inf Citation Issued	

Enforcement List by Address

06/03/14

ON PORCH, MATTRESS IN YARD

9/10/13 STILL IN VIOLATION
 4/2/14 ADDITIONAL VIOLATIONS -
 SANITATION, GENERAL MAINTENANCE
 5/20/14 ADDITIONAL VIOLATIONS - TALL
 GRASS & WEEDS. ISSUED CIC #1071 FOR
 FAILURE TO COMPLY WITH 4/22/14 NOTICE
 5-30-14 OWNER ROX-ANN WILL CLEAN UP
 EVERYTHING, MOW AND WILL KEEP UP THE
 LAWN. PROPERTY IS VACANT.

Total Enforcements: 1

20 BUDLONG ST

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2014-0186	CITIZEN COMPLAINT	ACCUMULATION OF BAGGED GARBAGE AT REAR OF PROPERTY BY ALLEY - OVERFLOWING DUMPSTER. ALSO DISCARDED ITEMS AROUND GARAGE. 5/2/14 NO CHANGE IN CONDITION, REFERRED TO POLICE DEPARTMENT FOR FOLLOW UP.	04/22/14	REFERRED TO POLICE

Total Enforcements: 1

47 BUDLONG ST & 49

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2012-0359	USE AND OCCUPANCY EXPIRED		07/20/12	OPEN

Enforcement List by Address

06/03/14

CHANGE IN TENANTS

10/18/2013 - TOOK PICTURES, UNABLE TO DETERMINE FROM ANGLE IF GARAGE ROOF WAS REPAIRED. WILL NEED TO MAKE ANOTHER INSPECTION TO VERIFY (OWNER CLAIMS DONE).

5/2/14 GARAGE HAS NOT BEEN PAINTED. DOORS DO NOT APPEAR TO BE FUNCTIONAL. NOT ABLE TO DETERMINE IF ROOF WAS REPAIRED. ORDERED TO DEMOLISH OR REPAIR WITHIN 30 DAYS.

5/20/14 PER MARVIN - GARAGE DOORS ARE FUNCTIONAL, JUST OLD. WILL GET GARAGE ROOF AND SCREEN DOOR FIXED THEN CONTACT US TO VERIFY.

Total Enforcements: 1

52 BUDLONG ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2014-0059	USE AND OCCUPANCY EXPIRED		03/04/14	OPEN	

Total Enforcements: 1

80 BUDLONG ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2014-0168	OBSERVED VIOLATION	HMC SECTION 28.32 - ACCUMULATION OF SOLID WASTE PROHIBITED. ALL EXTERIOR PROPERTY AND PREMISES, AND THE INTERIOR OF EVERY STRUCTURE, SHALL BE FREE FROM ANY ACCUMULATION OF SOLID WASTE AND YARD RUBBISH. MATTRESSES ON FRONT PORCH MUST BE REMOVED.	04/11/14		

Total Enforcements: 1

109 BUDLONG ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0404	USE AND OCCUPANCY EXPIRED	FILED BY BUDDLONG MORTGAGERS IN FRONT YARD BY PORCH; PORCH SHINGLES MISSING, SIDING MISSING, ETC... 3-17-14 IS GOING TO SUBMIT TIMELINE 3-26-14 SUBMITTED TIMELINE TTL SEPT. 26, 2014	10/18/13	OPEN	

Total Enforcements: 1

122 BUDDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0087	USE AND OCCUPANCY EXPIRED		03/11/14	OPEN	

Total Enforcements: 1

22 BUDDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0092	CITIZEN COMPLAINT	HOUSE IN DISREPAIR.	04/19/13		

5/2/14 OBSERVED INDOOR FURNITURE ON PORCH, ACCUMULATION OF SOLID WASTE IN EXTERIOR PROPERTY AREA. NO USE & OCCUPANCY ON FILE. NEW OWNER 9/28/12 (PURCHASED FROM MORTGAGE COMPANY, ASSUMED VACANT AT TIME OF SALE).

Total Enforcements: 1

34 BUDDLONG ST & 34 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0613	REAL ESTATE TRANSFER		09/27/11	5 Day	

Total Enforcements: 1

35 BUDDLONG ST

Date Closed

Enforcement List by Address

06/03/14

E2013-0202 CITIZEN COMPLAINT Peeling exterior paint under city wide complaint system 05/20/13

Total Enforcements: 1

40 BUDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2010-0680	REAL ESTATE TRANSFER		10/11/10	VACANT	
E2011-0559	Vacant Structure		08/24/11	On Hold - Vacant	

Total Enforcements: 2

53 BUDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0191	CITIZEN COMPLAINT	PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM 3-7-14 COMPLAINT OF LOOKS LIKE WORK BEING DONE FOR COUPLE OF YEARS ON HOUSE AND STILL NOT COMPELTE. PER OWNER 4/3/2014 - THIS PROPERTY IS MAINLY USED FOR STORAGE. OCCASIONALLY STAYS OVERNIGHT. PLANNING ON MOVING TO 96 BUDLONG ST IN MAY.	05/20/13		

Total Enforcements: 1

67 BUDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0241	CITIZEN COMPLAINT	garage in disrepair	05/23/13		

Total Enforcements: 1

71 BUDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0215	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/21/13		

Enforcement List by Address

06/03/14

Total Enforcements: 1

76 BUDDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0214	CITIZEN COMPLAINT	Pedding exterior paint under city wide complaint system	05/21/13	OPEN	

Total Enforcements: 1

80 BUDDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0267	CITIZEN COMPLAINT	Pedding exterior paint under city wide complaint system	07/01/13		

Total Enforcements: 1

99 BUDDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0213	CITIZEN COMPLAINT	Pedding exterior paint under city wide complaint system	05/21/13		

Total Enforcements: 1

111 BUDDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0444	ZONING VIOLATION	fence in place without zoning permit	09/06/12		

Total Enforcements: 1

120 BUDDLONG ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0211	CITIZEN COMPLAINT		05/21/13		

Total Enforcements: 1

Enforcement List by Address

06/03/14

COMPLAINT SYSTEM
 5-12-14 OWNER WILL SUBMIT EXTENSION
 5-16-14 OWNER SUBMITTED EXTENSION TIL
 AUGUST 20, 2014

Total Enforcements: 1

187 E CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0040	SNOW REMOVAL	SIDEWALK ON BACON ST SIDE IS IMPASSABLE	02/10/14	REFERRED TO POLICE	
E2014-0178	CITIZEN COMPLAINT	STUFF FROM BURNT GARAGE THROWN IN NEIGHBORS YARD AND ASHES FROM BURNING PIT IN NEIGHBORS YARD. THROWING INTO 10 WILLOW STREETS YARD BEHIND GARAGE - WHICH GIVES PERMISSION FOR INSPECTOR TO GO BEHIND GARAGE	04/22/14	OPEN	

Total Enforcements: 2

70 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0203	USE AND OCCUPANCY EXPIRED	2011 USE & OCCUPANCY NEVER APPROVED; ALSO SIGN VIOLATIONS	05/02/14	OPEN	

Total Enforcements: 1

2806 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0156	OBSERVED VIOLATION		04/02/14	OPEN	

Enforcement List by Address

06/03/14

ITEMS IN YARD

4-7-14 OWNER'S DAUGHTER CALLED AND SAID EVERYTHING WAS CLEANED UP. SHE ASKED IF SHE COULD HAVE A WEIGHT BENCH OUTSIDE

5/2/14 IMPROVEMENT OVER INITIAL INSPECTION, BUT THERE ARE STILL ITEMS STORED IN THE YARD WHICH ARE NOT DESIGNED FOR OUTDOOR USE AND THEREFORE MUST BE STORED INDOORS. ALSO PILE OF CARDBOARD BOXES BY FRONT PORCH.

5/21/14 SPOKE WITH DAUGHTER - HAD QUESTIONS ABOUT PLACEMENT OF GARBAGE CONTAINERS, EXERCISE EQUIPMENT. ADVISED HER GARBAGE COULD NOT BE ON THE FRONT OF THE HOUSE (BOTH ROADS - CORNER LOT). MR. PENN IS PLANNING ON BUILDING SOME KIND OF REMOVABLE COVERING ON SIDE OF HOUSE TO USE FOR EXERCISE AREA.

Total Enforcements: 1

32 E CARLETON RD

CASE # Category
 E2012-0344 CITIZEN COMPLAINT

Complaint Details
 fleas, bugs, etc infestation

Date Filed Status
 07/11/12 OPEN

Date
 Closed

Total Enforcements: 1

115 E CARLETON RD

CASE # Category
 E2013-0036 CITIZEN COMPLAINT

Complaint Details
 ROOFING BLOWING OFF BUILDING
 6/24/2013 - PERMIT PULLED WITH COUNTY
 INSPECTION FOR RE-ROOF

Date Filed Status
 03/01/13

Date
 Closed

Total Enforcements: 1

185 E CARLETON RD

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0184	Vacant Structure		05/10/12	VACANT	
Total Enforcements: 1					
10 W CARLETON RD					
E2014-0071	USE AND OCCUPANCY EXPIRED		03/11/14	VACANT	
Total Enforcements: 1					
17 W CARLETON RD					
E2013-0029	USE AND OCCUPANCY		02/25/13	On Hold - Vacant	
Total Enforcements: 1					
17 W CARLETON RD					
E2011-0635	Vacant Structure	Structure Vacant	10/20/11	VACANT	
Total Enforcements: 1					
185 W CARLETON RD					
E2013-0053	SIGN VIOLATION	temporary signs without permit	03/14/13		
Total Enforcements: 1					
227 W CARLETON RD 239					

Enforcement List by Address

06/03/14

E09-0505	SIGN VIOLATION	New sign on front of building, no permit	07/24/09	Violation mailed
E09-0506	USE AND OCCUPANCY	new business without U & O	07/24/09	Violation mailed

Total Enforcements: 2

235 W CARLETON RD -233

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0100	SIGN VIOLATION	temporary banner, no permit	04/19/13		

Total Enforcements: 1

250 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0416	CITIZEN COMPLAINT	BAGS OF STUFF PILED UP BEHIND BUILDING	11/20/13	OPEN	

Total Enforcements: 1

280 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0118	CITIZEN COMPLAINT	KROGER PUT DRAIN PIPE BLOCKING REAR EMERGENCY EXIT DOOR - CAN'T OPEN 5/30/14 MEET WITH MIKE MCGLOTHLIN ONSITE - AGREED TO MOVE EMERGENCY EXIT MARKINGS TO OTHER DOOR IN SPACE AND BLOCK INOPERABLE DOOR.	03/18/14	OPEN	

Total Enforcements: 1

351 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0726	USE AND OCCUPANCY		01/06/12		

Total Enforcements: 1

Enforcement List by Address

06/03/14

412 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0264	SIGN VIOLATION	SIGNS WITHOUT PERMIT	03/31/11	Violation mailed	

Total Enforcements: 1

2768 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0083	SIGN VIOLATION	Non-conforming sign altered	04/17/13		

Total Enforcements: 1

2928 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0620	USE AND OCCUPANCY		11/24/09	60 day	

Total Enforcements: 1

2940 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0355	Garbage/Solid Waste	ACCUMULATION OF TRASH & SOLID WASTE; VANDALISM NO USE & OCCUPANCY PERMIT ON FILE (CURRENTLY VACANT) SIGN VIOLATION (BUSINESS CLOSED) 5-29-14 SLY FROM HILLSDALE CAPITAL ASKED FOR MORE TIME TO REPAIR THE DOWNSPOUTS.	09/24/13	VACANT	

Total Enforcements: 1

3240 W CARLETON RD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed

Enforcement List by Address

06/03/14

E09-0137 SIGN VIOLATION

A-frame sign not in proper location

05/04/09 Violation mailed

Total Enforcements: 1

3271 W CARLETON RD

CASE #

Category

Complaint Details

Date Filed

Status

Date Closed

E2013-0116 CITIZEN COMPLAINT

No second exti. no fire extinguishers, sleeping areas in clinic settings.

05/01/13

Total Enforcements: 1

3295 W CARLETON RD

CASE #

Category

Complaint Details

Date Filed

Status

Date Closed

E2011-0458 SIGN VIOLATION

use of streamers, per complaint

07/08/11

Resolved-No Action

Total Enforcements: 1

26 CHARLES ST

CASE #

Category

Complaint Details

Date Filed

Status

Date Closed

E2013-0398 USE AND OCCUPANCY EXPIRED

OPEN 2006 ENFORCEMENT SHOWS PROPERTY POSTED FOR NON-COMPLIANCE, BUT OWNERS MAILING ADDRESS IS SAME AS PROPERTY.

11/01/13

OPEN

Total Enforcements: 1

36 CHARLES ST

CASE #

Category

Complaint Details

Date Filed

Status

Date Closed

E2014-0132 USE AND OCCUPANCY EXPIRED

USE & OCCUPANCY PERMIT EXPIRED - NOT OWNER OCCUPIED - DELINQUENT UTILITIES PER BPU

03/24/14

OPEN

Total Enforcements: 1

Enforcement List by Address

06/03/14

11 CHARLES ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0175	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13		

Total Enforcements: 1

12 CHARLES ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0174	CITIZEN COMPLAINT	PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM	05/20/13	OPEN	

Total Enforcements: 1

16 CHARLES ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0176	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13		

Total Enforcements: 1

29 CHARLES ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0178	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13	HOLD FORECLOSURE	

Total Enforcements: 1

33 CHARLES ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0363	USE AND OCCUPANCY EXPIRED		07/20/12	Violation mailed	

Enforcement List by Address

06/03/14

PERMIT VIOLATIONS NEVER CORRECTED)

10/21/2013 CIVIL INFRACTION CITATION
 DISMISSED - LIMITED ACCESS TO PROPERTY
 DUE TO ROAD WORK
 12/4/2013 CIC #1058 ISSUED - FAILED TO CALL
 FOR INSPECTION
 3/20/14 FORMAL HEARING - ADMITTED GUILTY
 - SENTENCING SET FOR 6/23/2014 1:30 PM -
 MUST SHOW SIGNIFICANT PROGRESS

Total Enforcements: 1

1 Cherry Tree

CASE # Category
 E2011-0663 CITIZEN COMPLAINT

Complaint Details Date filed Status
 mold issues in bathroom and throughout the building 12/07/11 Closed-time lapse

Date Closed

Total Enforcements: 1

16 Cherry Tree Lane

CASE # Category
 E2012-0468 CITIZEN COMPLAINT

Complaint Details Date filed Status
 bug infestation, lice/parasite 10/01/12

Date Closed

Total Enforcements: 1

16 W COLLEGE ST

CASE # Category
 E2013-0426 USE AND OCCUPANCY EXPIRED

Complaint Details Date filed Status
 PROPERTY TRANSFERRED - NO U&O ON FILE 11/26/13 OPEN
 PRIOR UNRESOLVED VIOLATION FOR
 PEELING PAINT

Date Closed

Total Enforcements: 1

6 W COLLEGE ST

CASE # Category
 E2012-0459 CITIZEN COMPLAINT

Complaint Details Date filed Status
 furniture at fence 10/10/12

Date Closed

Enforcement List by Address

06/03/14

Total Enforcements: 1

97 DICKERSON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0016	CITIZEN COMPLAINT	trash can stored at curb	02/06/13		

Total Enforcements: 1

130 DICKERSON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0078	CITIZEN COMPLAINT	trash, etc in rear yard	04/15/13		

Total Enforcements: 1

3 ELM CT

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0077	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NEW TENANT PER BPU	03/11/14	OPEN	

2/28/14 - NEW OWNER, CLAIMING PRINCIPAL RESIDENCE EXEMPTION

Total Enforcements: 1

4 ELM CT

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0348	REAL ESTATE TRANSFER	property transfer - no U&O on file	09/17/13	OPEN	

Total Enforcements: 1

10 ELM ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
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Enforcement List by Address

06/03/14

E2014-0216 CITIZEN COMPLAINT RETAINING WALL

05/13/14

Total Enforcements: 1

12 ELM ST

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2014-0133	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED (ISSUED 2005) - PROPERTY TRANSFERRED 4/12/2013	03/24/14	OPEN

OWNER CALLED ADVISED SHE HAD ONE DONE IN APRIL - SHE IS BRINGING IN COPY OF THE INSPECTION

Total Enforcements: 1

8 ELM HILL

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2014-0241	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE. NEW OWNER 5/5/14 CLAIMING PRINCIPAL RESIDENCE EXEMPTION.	05/27/14	OPEN

Total Enforcements: 1

4 E FAYETTE ST

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2014-0176	USE AND OCCUPANCY EXPIRED		04/22/14	OPEN

Total Enforcements: 1

94 E FAYETTE ST

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2014-0196	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED. NOT OWNER OCCUPIED	04/25/14	OPEN

5-5-14 OWNER CALLED AND PROPERTY IS BEING SOLD - SO WILL LET BUYER KNOW IT NEEDS TO BE SCHEDULED.

Enforcement List by Address

06/03/14

Total Enforcements: 1

92 E FAYETTE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0291	Vacant Structure		06/25/12	VACANT	

Total Enforcements: 1

42 W FAYETTE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0048	VACANT STRUCTURE UNMAINTA	VACANT STRUCTURE - CHECK FOR BLIGHT 4/2014 - TAX FORECLOSURE BY COUNTY TREASURER 6-2-14 THE COUNTY HIRED SOMEONE TO MOW LAWN, IF NOT BEING TAKEN CARE OF CALL GARY.	02/03/12		

Total Enforcements: 1

52 FERRIS ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0038	USE AND OCCUPANCY EXPIRED	OCCUPIED COMMERCIAL BUILDING. PRIOR RECORDS SHOW VIOLATIONS NOT RESOLVED. NO USE AND OCCUPANCY PERMIT ON FILE.	02/10/14	OPEN	

Total Enforcements: 1

25 GARDEN ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0092	USE AND OCCUPANCY EXPIRED		03/12/14	OPEN	

Total Enforcements: 1

7 GARDEN ST

Enforcement List by Address

06/03/14

CASE #

Category

Complaint Details

Date Filed Status

Date Closed

E2013-0197

CITIZEN COMPLAINT

PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM
 HOLD FORECLOSURE

POSTED NOTICE OF VIOLATIONS 4/22/14
 4/29/14 NEIGHBOR CALLED TO CHECK STATUS. CONCERNED ABOUT STRUCTURAL INTEGRITY (PORCH FLOOR, ROOF OVER REAR SECTION OF HOUSE)

5/29/14 NEIGHBOR CALLED TO CHECK STATUS. QUESTIONED PERMITS AND QUALITY OF WORK TO PORCH IS SUB STANDARD, CHIMNEY AND WINDOWS. NO VISIBLE PERMIT.

Total Enforcements: 1

16 GARDEN ST

CASE #

Category

Complaint Details

Date Filed Status

Date Closed

E2013-0154

CITIZEN COMPLAINT

Peeling exterior paint under city wide complaint system
 OPEN

Total Enforcements: 1

26 GARDEN ST

CASE #

Category

Complaint Details

Date Filed Status

Date Closed

E09-0593

REAL ESTATE TRANSFER

On Hold - Vacant

E2011-0616

Vacant Structure

VACANT

Total Enforcements: 2

19 GLENDALE AVE

CASE #

Category

Complaint Details

Date Filed Status

Date Closed

E09-0110

Vacant Structure

VACANT

Total Enforcements: 1

Enforcement List by Address

06/03/14

26 GLENDALE AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0219	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/22/13	Violation mailed	

Total Enforcements: 1

32 GLENDALE AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0220	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/22/13		

Total Enforcements: 1

54 GOODRICH AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0532	Vacant Structure		07/30/09	VACANT	

Total Enforcements: 1

17 GREENWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0459	USE AND OCCUPANCY EXPIRED	U&O EXPIRED 2006, NOT OWNER OCCUPIED	12/26/13	OPEN	

NEW OWNER 4/15/2014 (OCCUPANT PURCHASED FOR BACK TAXES)

Total Enforcements: 1

3 GREENWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0646	REAL ESTATE TRANSFER		11/21/11	On Hold - Vacant	
E2012-0222	Vacant Structure	house may not be secured	05/16/12	VACANT	

Total Enforcements: 2

Enforcement List by Address

06/03/14

18 GREENWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0498	CITIZEN COMPLAINT	Circuits blowing, electric cords getting hot to appliances, etc, loose outlets, holes in ceilings, at a minimum.	12/03/12		

Total Enforcements: 1

37 GREENWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0147	REAL ESTATE TRANSFER		05/17/13		

Total Enforcements: 1

48 GREENWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0189	FIRE DAMAGE/UNSAFE STRUCTURE	HOUSE DAMAGED EXTENSIVELY IN FIRE. STRUCTURE POSTED NOT INHABITABLE 5/24/2012. CIVIL INFRACTION CITATION #1021 ISSUED 10/5/2012. FORMAL HEARING SCHEDULED FOR 2/4/2013. LETTER FROM ATTORNEY DATED 2/6/13 ADVISING "DISTRICT COURT JUDGE STRONGLY SUGGESTED THAT YOU CLEAN UP THE OUTSIDE OF THE PREMISES" AND SUGGESTING REINSPECTION IN 30 DAYS. JOINT OWNER DECEASED 3/22/13. FILE FORWARDED TO CITY ATTORNEY 1/27/2014. REINSPECTED 2/25/2014, NO CHANGE. 3/5/2014 REINSPECTED, NO CHANGE. PICTURES FORWARDED TO CITY ATTORNEY FOR FOLLOW-UP.	05/14/12	REFERRED TO CITY ATTORNEY	

Total Enforcements: 1

53 GREENWOOD ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0503	REAL ESTATE TRANSFER		12/05/12		
Total Enforcements: 1					

12 GRISWOLD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0242	CITIZEN COMPLAINT	SHINGLES FALLING OFF TOP ROOF WHICH IS BAD AND BLOWING IN NEIGHBORS YARD.	05/27/14	OPEN	
Total Enforcements: 1					

43 GRISWOLD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0213	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - VA OWNED AS OF 4/25/2014 (SHERIFF'S DEED REDEMPTION EXPIRED)	05/12/14	OPEN	
Total Enforcements: 1					

166 GRISWOLD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0150	CITIZEN COMPLAINT	STANDARDS THAT LEAD BEEN LEGALLY ENFORCED WEEK IS NOW ALL OVER THE YARD	03/27/14	OPEN	
Total Enforcements: 1					

199 GRISWOLD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0191	VACANT STRUCTURE UNMAINTAINA	VACANT STRUCTURES - BLIGHTED 5-7-14 OWNER SUBMITTED A TIMELINE ATTACHED	04/24/14	VACANT	

Enforcement List by Address

06/03/14

Total Enforcements: 1

203 GRISWOLD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0190	VACANT STRUCTURE UNMAINTA	VACANT HOUSE - BLIGHTED 5-7-14 OWNER SUBMITTED TIMELINE - ATTACHED	04/17/14	VACANT	

Total Enforcements: 1

39 GRISWOLD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0068	Vacant Structure		02/27/12		

Total Enforcements: 1

47 GRISWOLD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0293	REAL ESTATE TRANSFER		07/23/13	OPEN	

Total Enforcements: 1

141 GRISWOLD ST 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0310	CITIZEN COMPLAINT	damaged porch roof	06/27/12	SCHEDULED	

Total Enforcements: 1

143 GRISWOLD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0304	ZONING VIOLATION	fence without permit	06/26/12	Resolved	

Total Enforcements: 1

Enforcement List by Address

06/03/14

Total Enforcements: 1

206 GRISWOLD ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2010-0675	YARD PARKING	two trucks for sale in front yard	10/04/10	Violation mailed	

Total Enforcements: 1

74 W HALLETT ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0359	USE AND OCCUPANCY	NEW OWNER - RES USE & OCCUPANCY	09/30/13	TEMP C OF O ISSUED	

Total Enforcements: 1

7 E HALLETT ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0308	CITIZEN COMPLAINT	continuous yard sale, material stored in yard	08/19/13		

Total Enforcements: 1

11 E HALLETT ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2011-0399	Vacant Structure		06/06/11	VACANT	

Total Enforcements: 1

41 E HALLETT ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E08-0281	Vacant Structure		10/24/08	60 day	

Total Enforcements: 1

Enforcement List by Address

06/03/14

45 E HALLETT ST

CASE # Category Complaint Details

E2013-0260 USE AND OCCUPANCY EXPIRED
06/26/13 OPEN

Date Closed

Total Enforcements: 1

70 E HALLETT ST

CASE # Category Complaint Details

E09-0518 REAL ESTATE TRANSFER
E2011-0561 Vacant Structure
07/29/09 On Hold - Vacant
08/24/11 VACANT

Date Closed

Total Enforcements: 2

83 E HALLETT ST

CASE # Category Complaint Details

E2013-0096 CITIZEN COMPLAINT
04/19/13

Date Closed

MATERIAL ON PORCH, REAR YARD
4/29/14 SUSPECT LIVING IN THE TRAILER,
EXTENSION CORDS FROM TRAILER TO THE
HOUSE. ALSO JUNK IN BACK OF THE HOUSE,
ON SIDEWALKS, ETC. SEVERAL VEHICLES ON
PROPERTY. KEEPING OF RABBITS WTHOUT
PERMIT.
5-14-14 OFFICERS ARE HANDLING -
CONTINUED ACCUMULATION, HAVE BEEN
ADVISED TO TICKET IF NEEDED.
5/19/14 EXPIRED U&O LETTER SENT (POSSIBLY
TRAILER OCCUPIED UNLAWFULLY, INTERIOR
OVERGROWDING?)
5/20/14 SPOKE WITH REBECCA AND CAROLYN
- ADVISED THAT WE NEEDED TO DO AN
INTERIOR INSPECTION TO VERIFY SAFE
CLEARANCES. THEY ADVISED THEY ARE
WORKING ON CLEANING UP THE INTERIOR &
EXTERIOR AND WILL CONTACT US WHEN
THEY ARE READY FOR AN INSPECTION. KAT

Total Enforcements: 1

38 HIGHLAND AVE

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0349	Vacant Structure		06/17/09	VACANT	
Total Enforcements: 1					

41 HIGHLAND AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0253	TENANCY TRANSFER	per complaint received, tenancy of this building has recently changed. No certificate of occupancy permit is in force for this building. Moist conditions in basement, two first floor bedrooms, closets, window sills, kitchen (possibly contributing to black mold/mildew in those areas)	03/24/11	OPEN	
Total Enforcements: 1					

80 HILLSDALE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0148	CITIZEN COMPLAINT	3-25-14 RECD COMPLAINT OF SEWAGE BACKUP IN BASEMENT BPU LOOKED AND ADVISED IT WAS THE OWNERS REPSONSIBILITY 4-4-14 OWNER BROUGHT IN PROOF OFF OF SERVICE (COPY IN FILE)	03/25/14	OPEN	
Total Enforcements: 1					

100 HILLSDALE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0445	CITIZEN COMPLAINT	VACANT STRUCTURE NOT MAINTAINED (DECK UNSOUND); 1/7/14 ADDITIONAL COMPLAINT - SIDEWALK NOT CLEARED	12/13/13	OPEN	
Total Enforcements: 1					

Enforcement List by Address

06/03/14

118 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0095	USE AND OCCUPANCY EXPIRED	4 UNITS	03/12/14	OPEN	

Total Enforcements: 1

126 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0187	OBSERVED VIOLATION	THE HOUSE PORCH ROOF AND FLASHING SHALL BE MAINTAINED AND WEATHER TIGHT.	04/23/14		
E2014-0206	USE AND OCCUPANCY EXPIRED		05/08/14	OPEN	

Total Enforcements: 2

153 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2014-0235	OBSERVED VIOLATION	OBSERVED UNLICENSED VEHICLES, REFERRED TO POLICE	05/07/14		
		CONTACTED BY OWNER, SENDING LETTER ASKING FOR EXTENSION TO REMOVE VEHICLES FROM BACK YARD BY JUNE 30, 2014.			
		6/2/2014 OWNER GIVEN EXTENSION TO 6/30/2014.			

Total Enforcements: 1

311 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0360	USE AND OCCUPANCY EXPIRED	RESIDENTIAL USE & OCCUPANCY INSPECTION FOR REAL ESTATE TRANSFER	09/30/13		

Total Enforcements: 1

Enforcement List by Address

06/03/14

362 HILLSDALE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0442	OBSERVED VIOLATION	PORCH ROOF HAS COLLAPSED DUE TO ROT.	12/05/13	REFERRED TO COUNTY INSPECTION	

Total Enforcements: 1

390 HILLSDALE ST -398 EVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0306	REAL ESTATE TRANSFER		08/19/13	On Hold - Vacant	

Total Enforcements: 1

16 HILLSDALE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0099	CITIZEN COMPLAINT	tire against building	04/19/13		

Total Enforcements: 1

64 HILLSDALE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0425	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFERRED - NO U&O ON FILE (COUNTY INSPECTION ALSO NEEDED IF ALTERING BUILDING)	11/25/13	On Hold - Vacant	

Total Enforcements: 1

88 HILLSDALE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0489	CITIZEN COMPLAINT	Access not allowed during City mandated inspection.	11/27/12		

Total Enforcements: 1

Enforcement List by Address

06/03/14

91 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>
E2013-0198	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13	

Date Closed

Total Enforcements: 1

106 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>
E2013-0151	CITIZEN COMPLAINT	PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM 4-30-14 EXTENSION REQUEST SUBMITTED UNTIL JUNE 30, 2014	05/20/13	OPEN

Date Closed

Total Enforcements: 1

110 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>
E2013-0152	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13	

Date Closed

Total Enforcements: 1

172 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>
E2013-0084	YARD PARKING	cars may be parked in grass, rather than gravel area	04/18/13	

Date Closed

Total Enforcements: 1

245 HILLSDALE ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>
E2013-0319	CITIZEN COMPLAINT	furniture on porch	08/27/13	

Date Closed

Total Enforcements: 1

Enforcement List by Address

06/03/14

352 HILLSDALE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0346	USE AND OCCUPANCY EXPIRED	FLEA INFESTATION; TUB, VANITY DRAINS DON'T WORK, DRAIN INTO BASEMENT DUE TO RUST THROUGH; DOG/CAT URINE SOAKED WOOD FLOORS; FURNACE NOT WORKING; SANITARY ISSUES IN KITCHEN, AND OTHER ROOMS; MOLD IN BASEMENT.	07/11/12	HOLD FORECLOSURE	

Total Enforcements: 1

10 HOWDER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0134	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - NOT OWNER OCCUPIED 4-7-14 OWNER SENT IN LETTER STATING PROPERTY IS VACANT AND HAS BEEN SINCE MARCH 2013.	03/24/14	On Hold - Vacant	

Total Enforcements: 1

14 HOWDER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0037	USE AND OCCUPANCY EXPIRED	OWNER DECEASED - NO USE & OCCUPANCY PERMIT ON FILE 3/18/14 - STRUCTURE IS VACANT. NOT BLIGHTED AT THIS TIME.	02/10/14	On Hold - Vacant	

Total Enforcements: 1

31 HOWDER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0115	USE AND OCCUPANCY EXPIRED		03/18/14	On Hold - Vacant	

Enforcement List by Address

06/03/14

PRINCIPAL RESIDENCE. NO USE AND OCCUPANCY PERMIT ON FILE (2012 INSPECTION NEVER CALLED FOR) 4-7-14 OWNER SENT IN LETTER ADVISING VACANT UNTIL JULY 1, 2014 AND WILL SCHEDULE INSPECTION PRIOR TO THAT DATE.

Total Enforcements: 1

35 HOWDER ST DUPLEX

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0109	USE AND OCCUPANCY EXPIRED		03/13/14	OPEN	

Total Enforcements: 1

47 HOWDER ST & 47 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0170	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED ON FILE. PERMIT ON FILE. DUPLEX OWNED SINCE 1994. 4-14-14 OWNER STOPPED IN AND ADVISED HE WOULD RETURN TO INSPECTION	04/11/14	OPEN	

Total Enforcements: 1

56 HOWDER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0135	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - PROPERTY TRANSFERRED (LAND CONTRACT) 4/15/2013	03/24/14	OPEN	

Total Enforcements: 1

93 HOWDER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0080	USE AND OCCUPANCY EXPIRED		03/11/14	On Hold - Vacant	

Enforcement List by Address

06/03/14

Total Enforcements: 1

51 HOWDER ST & 51¹/₂

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0342	CITIZEN COMPLAINT	IPMC - 601.2 Responsibility. The owner of the structure shall provide and maintain mechanical and electrical facilities and equipment in compliance with these requirements. A person shall not occupy as owner-occupant or permit another person to occupy any premises which does not comply with the requirements of this chapter.	09/13/13	OPEN	

602.2 Residential occupancies. Dwellings shall be provided with heating facilities capable of maintaining a room temperature of 68°F (20°C) in all habitable rooms, bathrooms and toilet rooms based on the winter outdoor design temperature for the locality indicated in Appendix D of the International Plumbing Code. Cooking appliances shall not be used to provide space heating to meet the requirements of this section.

602.3 Heat supply. Every owner and operator of any building who rents, leases or lets one or more dwelling unit, rooming unit, dormitory or guestroom on terms, either express or implied, to furnish heat to the occupants thereof shall supply sufficient heat throughout the year to maintain the room temperatures specified in section 602.2 in all habitable rooms, bathrooms, and toilet rooms during the hours between 6:30 a.m. and 10:30 p.m. of each day and not less than 60 degrees F (16 degrees C) during other hours.

Total Enforcements: 1

23 HOWDER ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0153	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13	OPEN	

Total Enforcements: 1

27 HOWDER ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>

Enforcement List by Address

06/03/14

E2013-0259 CITIZEN COMPLAINT INADJUDICATED, ETC

06/20/13

Total Enforcements: 1

53 HOWDER ST

CASE # Category Complaint Details
 E2013-0067 CITIZEN COMPLAINT chair at curb on River St

Date Filed Status
 03/28/13

Date Closed

Total Enforcements: 1

58 HOWDER ST

CASE # Category Complaint Details
 E2010-0096 Vacant Structure
 E2012-0249 USE AND OCCUPANCY expired permit

Date Filed Status
 02/17/10 VACANT
 06/05/12

Date Closed

Total Enforcements: 2

49 N HOWELL ST ETAL

CASE # Category Complaint Details
 E2013-0384 CITIZEN COMPLAINT BUILDING MAINTENANCE

Date Filed Status
 10/25/13 OPEN

Date Closed

Total Enforcements: 1

100 N HOWELL ST - 104 EVE:

CASE # Category Complaint Details
 E09-0357 VACANT STRUCTURE UNMAINTA VACANT STRUCTURE
 FACADE GRANT APPROVED BY TIFA 2012
 4/21/14 COMPLAINTS TO COUNCIL MEMBERS
 REGARDING FACADE APPEARANCE

Date Filed Status
 06/18/09 VACANT

Date Closed

Total Enforcements: 1

42 S HOWELL ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0127	USE AND OCCUPANCY EXPIRED	RENTAL PROPERTY - NO USE AND OCCUPANCY PERMIT ON FILE	03/24/14	OPEN	

Total Enforcements: 1

76 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0389	USE AND OCCUPANCY	EXPIRED USE & OCCUPANCY	10/30/13	OPEN	

Total Enforcements: 1

84 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0406	CITIZEN COMPLAINT	302.1 - SANITATION; CLEAN TRASH AND RUBBISH FROM EXTERIOR AREA	11/15/13	OPEN	

Total Enforcements: 1

167 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0375	USE AND OCCUPANCY EXPIRED	INITIAL INSPECTION FOR REAL ESTATE TRANSFER. NEW OWNER (LAND CONTRACT) 10/18/13. LAND CONTRACT RESCINDED BY QUIT CLAIM 5/1/14.	10/11/13	OPEN	

Total Enforcements: 1

175 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0393	USE AND OCCUPANCY EXPIRED	EXPIRED USE & OCCUPANCY PERMIT; PROPERTY & TENANCY TRANSFER 9/24/2013	10/30/13	OPEN	

Enforcement List by Address

06/03/14

Total Enforcements: 1

208 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0003	CITIZEN COMPLAINT	DEBRIS PILED BEHIND GARAGE; OVERGROWN LANDSCAPING	01/03/14	OPEN	

Total Enforcements: 1

6 N HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0141	SIGN VIOLATION	banner without permit	04/26/12		

Total Enforcements: 1

24 N HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0095	SIGN VIOLATION		04/19/13		

Total Enforcements: 1

34 N HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0094	SIGN VIOLATION	sign without permit	04/19/13		

Total Enforcements: 1

12 S HOWELL ST & 14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0615	USE AND OCCUPANCY		10/07/09	45 day	

Total Enforcements: 1

Enforcement List by Address

06/03/14

31 S HOWELL ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2011-0054	Vacant Structure		01/14/11	VACANT	

Total Enforcements: 1

51 S HOWELL ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0446	OBSERVED VIOLATION	SIGN VIOLATION - PRIOR OCCUPANT INFO ON AWNING	12/13/13	OPEN	

Total Enforcements: 1

61 S HOWELL ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2010-0529	REAL ESTATE TRANSFER	House occupancy change has happened without inspection and issuance of a Use and Occupancy permit	07/16/10	OPEN	

Total Enforcements: 1

91 S HOWELL ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0288	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	07/17/13	OPEN	

Total Enforcements: 1

93 S HOWELL ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0289	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	07/17/13		

Total Enforcements: 1

Enforcement List by Address

06/03/14

99 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0291	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	07/17/13		

Total Enforcements: 1

101 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0359	VACANT STRUCTURE UNMAINTA	VACANT RESIDENCE - PERMITS PULLED 2012 TO CONVERT TO SINGLE FAMILY. 12/17/2013 - PERMITS EXPIRED PER BUILDING INSPECTOR - OWNER INDICATED TO BUILDING DEPARTMENT THAT HE IS ONLY DOING DRYWALL REPAIRS AND PAINTING AT THIS TIME. OWNER STOPPED IN OFFICE AND ADVISED HE WOULD BE WORKING ON AND PLAN ON WORKING ON AND HAVE RENTED OUT BY SUMMER	06/18/09	REFERRED TO COUNTY INSPECTION	

Total Enforcements: 1

108 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0027	CITIZEN COMPLAINT	peeling paint	02/20/13	OPEN	

Total Enforcements: 1

125 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0250	REAL ESTATE TRANSFER		06/05/12	On Hold - Vacant	
E2012-0347	Vacant Structure		07/13/12	VACANT	

Total Enforcements: 2

Enforcement List by Address

06/03/14

209 S HOWELL ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0605	REAL ESTATE TRANSFER		09/16/11	180 day	

Total Enforcements: 1

215 INDUSTRIAL DR

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0136	USE AND OCCUPANCY EXPIRED	NOW OCCUPIED BY DAYCO - NO USE & OCCUPANCY PERMIT ON FILE	03/24/14	OPEN	

Total Enforcements: 1

221 INDUSTRIAL DR

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0188	VACANT STRUCTURE UNMAINTA	VACANT STRUCTURE UNMAINTA VACANT STRUCTURE, UNMAINTAINED	04/04/14	OPEN	

Total Enforcements: 1

3 LAKE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0387	USE AND OCCUPANCY EXPIRED	EXPIRED U & O PERMIT PROPERTY IS VACANT PER POST OFFICE 11/26/2013. TIME EXTENSION GIVEN UNTIL APRIL 16, 2014 TO COMPLETE REPAIRS & SCHEDULE INSPECTION. 5-15-14 STOPPED IN OFFICE AND SCHEDULED INSPECTION FOR JULY 10TH.	10/30/13	VACANT	

Total Enforcements: 1

24 LAKEVIEW CT

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed

Enforcement List by Address

06/03/14

E2013-0002 REAL ESTATE TRANSFER

01/02/13

Total Enforcements: 1

103 LAKEVIEW DR

CASE # _____ Category _____

E2011-0677 REAL ESTATE TRANSFER

Complaint Details _____

Date Filed _____ Status _____

12/21/11

Total Enforcements: 1

29 LEROY ST

CASE # _____ Category _____

E2014-0025 CITIZEN COMPLAINT

Complaint Details _____

Date Filed _____ Status _____

PLOWING SNOW FROM DRIVEWAY ACROSS STREET

01/25/14

Total Enforcements: 1

38 LEROY ST

CASE # _____ Category _____

E2014-0004 CITIZEN COMPLAINT

Complaint Details _____

Date Filed _____ Status _____

PRIVATE SNOW PLOW PUSHING SNOW ACROSS ROAD - OCCURRED 1/6/14

01/07/14

REFERRED TO POLICE

Total Enforcements: 1

100 LEWIS ST

CASE # _____ Category _____

E2012-0295 Vacant Structure

Complaint Details _____

Date Filed _____ Status _____

06/26/12

VACANT

Total Enforcements: 1

11 LUDLAM ST & 11 1/2

CASE # _____ Category _____

E2014-0205 USE AND OCCUPANCY EXPIRED

Complaint Details _____

Date Filed _____ Status _____

05/06/14

OPEN

Date Closed _____

Enforcement List by Address

06/03/14

Total Enforcements: 1

17 LUDLAM ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0432	CITIZEN COMPLAINT		12/02/13	CONDEMNED	

Enforcement List by Address

06/03/14

AND STUFF OUTSIDE OF HOME WHICH HAS BEEN THERE FOR SOME TIME. NO ONE IS CURRENTLY LIVING THERE AS HOME OWNER HAS BEEN IN HOSPITAL.
CITY INSPECTION 12/3/2013 - NO EVIDENCE OF ANIMALS INSIDE. EXTENSIVE LITTERING IN YARD. APPEARS TO HAVE BEEN ABANDONED. EXTERIOR INSPECTION ONLY. OWNER LEFT MSG THAT HOUSE IS CONDEMNED AND CAN'T CLEAN ANYTHING UP IN YARD RIGHT NOW DUE TO SNOW.
2/7/14 COUNTY INSPECTION - ORDER OF UNSAFE STRUCTURE. REQUIRED CONTACT WITH COUNTY INSPECTION DEPARTMENT BY FEBRUARY 21, 2014 WITH TIMELINE FOR DEMOLITION. DEMOLITION TO BE COMPLETED NO LATER THAN MARCH 28, 2014.
4/30/2014 NO RESPONSE PER COUNTY INSPECTION DEPARTMENT.
5/13/2014 NO CHANGE IN CONDITION. EVIDENCE OF WORK BY OWNER TO REMOVE FLOWERS BUT NO APPARENT EFFORT TO CORRECT VIOLATIONS. STRONG ODOR OF FECES AND/OR DECAY FROM HOUSE. APPEARS TO BE BAGS OF GARBAGE INSIDE.
5-14-14 RECOMMENDATION SUBMITTED TO HAVE DECLARED A PUBLIC NUISANCE BY COUNCIL AT 5-19-14 MEETING
5/14/2014 PHONE CALL RECEIVED BY CITY MANAGER. FORWARDED TO CODE ENFORCEMENT WITH ADDITIONAL COMPLAINTS FROM NEIGHBOR - STRONG ODOR. GARBAGE BLOWING AROUND NEIGHBORHOOD. INFESTATION OF RODENTS. OWNER HAS BEEN DIGGING UP FLOWERS, BUT IS MAKING NO EFFORT TO CLEAN UP THE PROPERTY. CIC #1069 ISSUED, MAILED 5/15/14.
5/19/14 MRS. NORTHRUP CALLED TO PROTEST CITATION. ADVISED HER TO CONTACT COURT. REQUEST INFORMAL HEARING. CLAIMS ALL SANITATION VIOLATIONS CAUSED BY DAUGHTERS WHEN SHE WAS IN THE HOSPITAL BETWEEN OCTOBER 9, 2013 AND JANUARY 9, 2014. ADVISED HER TO MAKE WRITTEN STATEMENT WITH THEIR NAMES. ALSO CLAIMS PROPERTY IS ONLY IN MICHAEL'S NAME, BUT DEED DATED 4/13/2001 IS TO BOTH. IS TRYING TO SHORT SELL TO NEIGHBOR WHO PLANS TO DEMOLISH STRUCTURE.
5/19/14 DECLARED PUBLIC NUISANCE BY

Enforcement List by Address

06/03/14

COUNCIL RESOLUTION. SANITATION TO BE CORRECTED WITHIN 48 HOURS. DEMOLITION PERMITS TO BE OBTAINED AND WORK BEGUN WITHIN 30 DAYS, TO BE COMPLETED WITHIN 60 DAYS OR WITHIN A REASONABLE TIME AS DETERMINED BY BUILDING INSPECTOR 5/20/14 POSTED PROPERTY WITH COUNCIL RESOLUTION. A FEW ITEMS HAD BEEN MOVED AROUND BUT NO CHANGE IN OVERALL CONDITION.
 5/21/14 MORTGAGE COMPANY HAS PUT OUT FOR BIDS TO ABATE VIOLATIONS. REQUESTING EXTENSION UNTIL JULY 1, 2014.

Total Enforcements: 1

121 LUMBARD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0243	CITIZEN COMPLAINT	TG&W AND PILE OF WOOD	05/27/14	REFERRED TO POLICE	

Total Enforcements: 1

106 LUMBARD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0592	Vacant Structure		09/09/09	VACANT	

Total Enforcements: 1

107 LUMBARD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0143	YARD PARKING	vehicle parked in front yard setback, not in driveway	02/09/11	SCHEDULED	

Total Enforcements: 1

36 E LYNWOOD BLVD

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed

Enforcement List by Address

06/03/14

E2013-0299 VACANT STRUCTURE UNMAINTA PROPERTY ABANDONED AUGUST 24, 2012 (PER 07/29/13 Ordered Mowed-City
 OWNER) FOLLOWING NOTICE BY BANK OF AMERICA THAT FORECLOSURE PROCEEDINGS HAD BEGUN

6/11/13 - BANK OF AMERICA ASSIGNED MORTGAGE TO GREEN TREE SERVICING, NO SHERIFF'S DEED TO DATE
 7/11/13 - ORDERED MOWED BY CITY MANAGER
 12/6/13 - SHERIFF'S SALE HELD
 12/11/13 - GREEN TREE QUIT CLAIMED TO FANNIE MAE (FEDERAL NATIONAL MORTGAGE ASSOCIATION)
 2/10/14 - AFFIDAVIT OF ABANDONMENT - FORECLOSURE ACCELERATED
 2/28/14 - OFFICER CHECKED PROPERTY - SIDEWALK CLEAR - NOTICES THAT FANNIE MAY NOW OWNS PROPERTY - UNKNOWN IF OCCUPIED OR NOT - POSTED LETTER AND OUTSTANDING INVOICE ON PROPERTY

Total Enforcements: 1

40 N MANNING ST

CASE # Category Complaint Details
 E2014-0093 USE AND OCCUPANCY EXPIRED 2 UNITS

Date Filed 03/12/14 Status OPEN

Date Closed

Total Enforcements: 1

135 N MANNING ST

CASE # Category Complaint Details
 E2013-0434 USE AND OCCUPANCY EXPIRED NO USE & OCCUPANCY PERMIT ON FILE (PROPERTY TRANSFERRED);

Date Filed 12/03/13 Status On Hold - Vacant

Date Closed

PER SHEILA BUTLER, THIS PROPERTY IS IN THE PROCESS OF BEING ACQUIRED BY THE COLLEGE AND IS EXPECTED TO REMAIN VACANT.
 2-20-14 PER SHEILA FROM HILLSDALE COLLEGE - THIS PROPERTY WAS RECENTLY TRANSFERRED TO THE COLLEGE AND IS VACANT AND WILL REMAIN VACANT

Enforcement List by Address

06/03/14

Total Enforcements: 1

148 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0035	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE DEED FROM SSR TO HILLSDALE COLLEGE 1/2/14 "OCCUPANT" MAIL RET VAC 2-20-14 PER SHEILA FROM HILLSDALE COLLEGE - THIS PROPERTY WAS RECENTLY TRANSFERRED TO THE COLLEGE AND IS VACANT AND WILL REMAIN VACANT	02/04/14	On Hold - Vacant	

Total Enforcements: 1

158 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0193	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT REQUIRED - NEW RESIDENTIAL CONSTRUCTION - 6-BEDROOM STUDENT HOUSING PER FLYER	04/24/14	OPEN	

Total Enforcements: 1

162 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0033	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANT PERMIT ON FILE. LAST INSPECTION ON RECORD 6/24/09, NEVER BROUGHT INTO COMPLIANCE. 3-13-14 SEE TIMELINE ASKING FOR EXTENSION UNDER ATTACHMENTS 4-7-14 OWNER STOPPED AND SAID LOCATION OF GARBAGE CONTAINER WAS TAKEN CARE OF. 5-16-14 162 IS OCCUPIED. HE HAS BEEN WORKING ON THE DOWNSTAIRS IN THIS APARTMENT.	02/04/14	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

164 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0034	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE. LAST INSPECTION ON RECORD 6/24/09, NEVER BROUGHT INTO COMPLIANCE.	02/04/14	On Hold - Vacant	

Total Enforcements: 1

173 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0194	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED (5 BEDROOM STUDENT HOUSING PER FLYER)	04/24/14	OPEN	

Total Enforcements: 1

179 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0195	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NEW OWNER 4/18/2014	04/25/14	OPEN	

Total Enforcements: 1

186 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0070	CITIZEN COMPLAINT	TRASH ON PORCH. ALSO EXPIRED USE & OCCUPANCY PERMIT (OWNER MAILING ADDRESS IS CALIFORNIA). 3/19/14 - PER OWNER, THIS IS STILL THEIR RESIDENCE. THEY ARE TEMPORARILY LIVING OUT OF STATE. SON IS STILL OCCUPYING RESIDENCE AND HAS SINCE USE & OCCUPANCY PERMIT ISSUED IN 2003. CLAIMS GARBAGE ON PORCH HAS BEEN REMOVED.	03/11/14	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

195 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0429	USE AND OCCUPANCY EXPIRED	USE CHANGED FROM RESIDENTIAL SINGLE-FAMILY TO FRAT HOUSE	11/27/13	OPEN	

Total Enforcements: 1

205 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0161	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NEW OWNER 3/13/2014	04/03/14	OPEN	

Total Enforcements: 1

211 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0107	USE AND OCCUPANCY EXPIRED		03/13/14	OPEN	

Total Enforcements: 1

215 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0015	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFERRED - NO USE AND OCCUPANCY PERMIT ON FILE	01/14/14	ON HOLD - NEW OWNER	

Total Enforcements: 1

216 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0006	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFERRED, NO USE & OCCUPANCY ON FILE	01/09/14	Resolved-No Action	

Enforcement List by Address

06/03/14

Total Enforcements: 1

219 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0036	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFER - NO USE & OCCUPANCY PERMIT ON FILE	02/07/14	OPEN	

Total Enforcements: 1

20 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0451	SNOW REMOVAL	SIDEWALK NOT CLEARED - VACANT STRUCTURE	12/20/13	OPEN	

Total Enforcements: 1

29 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0128	USE AND OCCUPANCY EXPIRED	MULTIPLE FAMILY RESIDENTIAL (AT LEAST 3 APARTMENTS) - NO USE AND OCCUPANCY PERMIT ON FILE - LAST INSPECTION 2009, NOT COMPLIANT	03/24/14	OPEN	

Total Enforcements: 1

33 S MANNING ST A, B & C

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0123	OBSERVED VIOLATION	ACCUMULATION OF BAGGED GARBAGE ON FRONT PORCH; BROKEN GATE ON FENCE; DISCARDED HOUSEHOLD ITEMS IN YARD	03/19/14	OPEN	

Total Enforcements: 1

35 S MANNING ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0122	OBSERVED VIOLATION	ACCUMULATION OF SOLID WASTE, INCLUDING DISCARDED MATTRESSES 5-30-14 OWNER CALLED AND ADVISED HE WOULD BE GOING TO PROPERTY TODAY AND REMOVING FURNITURE AND MOVE GARBAGE CONTAINER TO SIDE OR REAR OF STRUCTURE.	03/19/14	OPEN	
Total Enforcements: 1					
105 S MANNING ST					
E2014-0201	CITIZEN COMPLAINT	4/30/2014 - 7 DOGS, ONE IS VERY AGGRESSIVE WALKS 3 AT A TIME, INCLUDING THE AGGRESSIVE ONE WHO GROWLS AND BARKS AT NEIGHBORS ACCUMULATION OF DOG FECEES IN BACK YARD PER OFFICER DOW, HE MET WITH RESIDENT & COMPLAINING NEIGHBOR FOLLOWING A PREVIOUS COMPLAINT FOR A DOG BITE. RESIDENT AGREED TO WALK DOGS ONE AT A TIME. CLAIMS DOGS ARE IN TRAINING AS SERVICE DOGS (HAS DISABLED CHILDREN). PER COUNTY TREASURER'S OFFICE - 7 LICENSED DOGS FOR THIS LOCATION. NOTHING IN CITY ORDINANCE LIMITING NUMBER ALLOWED. 5/13/14 - ADDITIONAL COMPLAINTS - BARKING DOGS ALL DAY LONG, MULTIPLE BIRDS SQUAWKING, WALKING MULTIPLE DOGS AT ONE TIME AFTER AGREEING TO ONLY WALK ONE. ADVISED TO CALL POLICE WHEN IT IS HAPPENING SO THE OFFICERS CAN OBSERVE THE VIOLATION.	04/30/14	REFERRED TO POLICE	
Total Enforcements: 1					
108 S MANNING ST & 110					

Enforcement List by Address

06/03/14

E2014-0050 USE AND OCCUPANCY EXPIRED U&O EXPIRED OR NO PERMIT ON FILE 02/25/14 OPEN

Total Enforcements: 1

116 S MANNING ST

CASE # Category Complaint Details Date Filed Status Date Closed

E2014-0226 USE AND OCCUPANCY EXPIRED NO USE & OCCUPANCY PERMIT ON FILE, OWNER OCCUPIED SINCE 2009? (SEE PRE RECORDS FOR 61 S NORWOOD) 05/19/14 OPEN
 5/15/14 OBSERVED VIOLATION - OVERGROWN SHRUBBERY BLOCKING DOOR ON MANNING ST SIDE. CAR IN DRIVE ON SHARP ST SIDE.

Total Enforcements: 1

120 S MANNING ST

CASE # Category Complaint Details Date Filed Status Date Closed

E2014-0224 USE AND OCCUPANCY EXPIRED USE & OCCUPANCY PERMIT EXPIRED. NEW OWNER 12/27/2012. CLAIMING PRINCIPAL RESIDENCE EXEMPTION. LAST INSPECTION 10/27/2008. 05/19/14 OPEN
 5/15/14 OBSERVED VIOLATION - WEEEDS, LOOSE FRONT PORCH SOFFIT

Total Enforcements: 1

132 S MANNING ST & 132 1/2

CASE # Category Complaint Details Date Filed Status Date Closed

E2014-0073 USE AND OCCUPANCY EXPIRED 03/11/14 OPEN

Enforcement List by Address

06/03/14

LAST INSPECTION 2003
 3-24-14 OWNER STOPPED IN PICKED UP
 ANOTHER APPLICATION AND WILL CALL TO
 SCHEDULE APPT AFTER APRIL 1ST
 4-10-14 OWNER STOPPED IN AND WILL
 CONTACT OFFICE IN 3 WEEKS.
 4/17/14 OBSERVED VIOLATIONS WHILE
 INSPECTING NEIGHBORING PROPERTY
 5/15/14 OBSERVED ADDITIONAL/INCREASING
 VIOLATIONS WHILE INSPECTING
 NEIGHBORING PROPERTY
 6-2-14 SUBMITTED A TIMELINE ASKED FOR
 ONE WEEK EXTENSION TO CALL BACK AND
 SCHEDULE A INSPECTION.

Total Enforcements: 1

139 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0082	USE AND OCCUPANCY EXPIRED		03/11/14	OPEN	

Total Enforcements: 1

145 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0460	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE (2008 PERMIT NEVER APPROVED) - OCCUPIED STRUCTURE	12/26/13	Civil Inf Citation Issued	

12/26/13 - 1ST NOTICE, NO RESPONSE
 2/3/14 - CONFIRMED OCCUPIED, NO CONTACT
 INFORMATION FOR OWNER PER TENANT
 2/10/14 - 2ND NOTICE, NO RESPONSE
 3/24/14 - CIC #1067 ISSUED - FAILURE TO
 OBTAIN PERMIT, FAILURE TO RESPOND TO
 NOTICE OF VIOLATION
 5/15/14 - OBSERVED VIOLATION WHILE
 FOLLOWING UP ON COMPLAINT ON
 NEIGHBORING PROPERTY - RECLINER IN
 FRONT YARD, TV IN DRIVE BY HOUSE. STILL
 OCCUPIED, NO INSPECTION SCHEDULED.

Total Enforcements: 1

Enforcement List by Address

06/03/14

148 S MANNING ST

Date Closed

CASE # E2014-0219 Category CITIZEN COMPLAINT Date Filed 05/15/14 Status OPEN

Complaint Details

YARD NOT MAINTAINED - BELIEVED TO BE VACANT
 5/2/14 LEFT CARD IN DOOR REQUESTING OWNER CONTACT CODE ENFORCEMENT 5/19/14 SPOKE WITH MRS. LAWRENCE - THEY ARE IN PROCESS OF GETTING A LIST FROM THE REALTOR OF LOCAL PROPERTY MAINTENANCE PEOPLE TO HANDLE GENERAL UPKEEP. ADVISED HER THAT GRASS IS APPROACHING THE 10" LIMIT SO THEY NEED TO MAKE ARRANGEMENTS QUICKLY. KAT. MRS. LAWRENCE'S DAUGHTER CALLED BACK TO LET US KNOW REALTOR IS MAKING ARRANGEMENTS ASAP.

Total Enforcements: 1

149 S MANNING ST

Date Closed

CASE # E2014-0239 Category USE AND OCCUPANCY EXPIRED Date Filed 05/27/14 Status OPEN
USE AND OCCUPANCY PERMIT EXPIRED 4/13/14. NEW OWNER 4/28/14 CLAIMING PRINCIPAL RESIDENCE EXEMPTION.

Complaint Details

USE AND OCCUPANCY PERMIT EXPIRED 4/13/14. NEW OWNER 4/28/14 CLAIMING PRINCIPAL RESIDENCE EXEMPTION.

Total Enforcements: 1

157 S MANNING ST

Date Closed

CASE # E2013-0390 Category USE AND OCCUPANCY Date Filed 10/30/13 Status On Hold - Vacant
EXPIRED USE & OCCUPANCY PERMIT

Complaint Details

EXPIRED USE & OCCUPANCY PERMIT

Total Enforcements: 1

36 N MANNING ST

Date Closed

CASE # E2013-0186 Category CITIZEN COMPLAINT Date Filed 05/20/13 Status OPEN
Peeling exterior paint under city wide complaint system

Complaint Details

Peeling exterior paint under city wide complaint system

Enforcement List by Address

06/03/14

Total Enforcements: 1

125 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0011	Vacant Structure		01/16/12	VACANT	

Total Enforcements: 1

155 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0655	Vacant Structure	UNMAINTAINED VACANT STRUCTURE 4-14-14 OWNER SUBMITTED TIMELINE *SEE ATTACHED	12/02/11	VACANT	

Total Enforcements: 1

161 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0392	YARD PARKING		07/03/12	Notice posted	

Total Enforcements: 1

165 N MANNING ST & 167

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0282	TENANCY TRANSFER		04/26/11	30 day	

Total Enforcements: 1

178 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0043	CITIZEN COMPLAINT	building not secure, structure dilapidated	03/06/13	OPEN	

Enforcement List by Address

06/03/14

Total Enforcements: 1

211 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0260	CITIZEN COMPLAINT	ANT AND WATER DAMAGE IN WALLS OF KITCHEN, AND OTHER AREAS	06/11/12	Reminder Mailed	

Total Enforcements: 1

223 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0237	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/22/13		

Total Enforcements: 1

224 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0238	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/22/13		

Total Enforcements: 1

228 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0240	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/22/13		

Total Enforcements: 1

228 N MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2010-0054	CITIZEN COMPLAINT		02/02/10	30 day	

Enforcement List by Address

06/03/14

E2010-0061	CITIZEN COMPLAINT	cleaned up Current sewage leak Mold in basement	02/09/10	30 day	
E2011-0639	Vacant Structure	Leak from above in bathroom, damaged ceiling, Ceiling missing, uneven rise/run on front steps of house, concrete tread surfaces damaged	10/27/11	VACANT	
Total Enforcements: 3					

62 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0509	Vacant Structure		07/24/09	VACANT	
Total Enforcements: 1					

70 S MANNING ST & 701/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0407	Garbage/Solid Waste	Couch, tub, etc in yard	07/30/12	Violation mailed	
Total Enforcements: 1					

87 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0537	Vacant Structure		07/30/09	VACANT	
Total Enforcements: 1					

94 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0248	REAL ESTATE TRANSFER		06/04/12	On Hold - Vacant	
Total Enforcements: 1					

Enforcement List by Address

06/03/14

100 S MANNING ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0170	CITIZEN COMPLAINT	PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM (PORCH COLUMN, CORNICES)	05/20/13	OPEN	

Total Enforcements: 1

126 S MANNING ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2011-0145	USE AND OCCUPANCY EXPIRED	EXPIRED USE & OCCUPANCY PERMIT, NEW OWNER 2/3/2011 CLAIMING PRINCIPAL RESIDENCE EXEMPTION. 4/29/14 - PER OWNER CONVERTED FROM 5-UNIT TO SINGLE FAMILY (NO PERMITS PER COUNTY INSPECTION)	02/11/11	OPEN	

Total Enforcements: 1

128 S MANNING ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E09-0538	VACANT STRUCTURE UNMAINTA	VACANT STRUCTURE UNMAINTAINED VACANT STRUCTURE FORECLOSED BY BANK 2012 NEW OWNER 12/14/2012 4/29/2014 - OWNER PLANS TO DEMOLISH	07/30/09	VACANT	

Total Enforcements: 1

138 S MANNING ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2012-0443	Garbage/Solid Waste		09/05/12	VACANT	

Enforcement List by Address

06/03/14

POSSIBLE SOURCE OF RODENT INFESTATION.

9/5/12 SENT LETTER WITH DEADLINE OF
 9/25/12 TO SCHEDULE INSPECTION
 11/19/12 INSPECTED. ACCUMULATION OF
 SOLID WASTE VISIBLE. SENT LETTER WITH
 DEADLINE OF 12/9/12
 9/13/13 SHERIFF'S SALE (FORECLOSURE)
 10/13/13 AFFIDAVIT OF ABANDONMENT
 FILED. NOW OWNED BY FEDERAL HOME
 LOAN MORTGAGE CORP.
 4/17/14 WORK IN PROGRESS TO REMOVE
 SOLID WASTE FROM GARAGE AND
 RESIDENCE.
 4/30/14 NEW OWNER
 5/15/14 PROGRESS - SEE PICTURES.
 5-28-14 OWNER STOPPED IN AND SUBMITTED A
 TIMELINE (SEE FILE). HE IS WORKING ON IT
 AND ASKED FOR AN EXTENSION UNTIL
 AUGUST 27TH.

Total Enforcements: 1

151 S MANNING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0461	TALL GRASS & WEEDS		07/08/11	Closed-Owner cleaned/mowed	

Total Enforcements: 1

138 MARION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0084	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY EXPIRED - CHANGE IN TENANCY PER BPU CLAIMING PRINCIPAL RESIDENCE EXEMPTION 3/14/14 - SHERIFF'S DEED TO FLAGSTAR BANK 1/6 MONTHS DEFERMENT	03/11/14	OPEN	

Total Enforcements: 1

28 MARION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed

Enforcement List by Address

06/03/14

E09-0510 Vacant Structure

07/24/09 VACANT

Total Enforcements: 1

32 MARION ST

CASE # _____

Category _____

Complaint Details _____

Date Filed _____

Status _____

Date Closed _____

E2013-0200 CITIZEN COMPLAINT

Peeling exterior paint under city wide complaint system

05/20/13

Total Enforcements: 1

77 MARION ST & 79

CASE # _____

Category _____

Complaint Details _____

Date Filed _____

Status _____

Date Closed _____

E2013-0086 CITIZEN COMPLAINT

tires in yard

04/18/13

Total Enforcements: 1

118 MARION ST

CASE # _____

Category _____

Complaint Details _____

Date Filed _____

Status _____

Date Closed _____

E2013-0148 CITIZEN COMPLAINT

PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM
6/28/13 TIME EXTENSION GRANTED UNTIL 9/26/13

05/20/13

OPEN

3/18/14 OBSERVED VIOLATION - ACCUMULATION OF SOLID WASTE
5/2/14 SOLID WASTE VIOLATION CORRECTED

Total Enforcements: 1

28 MCCLELLAN ST

CASE # _____

Category _____

Complaint Details _____

Date Filed _____

Status _____

Date Closed _____

E2014-0228 USE AND OCCUPANCY EXPIRED

NO USE & OCCUPANCY PERMIT ON FILE, NEW OWNER CLAIMING PRINCIPAL RESIDENCE EXEMPTION AS OF 8/23/13.

05/19/14

OPEN

Total Enforcements: 1

Enforcement List by Address

06/03/14

12 MCCLELLAN ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0321	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	08/27/13		

Total Enforcements: 1

32 MCCLELLAN ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0292	CITIZEN COMPLAINT	debris, etc in yard	07/22/13		

Total Enforcements: 1

4 MCCOLLUM ST & 6

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0336	CITIZEN COMPLAINT	OVERGROWN TREES, VINES, ETC... ENCROACHING ON NEIGHBORING PROPERTY, CREATING STRUCTURAL PROBLEMS ON BUILDING(S) (SPECIFICALLY 17 N WEST ST), 12/12/13 CIVIL INFRACTION CITATION #1059 ISSUED (FAILURE TO RESPOND TO NOTICE) 5/2/14 PROGRESS HAS BEEN MADE 5/22/14 DAVE CALLED - WORKING ON PAINT, DRYWALL, REPLACEMENT WINDOWS, ETC... WOULD LIKE TO START RENTING CENTER UNIT. WILL SUBMIT APPLICATION FOR U&O.	09/06/13	Civil Inf Citation Issued	

Total Enforcements: 1

34 MCCOLLUM ST - 36

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0251	OBSERVED VIOLATION	GENERAL DISREPAIR OF STRUCTURE - SPECIFICALLY AWNINGS (REPAIR, REPLACE OR REMOVE)	06/03/14	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

9 MEAD ST

CASE # E2013-0353 Category REAL ESTATE TRANSFER

Complaint Details 107.6 TRANSFER OF OWNERSHIP. IT SHALL BE UNLAWFUL FOR THE OWNER OF ANY DWELLING UNIT OR STRUCTURE WHO HAS RECEIVED A COMPLIANCE ORDER OR UPON WHOM A NOTICE OF VIOLATION HAS BEEN SERVED TO SELL, TRANSFER, MORTGAGE, LEASE OR OTHERWISE DISPOSE OF SUCH DWELLING UNIT OR STRUCTURE, OR ANY POSSESSORY INTEREST THEREIN, TO ANOTHER UNTIL THE PROVISIONS OF THE COMPLIANCE ORDER OR NOTICE OF VIOLATION HAVE BEEN COMPLIED WITH, OR UNTIL SUCH OWNER SHALL FIRST FURNISH THE GRANTEE, TRANSFEREE, MORTGAGEE OR LESSEE A TRUE COPY OF EACH SUCH COMPLIANCE ORDER OR NOTICE OF VIOLATION ISSUED AND SHALL FURNISH TO THE CODE OFFICIAL A FORM AVAILABLE FROM AND PROVIDED BY THE CODE OFFICIAL SIGNED AND NOTARIZED STATEMENT BY THE GRANTEE, TRANSFEREE, MORTGAGEE OR LESSEE ACKNOWLEDGING THE RECEIPT OF SUCH COMPLIANCE ORDER OR NOTICE OF VIOLATION AND FULLY ACCEPTING THE RESPONSIBILITY WITHOUT CONDITION FOR MAKING THE REQUIRED CORRECTIONS OR REPAIRS. Date Filed 09/20/13 Status OPEN

Date Closed

Total Enforcements: 1

27 MEAD ST

CASE # E2014-0232 Category OBSERVED VIOLATION

Complaint Details 5/21/2014 OBSERVED PEELING PAINT Date Filed 05/21/14 Status

Date Closed

Total Enforcements: 1

37 MEAD ST

CASE # Category

Complaint Details

Date Filed Status

Date Closed

Enforcement List by Address

06/03/14

E2014-0211	CITIZEN COMPLAINT	PEELING PAINT	05/12/14	OPEN	
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Total Enforcements: 1

38 MEAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0230	VACANT STRUCTURE UNMAINTA	FORECLOSURE PEELING - CRACKS FOR RIGIT	05/21/14	OPEN	

Total Enforcements: 1

43 MEAD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2010-0410	Vacant Structure		05/26/10	VACANT	

Total Enforcements: 1

3 MONROE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0224	CITIZEN COMPLAINT	PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM 10-17-2013 WRITTEN REQUEST FOR EXTENSION RECEIVED - COMMUNITY ACTION GRANT PENDING TO COVER INSULATION, PLANS TO INSTALL VINYL SIDING ONCE GRANT IS APPROVED AND WEATHER IS WARM ENOUGH. 5-8-14 COMPLAINT OF PEELING PAINT	05/22/13	OPEN	

Total Enforcements: 1

9 MONROE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0271	REAL ESTATE TRANSFER		06/18/12		

Total Enforcements: 1

Enforcement List by Address

06/03/14

23 MONROE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0127	CITIZEN COMPLAINT	sewage in west side yard?	04/18/12		
Total Enforcements: 1					

53 MONROE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0222	USE AND OCCUPANCY		05/22/13		
Total Enforcements: 1					

22 MORRY ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0312	CITIZEN COMPLAINT	TRASH LITTERED IN YARD (ORIGINAL COMPLAINT MADE TO HEALTH DEPARTMENT) LTR SENT RETURN RECEIPT REQUESTED WITH DEADLINE OF 3-21-14 - RETURNED UNCLAIMED 4-7-14 5/19/14 NOT OWNER OCCUPIED PER COUNCIL PERSON STOCKFORD 5/22/14 PRINCIPAL RESIDENCE EXEMPTION DENIED. SENT LETTER - USE & OCCUPANCY PERMIT REQUIRED.	08/15/13	REFERRED TO POLICE	
Total Enforcements: 1					

9 NORTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0377	USE AND OCCUPANCY	U&O FOR PROPERTY TRANSFER - 8-UNIT RESIDENTIAL BUILDING APT 1 - UNDER COMPLETE CONSTRUCTION	10/16/13	OPEN	
Total Enforcements: 1					

9 NORTH ST APT 1

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0159	USE AND OCCUPANCY EXPIRED	APT 1 - UNDER COMPLETE CONSTRUCTION	04/03/14	On Hold - Vacant	
Total Enforcements: 1					

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0069	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY EXPIRED (LAST ISSUED 2006) - FOR RENT SIGN OUT. MULTIPLE UNIT RESIDENTIAL. - 8 UNITS	03/11/14	OPEN	
Total Enforcements: 1					

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0222	USE AND OCCUPANCY EXPIRED	TEMP C OF O ISSUED 11/7/2012 EXPIRED, NO FOLLOW-UP INSPECTIONS CALLED FOR. NEW OWNER 11/16/2012.	05/19/14	OPEN	
Total Enforcements: 1					

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0431	REAL ESTATE TRANSFER	USE & OCCUPANCY PERMIT EXPIRED. NEW OWNER 2/7/2013. CITIZEN COMPLAINT 6/11/2013 ON CONDITION OF GARAGE	08/23/12	OPEN	
Total Enforcements: 1					

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0407	CITIZEN COMPLAINT	COCKROACHES INFESTATION	11/15/13	OPEN	
Total Enforcements: 1					

Enforcement List by Address

06/03/14

Total Enforcements: 1

100 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0237	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NOT OWNER OCCUPIED. LAST INSPECTION 2010.	05/23/14	OPEN	

Total Enforcements: 1

106 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0248	OBSERVED VIOLATION	OBSERVED PEELING PAINT ON ACCESSORY STRUCTURE	06/02/14		

Total Enforcements: 1

110 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0236	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NEW OWNER 4/10/12. CLAIMING PRINCIPAL RESIDENCE EXEMPTION. LAST INSPECTION ON FILE 2007.	05/23/14	OPEN	

Total Enforcements: 1

53 S NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0250		5/22/14 OBSERVED PEELING PAINT	06/02/14		

Total Enforcements: 1

55 S NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
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Enforcement List by Address

06/03/14

E2014-0249

06/02/14

Total Enforcements: 1

16 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0107	TENANCY TRANSFER	CHANGE IN OCCUPANCY, NO USE & OCCUPANCY PERMIT ON FILE. PRINCIPAL RESIDENCE EXEMPTION RESCINDED 3/2013.	04/22/13		

Total Enforcements: 1

19 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0243	REAL ESTATE TRANSFER	USE & OCCUPANCY PERMIT EXPIRED. NEW OWNER 6/20/2013, CLAIMING PRINCIPAL RESIDENCE EXEMPTION.	05/28/13		

Total Enforcements: 1

24 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0127	CITIZEN COMPLAINT	TRASH AND DEBRIS IN REAR YARD. PORCH ROOF IN DISREPAIR 1-21-14 GARBAGE STILL IN FRONT YARD AND FRONT PORCH IS DETACHING FROM HOUSE ALONG THE ROOF-LINE PER BPU UTILITIES PAID BY RANDY O'DELL 1/24/14 "OCCUPANT" MAIL RETURNED VACANT 1/28/14 MICHAEL P & ANGELENE M STAFFORD MAIL TO PROPERTY RETURNED UTF 2-11-14 APPEARS TO BE VACANT 5-2-14 - TRASH AND DEBRIS IN FRONT YARD CLEARED. POSTING REMOVED FROM DOOR UNLAWFULLY.	05/07/13	VACANT	

Total Enforcements: 1

Enforcement List by Address

06/03/14

28 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0271	CITIZEN COMPLAINT	Debris pile in rear yard	07/03/13		

Total Enforcements: 1

30 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0090	CITIZEN COMPLAINT	BUILDING IN REAR YARD, NOOK. TRAILER. 8/28/13 POSTED UNSAFE 9/5/13 LAND CONTRACT IN DEFAULT. RANDY O'DELL (SELLER) IS RESPONSIBLE PARTY. CLEANING UP EXTERIOR PROPERTY AREA BUT CANNOT LEGALLY ACCESS INTERIOR. 10/2/13 PER MARTIN TAYLOR, COUNTY BUILDING INSPECTOR, EXTERIOR FRONT PORCH UNSAFE. REMAINING ISSUES ARE IPMC. PER NEIGHBOR WORK IS BEING DONE ON PROPERTY. NO PERMITS ON RECORD PER COUNTY INSPECTION. 1/28/14 UTILITIES DUE FOR DISCONNECT FOR NONPAYMENT 5/2/14 SANITATION RESOLVED. NOW TALL GRASS & WEEDS. UNSAFE POSTINGS REMOVED UNLAWFULLY.	04/18/13	VACANT	

Total Enforcements: 1

69 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0423	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT NEW OWNER 9/11/2012 - CLAIMING PRINCIPAL RESIDENCE EXEMPTION	08/07/12		

Total Enforcements: 1

Enforcement List by Address

06/03/14

82 N NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0295	CITIZEN COMPLAINT	garage is in disrepair	07/31/13		

Total Enforcements: 1

27 S NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0102	Vacant Structure		02/03/11	VACANT	

Total Enforcements: 1

29 S NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0352	TENANCY TRANSFER	tenant change without certificate of occupancy	05/26/11	On Hold - Vacant	

Total Enforcements: 1

65 S NORWOOD AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0347	Vacant Structure		06/17/09	VACANT	

Total Enforcements: 1

38 OAK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0229	USE AND OCCUPANCY EXPIRED		05/20/14	OPEN	

Total Enforcements: 1

51 OAK ST

Enforcement List by Address

06/03/14

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0382	USE AND OCCUPANCY	USE & OCCUPANCY PERMIT EXPIRED 2009. ALSO INDOOR FURNITURE, TRASH & DEBRIS IN YARD.	10/23/13	Civil Inf Citation Issued	
		CIVIL INFRACTION CITATION #1055 ISSUED 11-19-2013 (FAILURE TO RESPOND TO LETTER DATED 10-23-2013 WITH A DEADLINE OF 11-13-2013 TO SCHEDULE U&O INSPECTION) 1/7/14 SCHEDULED INSPECTION FOR 1/15/14. 1/14/14 - INSPECTION FOR 1/15/14 CANCELLED BY OWNER. RESCHEDULED FOR 1/24/14. CANCELLED BY FIRE DEPARTMENT (EMERGENCY CALL). RESCHEDULED FOR 2/6/14. NO SHOW BY OWNER. 2/10/14 INITIAL INSPECTION COMPLETED. LETTER ISSUED WITH DEADLINE OF 3/3/14 TO SCHEDULE FOLLOW-UP. 3/14/14 SEE LETTER FROM SHIRK IN ATTACHMENTS. 3/18/14 OBSERVED VIOLATIONS - SENT LETTER TO OCCUPANT ADVISING TO REMOVE DISCARDED HOUSEHOLD FURNITURE FROM YARD. 3/21/14 FORMAL HEARING CANCELLED - FINES PAID. KEVIN SHIRK TO SEND LETTER ADVISING THAT HE HAS MISSED THE DEADLINE FOR RE-INSPECTION AND NEEDS TO CONTACT THIS OFFICE TO SCHEDULE. 3-24-14 SEE LETTER FROM SHIRK IN ATTACHMENTS			
Total Enforcements: 1					
59 OAK ST					
E2014-0171	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED OR NO PERMIT ON FILE - OWNED SINCE 2004 VACANT NOW AND WILL BE UNTIL IT'S SOLD	04/11/14	VACANT	
Total Enforcements: 1					
76 OAK ST					

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0218	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NOT OWNER OCCUPIED, APPEARS TO BE COLLEGE RENTAL	05/14/14	OPEN	
<p>ALSO OBSERVED VIOLATION - COUCH AND TV AT CURB, BAGGED GARBAGE ON PORCH - REFERRED TO CITY POLICE ON 5/14/2014 - RESOLVED 5/16/14</p> <p>5-29-14 OWNER STOPPED IN AND ADVISED VACANT NOW AND WILL BE RENTING LATER IN SUMMER. WILL CALL BY END OF JULY TO INSPECT. IT'S A COLLEGE RENTAL.</p>					
Total Enforcements: 1					
115 OAK ST					
E2014-0246	OBSERVED VIOLATION	302.7 ACCESSORY STRUCTURE PAINT	05/29/14	OPEN	
Total Enforcements: 1					
134 OAK ST					
E2014-0053	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - PROPERTY TRANSFER 2/27/2014 RENTAL HOME INITIAL INSPECTION 3/3/2014 - DEFICIENCIES FOUND DEADLINE FOR RE-INSPECTION 4/8/2014 FOR SAFETY ITEMS EXTENDED JUNE 12, 2014	02/26/14	OPEN	
Total Enforcements: 1					
136 OAK ST					

Enforcement List by Address

06/03/14

E2013-0418 USE AND OCCUPANCY EXPIRED EXPIRED USE & OCCUPANCY/NO PERMIT ON FILE 11/21/13 OPEN

Total Enforcements: 1

143 OAK ST

CASE # Category Complaint Details Date Filed Status Date Closed
E2014-0060 USE AND OCCUPANCY EXPIRED 4-14-14 OWNER STOPPED IN AND WILL HAVE MIRANDA PARKER CALL AND SCHEDULE AN INSPECTION WHEN STUDENTS OUT AND CLEANED UP. 03/04/14 OPEN

Total Enforcements: 1

175 OAK ST

CASE # Category Complaint Details Date Filed Status Date Closed
E2013-0431 YARD PARKING PARKING IN FRONT YARD 12/02/13

Total Enforcements: 1

34 OAK ST

CASE # Category Complaint Details Date Filed Status Date Closed
E2012-0049 Vacant Structure 02/06/12

Total Enforcements: 1

55 OAK ST

CASE # Category Complaint Details Date Filed Status Date Closed
E2013-0060 USE AND OCCUPANCY EXPIRED 03/28/13 VACANT

Enforcement List by Address

06/03/14

TRANSFER 4/1/13
 4/11/13 NEW OWNER
 9/24/13 - VACANT, BLIGHTED
 9/30/13 - SUBMITTED REQUEST FOR
 EXTENSION
 11/22/2013 - GRANTED EXTENSION UNTIL
 FEBRUARY 28, 2014 TO COMPLETED
 NECESSARY REPAIRS
 4/21/14 - SUBMITTED TIMELINE (SEE
 ATTACHED).
 5/2/14 - PROGRESS - EXTERIOR WALLS
 PAINTED

Total Enforcements: 1

137 OAK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0068	REAL ESTATE TRANSFER		04/01/13		

Total Enforcements: 1

143 OAK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0272	REAL ESTATE TRANSFER		04/05/11	CLOSED / NEW OPENED	

Total Enforcements: 1

114 ORCHARD RIDGE PKWY

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0048	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFER, PRINCIPAL RESIDENCE EXEMPTION AFFIDAVIT FILED 5/2/14 OCCUPIED - ONE UNIT - NO INSPECTION SCHEDULED	02/17/14	OPEN	

Total Enforcements: 1

122 ORCHARD RIDGE PKWY

Date
Closed

Enforcement List by Address

06/03/14

E2011-0142 YARD PARKING vehicle parked in front yard setback nor in driveway 02/09/11 Violation mailed

Total Enforcements: 1

17 PARK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0014	USE AND OCCUPANCY EXPIRED	TRANSFER OF OWNERSHIP (FAMILY SALE) - NO USE AND OCCUPANCY PERMIT ON FILE	01/14/14	SCHEDULED	

Total Enforcements: 1

27 PARK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0323	CITIZEN COMPLAINT	Pecking exterior paint under city wide complaint system	08/28/13	HOLD FORECLOSURE	

Total Enforcements: 1

32 PARK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0328	CITIZEN COMPLAINT	pecking paint, garage roof issues	08/28/13		

Total Enforcements: 1

44 PARK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0327	Fire Damage	fire 6/30/2012	07/02/12	OPEN	

Total Enforcements: 1

50 PARK ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed

Enforcement List by Address

06/03/14

E2013-0270 CITIZEN COMPLAINT mattress at curb 07/10/13

Total Enforcements: 1

2 READING AVE UNITS 1-4

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0349	USE AND OCCUPANCY EXPIRED	TENANCY TRANSFER 2013 - COMPLAINTS OF SOLID WASTE ACCUMULATION IN EXTERIOR PROPERTY AREA 2014 - COMPLAINTS OF BED BUGS 4-7-14 OWNER SUBMITTED TIMELINE (AUGUST 29, 2014) AND COPY OF PEST PATROL RECEIPT 5-2-14 TOYS, ETC. ON PORCH - NOT SOLID WASTE. CAMPER IN DRIVEWAY - NOT VACANT - 4 UNITS. TEMPORARY CERTIFICATE OF OCCUPANCY EXPIRED, NEED RE-INSPECTION. 5-29-14 TRAILER REMOVED PER OWNER - MAILED U&O APP	07/16/12		

Total Enforcements: 1

29 READING AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0119	CITIZEN COMPLAINT	couch at curb	05/03/13		

Total Enforcements: 1

4 RIPPON AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0010	SNOW REMOVAL	VACANT, SIDEWALK NOT CLEARED	01/13/14	REFERRED TO POLICE	

Total Enforcements: 1

8 RIPPON AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
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Enforcement List by Address

06/03/14

E2014-0011 SNOW REMOVAL

01/13/14 Civil Inf Citation Issued

VACANT. SIDEWALK SNOW NOT CLEARED
 1-30-2014 NEW OWNER, PRINCIPAL RESIDENCE
 EXEMPTION CLAIMED - NO USE &
 OCCUPANCY PERMIT ON FILE
 2-13-14 POLICE CHECKED AND SNOW NOT
 CLEARED
 2-27-14 CIC #1064 ISSUED (FAILURE TO COMPLY)
 4-21-14 - TIMELINE EXTENDED TO MAY 14, 2014

Total Enforcements: 1

10 RIPPON AVE

CASE #

Category

Complaint Details

Date Filed Status

Date Closed

E2013-0363 USE AND OCCUPANCY

10/02/13 Civil Inf Citation Issued

EXPIRED USE & OCCUPANCY (PROPERTY
 TRANSFER - NEW OWNER SUBMITTED
 PRINCIPAL RESIDENCE EXEMPTION
 AFFIDAVIT)

10/22/2013 - OWNER SCHEDULED INSPECTION,
 FAILED TO SHOW. EXTERIOR ONLY
 INSPECTED. SENT FOLLOW-UP LETTER
 ADVISING COMPLETE INSPECTION REQUIRED.
 12/18/2013 - "OCCUPANT" LETTER RETURNED -
 VACANT
 1/13/2014 - CIVIL INFRACTION CITATION #1061
 ISSUED - FAILURE TO COMPLY WITH NOTICE
 OF VIOLATION (SCHEDULE RE-INSPECTION
 OR SUBMIT PLAN FOR CORRECTION)
 2/18/14 PRETRIAL CONFERENCE SCHEDULED
 FOR 1:15PM
 3/3/14 - OWNER STOPPED AND PICKED UP
 APPLICATION AND WILL STOP BACK THIS
 WEEK WITH APP AND FEE TO SET UP AN
 INSPECTION
 3/20/14 - FORMAL HEARING FOR CIC #1061 -
 OWNER FAILED TO APPEAR - DEFAULT
 JUDGMENT ISSUED

Total Enforcements: 1

24 RIPPON AVE

CASE #

Category

Complaint Details

Date Filed Status

Date Closed

E2014-0029 USE AND OCCUPANCY EXPIRED

01/29/14 VACANT

Enforcement List by Address

06/03/14

FILE

5-15-14 SUBMITTED A TIMELINE - BROKEN WINDOW FIXED BY END OF MAY, HOUSE AND ALL OTHER MAINTENANCE ISSUES DONE BY END OF JUNE. (SEE FILE)

Total Enforcements: 1

31 RIPPON AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0125	OBSERVED VIOLATION	OBSERVED BUILDING MATERIALS (DOORS) STORED ON FRONT PORCH. ALSO USE & OCCUPANCY PERMIT EXPIRED (OWNER RESCINDED PRINCIPAL RESIDENCE EXEMPTION 2013). 3/26/2014 PER DAVID KEHN THEY ARE NO LONGER LIVING IN THIS HOUSE, BUT STILL USE IT OCCASIONALLY. IT IS NOT RENTED AND THERE ARE NO NEW OCCUPANTS, THEREFORE NO USE AND OCCUPANCY PERMIT IS REQUIRED AT THIS TIME. ADVISED THAT THEY WOULD NEED TO APPLY FOR A PERMIT PRIOR TO RENTING IT OUT OR ALLOWING SOMEONE ELSE TO MOVE IN. KAT.	03/20/14		

Total Enforcements: 1

99 RIPPON AVE & 99 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0354	USE AND OCCUPANCY		09/23/13	On Hold - Vacant	

Enforcement List by Address

06/03/14

REQUIRED. IT SHALL HEREAFTER BE UNLAWFUL FOR ANY PERSON TO ENTER INTO THE USE OR OCCUPANCY OF ANY STRUCTURE OR PORTION THEREOF OR TO PERMIT OR SUPER THE USE AND OCCUPANCY OF ANY STRUCTURE OR PORTION THEREOF LOCATED IN THE CITY WITHOUT HAVING FIRST OBTAINED A VALID USE AND OCCUPANCY PERMIT FROM THE CODE OFFICIAL, OR HIS DESIGNEE, IN ACCORDANCE WITH THE PROVISIONS OF THIS ARTICLE. ANY PERSON WHO SHALL VIOLATE ANY PROVISION OF THIS SECTION SHALL, UPON A FINDING OF RESPONSIBILITY, BE CHARGEABLE WITH AND RESPONSIBLE FOR A MUNICIPAL CIVIL INFRACTION PURSUANT TO CHAPTER 20 OF THE CODE OF THE CITY OF HILLSDALE AND ALL OTHER APPLICABLE ORDINANCE PROVISIONS OF THE 2009 INTERNATIONAL PROPERTY MAINTENANCE CODE.

ALSO, NOTICE OF COMPLAINT OF ELECTRICAL HAZARD SENT TO COUNTY INSPECTION DEPARTMENT. SEE LETTER IN FILE.

10/21/2013 KAT - SPOKE WITH MRS. BALLINGER - TENANT IS SEVERAL MONTHS BEHIND ON RENT AND UNCOOPERATIVE ON ALLOWING THE LANDLORD IN TO FIX SAFETY ISSUES. WOULD LIKE COUNTY INSPECTION TO FOLLOW UP ON POSTING BUILDING TO NOTIFY TENANT TO VACATE. SPOKE WITH RAY AT COUNTY INSPECTION. HE WILL ADVISE MARTY AND FOLLOW UP ON 10/22/2013.

12/26/13 PER KEITH @ COUNTY INSPECTION - PERMIT FOR RE-ROOF ONLY. NO ELECTRICAL PERMIT PULLED

Total Enforcements: 1

14 RIPPON AVE

CASE # Category
 E2012-0315 CITIZEN COMPLAINT

Complaint Details Date Filed Status
 ACCUMULATION OF GARBAGE & PEELING PAINT 06/27/12 SCHEDULED

Date Closed

Total Enforcements: 1

Enforcement List by Address

06/03/14

26 RIPPON AVE

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0455	Vacant Structure		06/30/11	VACANT	

Total Enforcements: 1

11 RIVER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0138	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED 6/11/2012 - NOT OWNER OCCUPIED - DELINQUENT UTILITIES PER BPU	03/24/14	OPEN	
		3-26-14 OWNER CALLED AND WILL MAIL IN U&O APP			

Total Enforcements: 1

6 RIVER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0279	TENANCY TRANSFER		07/10/13		

Total Enforcements: 1

12 RIVER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2010-0079	Vacant Structure		02/17/10	VACANT	
E2012-0460	CITIZEN COMPLAINT	indoor furniture outdoors	09/18/12		

Total Enforcements: 2

16 RIVER ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed

Enforcement List by Address

06/03/14

E2012-0172 ZONING VIOLATION

new porch/stairs without zoning permit on file

05/09/12

Violation mailed

Total Enforcements: 1

46 RIVER ST

CASE # _____ Category _____

E09-0541 Vacant Structure

Complaint Details

VACANT STRUCTURE - CHECK FOR BLIGHT

Date filed

07/30/09

Status

On Hold - Vacant

Date Closed

Total Enforcements: 1

76 RIVER ST

CASE # _____ Category _____

E2010-0593 ZONING VIOLATION

Complaint Details

Sidewalk has not been cleared of snow from Feb. 9th storm

Date filed

08/17/10

Status

Violation mailed

Date Closed

Total Enforcements: 1

307 RIVER ST

CASE # _____ Category _____

E2010-0131 CITIZEN COMPLAINT

Complaint Details

Sidewalk has not been cleared of snow from Feb. 9th storm

Date filed

02/19/10

Status

Violation mailed

Date Closed

Total Enforcements: 1

61 SALEM ST

CASE # _____ Category _____

E2011-0269 Garbage/Solid Waste

Complaint Details

EXCESSIVE MATERIALS STORED IN BACK YARD. DRIVEWAY, FRONT AREAS, VEHICLES IN DRIVEWAY WITHOUT CURRENT LICENSES, SOME WITH MATERIALS STORED INSIDE

Date filed

04/04/11

Status

Violation mailed

Date Closed

5/2/2014 TRUCK IN DRIVEWAY FILLED WITH GARBAGE AND APPEARS UNLICENSED AND UNDRIVEABLE. APPEARS TO BE A DERELICT VEHICLE IN BACK YARD. APPEARS THAT GARBAGE FROM FRONT YARD MOVED TO BACK YARD.

Enforcement List by Address

06/03/14

Total Enforcements: 1

82 E SHARP ST & 82 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0436	REAL ESTATE TRANSFER		06/23/11	Violation mailed	

Total Enforcements: 1

6 W SHARP ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0433	USE AND OCCUPANCY EXPIRED	NO U&O PERMIT ON FILE. DOUG STOPPED IN OFFICE ON 12/27/2013 AND STATED THE PROPERTY IS VACANT 22	12/02/13	VACANT	

Total Enforcements: 1

32 E SHARP ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0337	TENANCY TRANSFER	CHANGE IN TENANCY HMC 6-63 USE & OCCUPANCY PERMIT - IT SHALL BE UNLAWFUL FOR ANY PERSON TO ENTER INTO THE USE OR OCCUPANCY OF ANY STRUCTURE OR PORTION THEREOF OR TO PERMIT OR SUFFER THE USE AND OCCUPANCY OF ANY STRUCTURE OR PORTION THEREOF LOCATED IN THE CITY WITHOUT HAVING FIRST OBTAINED A VALID USE AND OCCUPANCY PERMIT FROM THE CITY. ALSO, COMPLAINT ABOUT RAW SEWAGE LEAKING ONTO THE GROUND FROM TH CLEANOUT. REFERRED TO BPU. VERIFIED CORRECTED.	09/09/13	OPEN	

Total Enforcements: 1

36 E SHARP ST

Enforcement List by Address

06/03/14

E2014-0098 USE AND OCCUPANCY EXPIRED U&O PERMIT EXPIRED 03/13/14 OPEN
 FASCIA AND SOFFIT DAMAGED, MANNING ST
 SIDE FROM PRIOR COMPLAINT 2012
 WAS A 2 UNIT AND TURNED INTO 1 UNIT

Total Enforcements: 1

38 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0183	USE AND OCCUPANCY EXPIRED	4-28-14 OCCUPANT MAIL RETURNED VACANT	04/22/14	OPEN	

Total Enforcements: 1

70 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0240	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED. NEW OWNER 4/28/14. NOT OWNER OCCUPIED.	05/27/14	OPEN	

Total Enforcements: 1

72 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0244	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - LAST INSPECTION 2010, NOT COMPLIANT	05/27/14	OPEN	

Total Enforcements: 1

129 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0020	USE AND OCCUPANCY EXPIRED	RENTAL PROPERTY - NO USE & OCCUPANCY PERMIT ON FILE	01/15/14	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

135 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0197	SNOW REMOVAL		05/16/12	S/W ordered cleared	

Total Enforcements: 1

232 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0021	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFERRED, PRINCIPAL RESIDENCE EXEMPTION AFFIDAVIT FILED. NO USE AND OCCUPANCY PERMIT ON FILE.	01/15/14	SCHEDULED	

Total Enforcements: 1

34 W SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0450	SNOW REMOVAL	SHOULDER AND SIDEWALKS - VACANT STRUCTURE 2-28-14 SIDEWALKS PASSABLE - PATH SHOVELED AND SALT DOWN	12/18/13	HOLD FORECLOSURE	

Total Enforcements: 1

74 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0189	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13	OPEN	

Total Enforcements: 1

76 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0416	REAL ESTATE TRANSFER		08/01/12	On Hold - Vacant	
E2012-0487	Vacant Structure		11/21/12	VACANT	

Enforcement List by Address

06/03/14

Total Enforcements: 2

80 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0128	USE AND OCCUPANCY EXPIRED	EXPIRED USE & OCCUPANCY (TENANCY TRANSFER) ADDITIONAL COMPLAINTS - RUBBISH AND DEBRIS (RESOLVED) OCTOBER - 2 SEPARATE COMPLAINTS RECEIVED FOR EXTERIOR PROPERTY CONDITION (SANITATION ISSUES) 12-31-13 "OCCUPANT" MAIL RETURNED VACANT 1-17-14 OWNER CONTACTED OFFICE - CONFIRMED THAT PROPERTY IS VACANT AND HE HAS ABANDONED. WAITING ON BANK TO FILE PAPERWORK TO EXPEDITE POSSESSION. ADVISED HIM THAT HE WOULD STILL BE HELD RESPONSIBLE FOR EXTERIOR PROPERTY MAINTENANCE VIOLATIONS, SIDEWALK CLEARING, ETC... UNTIL BANK FILES AFFIDAVIT OF ABANDONMENT OR REDEMPTION PERIOD FROM SHERIFF'S DEED EXPIRES. NOW VACANT STRUCTURE, UNMAINTAINED (FORECLOSURED) 4/24/14 POSTED NOTICE OF OUTSTANDING VIOLATIONS	05/09/13	HOLD FORECLOSURE	

Total Enforcements: 1

86 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0239	Vacant Structure		03/01/11	VACANT	

Total Enforcements: 1

161 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0583	CITIZEN COMPLAINT	yard sale infraction?	08/31/09	Notice posted	

Enforcement List by Address

06/03/14

Total Enforcements: 1

240 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0040	Vacant Structure		01/20/12	VACANT	

Total Enforcements: 1

246 E SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0427	CITIZEN COMPLAINT	Possible small vehicle repair shop in operation	07/01/09	OPEN	

Total Enforcements: 1

13 W SOUTH ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0449	SNOW REMOVAL		09/11/12		

Total Enforcements: 1

181 SPRING ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0103	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - NEW OCCUPANT PER BPU	03/13/14	OPEN	
		3/26/2014 PER JOHN HEDSTROM PROPERTY HAS BEEN SOLD ON UNRECORDED LAND CONTRACT TO TIFFANY ANN PAUKEN (OCCUPANT)			

Total Enforcements: 1

4 SPRING ST

Enforcement List by Address

06/03/14

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2013-0038	CITIZEN COMPLAINT	damaged siding, trim, etc	02/28/13		
Total Enforcements: 1					
4 SPRING ST					
<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E09-0544	Vacant Structure		07/30/09	VACANT	
Total Enforcements: 1					
99 SPRING ST					
<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2012-0435	REAL ESTATE TRANSFER		08/27/12		
Total Enforcements: 1					
165 SPRING ST					
<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2012-0245	Fire Damage	Structure damaged in fire	05/31/12		
Total Enforcements: 1					
280 SPRING ST					
<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date Filed</u>	<u>Status</u>	<u>Date Closed</u>
E2012-0502	CITIZEN COMPLAINT		12/04/12	REFERRED TO COUNTY INSPECTION	

Enforcement List by Address

06/03/14

NEW OWNERS NAME GIVEN TO DAVE - NO COPY OF LAND CONTRACT IN FILE. SENT LETTER REQUESTING COPY & FILING OF PROPERTY TRANSFER AFFIDAVIT 9/27/2013. KAT

TICKETS ISSUED BY DAVID TURNBULL:
2/28/2013 - #1031 CRAIG STEVENS - INDICATED AT INFORMAL CONFERENCE THAT PROPERTY HAD BEEN SOLD ON LAND CONTRACT, CITATION DISMISSED
6/28/2013 - #1036 CHRIS MCCLURE
11/14/2013 - COPY OF LAND CONTRACT SUBMITTED TO ASSESSOR. REFUSED TO SCHEDULE U&O INSPECTION (REMODEL IN PROGRESS). REFERRED TO COUNTY INSPECTION OFFICE. HAS PERMIT FOR ROOF & WINDOWS, BUT NOT INTERIOR REMODEL.
12/30/13 - FD INSPECTOR DID NOT COMPLETE INSPECTION. FOUND MULTIPLE SAFETY VIOLATIONS IN FRONT ROOM. OCCUPANTS INDICATED THEY WERE IN THE PROCESS OF PACKING TO VACATE PREMISES.
1/14/14 - COUNTY INSPECTION LETTER TO OWNER ADVISING TO PULL PERMITS FOR BATHROOM ALTERATIONS
1/20/14 - LEFT MSG FOR CHRIS TO CALL AND SCHEDULE A RE-INSPECTION
3/7/14 - STILL OCCUPIED -POSSIBLE INOPERABLE VEHICLE IN FRONT OF GARAGE (BURIED IN SNOW), 2 GOOD CARS IN DRIVE, DEBRIS ON PORCH, BACK PORCH APPEARS TO BE FULL OF JUNK, TARP ON FRONT OF GARAGE RIPPED (NOT SECURE)
4/23/2014 - ADDITIONAL COMPLAINTS REGARDING GENERAL MAINTENANCE OF PROPERTY (NO SPECIFIC VIOLATIONS CITED). PER CRAIG STEVENS (LAND CONTRACT SELLER). FORECLOSURE/EVICTION OF MCCLURE FAMILY IN PROGRESS.
5-13-14 TALKED WITH BPU AND HAS SEWER THROUGH THEM. IS GOING TO HAVE CHECK THE STREET. WILL LET US KNOW IF HOME OWNERS RESPONSIBILITY.
5-13-14 EMAIL FROM CRAIG STEVENS - THE MCCLURES HAVE ACKNOWLEDGED RECEIPT OF THE FORFEITURE NOTICE, AND HAVE AGREED TO MOVE OUT OF THE HOUSE AND ADDRESS ISSUES BEFORE JUNE 30 (THEY ACTUALLY SET THE DATE).

Total Enforcements: 1

Enforcement List by Address

06/03/14

11 E ST JOE ST & 11¹/₂

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0428	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY EXPIRED/NO PERMIT ON FILE. NOT OWNER OCCUPIED.	11/27/13	OPEN	

Total Enforcements: 1

15 E ST JOE ST & 15 1/2

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0079	USE AND OCCUPANCY EXPIRED		03/11/14	OPEN	

Total Enforcements: 1

34 W ST JOE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0078	USE AND OCCUPANCY EXPIRED		03/11/14	OPEN	

Total Enforcements: 1

66 W ST JOE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0110	USE AND OCCUPANCY EXPIRED		03/13/14	OPEN	

Total Enforcements: 1

82 W ST JOE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0143	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - NOT OWNER OCCUPIED 2 UNITS	03/24/14	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

22 W ST JOE ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2010-0650 Vacant Structure windows broken out in first floor. 09/07/10 VACANT

Total Enforcements: 1

154 W ST JOE ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2012-0187 Vacant Structure 05/10/12 VACANT

Total Enforcements: 1

9 STATE ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2014-0043 VACANT STRUCTURE UNMAINTA SIDEWALKS NOT CLEARED 02/10/14 VACANT
 3-24-14 OWNER ADVISED SHE IS LOSING TO FORCLOSURE AND JIM DREWS HAS THE PROPERTY LISTED FOR SALE.
 4/18/14 SHERIFF'S SALE ON MORTGAGE FORECLOSURE. LAST DATE TO REDEEM 10/18/14.
 5/2/14 GARBAGE HAS BEEN CLEARED. SNOW HAS MELTED. SOME EXTERIOR MAINTENANCE CONCERNS. CONTINUE TO MONITOR FOR BRIGHT.

Total Enforcements: 1

15 STATE ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2014-0207 CITIZEN COMPLAINT 5-8-14 PEELING PAINT 05/08/14 OPEN

Total Enforcements: 1

23 STATE ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0210	CITIZEN COMPLAINT	PEELING PAINT	05/12/14	OPEN	

Total Enforcements: 1

37 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0013	USE AND OCCUPANCY EXPIRED	NEW OWNER - PRINDICPAL RESIDENCE EXEMPTION AFFIDAVIT FILED - NO USE AND OCCUPANCY PERMIT ON FILE INITIAL INSPECTION SCHEDULED FOR 2/17/14, CANCELLED DUE TO PLUMBING ISSUES	01/14/14	SCHEDULED	

Total Enforcements: 1

55 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0140	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE, NOT OWNER OCCUPIED 4-29-14 OWNER CALLED AND CANCELED INSPECTION TO DEATH IN THE FAMILY AND WILL CALL BACK WHEN HE GETS BACK IN TOWN TO RE-SCHEDULE. 5-8-14 - COMPLAINT OF PEELING PAINT	03/24/14	OPEN	

Total Enforcements: 1

65 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0217	OBSERVED VIOLATION	5/14/14 - OBSERVED PEELING PAINT ON VARIOUS SURFACES AND INDOOR FURNITURE IN THE YARD.	05/14/14		

Total Enforcements: 1

71 STATE ST

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0221	OBSERVED VIOLATION	5/14/14 - OBSERVED PEELING PAINT 5-29-14 SUBMITTED TIMELINE - SEE FILE - ASKED UNTIL END OF JULY	05/15/14		

Total Enforcements: 1

123 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0209	CITIZEN COMPLAINT	PEELING PAINT AND MISC BUILDING MATERIAL 5/27/14 MR. MOON CONTACTED CITY MANAGER - PLANS TO REPAINT PELEED SIDING OVER THE SUMMER. SHE ADVISED HIM TO CONTACT OUR OFFICE TO GET EXTENSION.	05/12/14	OPEN	

Total Enforcements: 1

126 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0162	CITIZEN COMPLAINT	THERE ARE PILES OF DEBRIS ON THE SIDE OF THE BUILDING, A OLD BOAT AND OLD PALETS BEHIND IT AS WELL. MOST IF IT IS CLEARLY VISIBLE FROM MARION. 4/10/14 VISUAL CONFIRMATION OF VIOLATION CURSORY INSPECTION WHILE DRIVING BY ON STATE STREET. NEED PICTURES AND DETAILED INSPECTION REPORT FOR FOLLOW-UP. 5/22/14 JEFF FAZEKAS APPLIED FOR A PERMIT TO INSTALL AN OBSCURING FENCE. 5/30/14 CONTACTED MR. FAZEKAS TO CONFIRM FENCE WAS BUILT. 4/17/14 SEE INCIDENT REPORT - UNABLE TO TAKE PICTURES OR FOLLOW UP IN PERSON DUE TO ALTERCATION WITH MAN CLAIMING TO BE THE OWNER OF THIS PROPERTY.	04/08/14	OPEN	

Enforcement List by Address

06/03/14

Total Enforcements: 1

175 STATE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0208	CITIZEN COMPLAINT	PEELING PAINT	05/12/14	OPEN	

Total Enforcements: 1

312 SUMMIT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0151	CITIZEN COMPLAINT	<p>LIENS ON JULIEN 20-74(D) - LAI LERAINS, MAINTENANCE OF PROPERTY BY OWNER OR OCCUPANT. NO OWNER OR OCCUPANT OF ANY PROPERTY SHALL DEPOSIT, PLACE, ALLOW, SUFFER, OR OTHERWISE PERMIT THE STORAGE OR ACCUMULATION OF SOLID WASTE OR YARD RUBBISH UPON SUCH PREMISES, UNLESS STORED OR ACCUMULATED IN AS PERMITTED BY THIS ARTICLE</p>	03/28/14	OPEN	

Total Enforcements: 1

420 SUMMIT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0325	CITIZEN COMPLAINT	material at curb before allowed collection date	08/28/13		

Total Enforcements: 1

29 SUPERIOR ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0026	USE AND OCCUPANCY EXPIRED		01/27/14	VACANT	

Enforcement List by Address

06/03/14

OCCUPANCY PERMIT ON FILE
 2/25/14 PARTIAL ROOF COLLAPSE - WILL PULL
 PERMITS FOR REPAIR AS REQUIRED
 5/13/14 ROOF REPAIR IN PROGRESS - NO
 PERMITS PER COUNTY INSPECTION. SENT
 LETTER COPIED TO BUILDING INSPECTOR.

Total Enforcements: 1

101 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0397	USE AND OCCUPANCY EXPIRED	EXPIRED USE & OCCUPANCY PERMIT	11/01/13	OPEN	

Total Enforcements: 1

104 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0018	CITIZEN COMPLAINT	BIKES IN FRONT YARD THAT APPEAR TO BE FOR SALE.	01/15/14		

Total Enforcements: 1

158 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0448	SNOW REMOVAL	SIDEWALK NOT CLEARED - VACANT STRUCTURE	12/20/13	OPEN	

Total Enforcements: 1

160 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0047	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFER 3-18-14 SUBMITTED FOR AN EXTENSION	02/17/14	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

198 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0056	USE AND OCCUPANCY EXPIRED	NOT OWNER OCCUPIED. USE & OCCUPANCY PERMIT EXPIRED OR NO PERMIT ON FILE.	02/27/14	OPEN	

Total Enforcements: 1

42 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0331	SNOW REMOVAL	broken windows	08/30/13	OPEN	

Total Enforcements: 1

62 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0307	SNOW REMOVAL		05/16/11	180 day	

Total Enforcements: 1

64 UNION ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2010-0726	REAL ESTATE TRANSFER		12/08/10	CLOSED/ NEW OPENED	
E2010-0727	Vacant Structure		12/08/10	VACANT	

Total Enforcements: 2

66 UNION ST & 68

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0155	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13		

Total Enforcements: 1

Enforcement List by Address

06/03/14

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0017	SNOW REMOVAL	SIDEWALK NOT CLEARED VACANT RESIDENCE 2-13-14 CHECKED AND NOT CLEARED	01/14/14	VACANT	
Total Enforcements: 1					

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
28 VINE ST					
E2014-0086	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED 8/3/2007 TWO UNITS - BUT USING THE TWO BEDROOMS SAME OCCUPANTS ARE NOW OCCUPYING THE WHOLE HOUSE - BOTH UNITS NOT RENTED OUT TO TWO DIFFERENT FAMILIES	03/11/14	OPEN	
Total Enforcements: 1					

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
12 VINE ST					
E2010-0665	Vacant Structure		09/23/10	VACANT	
Total Enforcements: 1					

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
13 VINE ST					
E2012-0457	CITIZEN COMPLAINT	excessive material in yard, etc	10/08/12		
Total Enforcements: 1					

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
24 VINE ST					
E09-0132	Garbage/Solid Waste	HMC Sec 6-62 (6) Outdoor furniture is to be weather resistant Sofa on porch	04/29/09	OPEN	

Enforcement List by Address

06/03/14

Total Enforcements: 1

29 VINE ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0399	Garbage/Solid Waste		07/20/12	Notice posted	
Total Enforcements: 1					

9 WALDRON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0369	USE AND OCCUPANCY EXPIRED	ABANDONED PROPERTY - CHECK FOR COMPLIANCE WITH SEC 301.3 VACANT STRUCTURES AND LAND. ALL VACANT STRUCTURES AND PREMISES THEREOF OR VACANT LAND SHALL BE MAINTAINED IN A CLEAN, SAFE, SECURE AND SANITARY CONDITION AS PROVIDED HEREIN SO AS NOT TO CAUSE A BLIGHTING PROBLEM OR ADVERSELY AFFECT THE PUBLIC HEALTH OR SAFETY. 10/31/2013 USE & OCCUPANCY INSPECTION FOR PROSPECTIVE BUYER - MULTIPLE VIOLATIONS FOUND 1/20/2014 FORECLOSING FINANCIAL INSTITUTION NOTIFIED OF REQUIREMENT FOR ACCEPTANCE OF RESPONSIBILITY BY BUYER 3/5/2014 COPY OF NOTICE OF VIOLATIONS POSTED INSIDE FRONT PORCH 3/5/14 COPY OF LETTER SENT TO REALTOR - MARK RICE, HOWARD HANNA REAL ESTATE SERVICES, 1884 W STADIUM BLVD, ANN ARBOR, MI 48103.	10/07/13	HOLD FORECLOSURE	
Total Enforcements: 1					

Total Enforcements: 1

36 WALDRON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0094	USE AND OCCUPANCY EXPIRED		03/12/14	OPEN	

Enforcement List by Address

06/03/14

ON RECORD 2009, PARTIALLY COMPLIED

Total Enforcements: 1

38 WALDRON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0117	OBSERVED VIOLATION	DEFACEMENT OF PROPERTY (GRAFFITI) 3-24-14 SIDEWALK CLEARED AND GRAFFITI GONE	03/18/14	OPEN	

Total Enforcements: 1

42 WALDRON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E08-0261	SIGN VIOLATION	Banner sign placed without permit	10/03/08	Officer dispatched	

Total Enforcements: 1

56 WALDRON ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0305	USE AND OCCUPANCY EXPIRED	possible bedbug infestation	08/09/13	VACANT	

Total Enforcements: 1

280 WATERWORKS DR

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0549	Vacant Structure		07/30/09	VACANT	

Total Enforcements: 1

33 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
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Enforcement List by Address

06/03/14

E2014-0068 USE AND OCCUPANCY EXPIRED 3-10-14 BEDBUGS IN UPSTAIRS APT 1ST ONE ON 03/10/14 OPEN

RIGHT
3-25-14 OWNER BROUGHT IN PAPERWORK
FROM TERMINIX (SEE ATTACHED)

Total Enforcements: 1

35 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0220	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED. NEW OWNER 10/30/2012. APPEARS OCCUPIED AS OF 5/13/2014. MULTI-UNIT? - NO	05/15/14	OPEN	

Total Enforcements: 1

52 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0153	USE AND OCCUPANCY EXPIRED		03/31/14	OPEN	

Total Enforcements: 1

58 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0399	FIRE DAMAGE/UNSAFE STRUCT		11/01/13	CONDEMNED	

Enforcement List by Address

06/03/14

11/30/2011 POSTED UNSAFE (DRUG LAB) BY COMMUNITY HEALTH.
 2/7/2013 POSTED UNSAFE DUE TO FIRE DAMAGE BY COUNTY INSPECTION DEPARTMENT.
 10/18/2013 PICTURES ONLY. NO REPAIRS MADE TO DATE.
 12/5/13 LETTER ISSUED REQUIRING ACTION BY 12/19/13 TO PULL DEMOLITION PERMIT OR SUBMIT PLAN TO CORRECT.
 12/20/13 NO RESPONSE TO 12/5/13 LETTER. CIVIL INFRACTION CITATION #1060 ISSUED.
 12/18/13 POLICE DEPARTMENT NOTICE - SIDEWALKS NOT CLEARED
 1/9/2014 CIVIL INFRACTION CITATION RETURNED UNCLAIMED. RE-SENT REGULAR MAIL, PROPERTY POSTED
 1/14/14 FROM MARTIN TAYLOR, COUNTY BUILDING INSPECTOR - "THIS PROPERTY HAS BEEN POSTED BY OUR OFFICE AND ALL DEADLINE FOR ACTION HAVE BEEN IGNORED. YOU HAVE TICKETED THE STRUCTURE AND BOTH OUR FILES KEEP GROWING. RECOMMEND THIS MATTER BE REFERRED TO THE CITY ATTORNEY FOR ACTION TO ORDER DEMOLITION.
 3/20/14 FORMAL HEARING - ADMITTED GUILT - SENTENCING SET FOR 6/23/2014 1:30 PM - MUST SHOW SIGNIFICANT PROGRESS
 5/27/14 ADDITIONAL COMPLAINTS FROM NEIGHBOR - TALL GRASS & WEEDS, GENERAL DISREPAIR
 5-28-14 TALKED WITH MARVIN AND HE ADVISED SOMEONE IS MOWING IN THE NEXT DAY OR TWO.

Total Enforcements: 1

84 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0108	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY EXPIRED - INFLU TENANT	03/13/14	OPEN	

Total Enforcements: 1

171 N WEST ST

Enforcement List by Address

06/03/14

CASE # Category Complaint Details Date Filed Status

E2014-0065 USE AND OCCUPANCY EXPIRED

03/05/14

Date Closed

Total Enforcements: 1

173 N WEST ST

CASE # Category Complaint Details Date Filed Status

E2014-0066 USE AND OCCUPANCY EXPIRED STUDENT HOUSING RENTAL -

03/05/14 OPEN

Date Closed

Total Enforcements: 1

183 N WEST ST

CASE # Category Complaint Details Date Filed Status

E2013-0350 REAL ESTATE TRANSFER Scheduled by Scott Phillips, Coldwell Banker (517)320-7917

09/17/13 OPEN

Date Closed

Total Enforcements: 1

224 N WEST ST

CASE # Category Complaint Details Date Filed Status

E2014-0169 OBSERVED VIOLATION
304.2- TRIM: PROTECTIVE TREATMENT: PAINT/REPAIR/REPLACE AS NEEDED
304.2-FASCIA AND SOFFIT: PROTECTIVE TREATMENT: PAINT/REPAIR/REPLACE AS NEEDED
304.8 - DECORATIVE FEATURES: REPAIR/REPLACE

04/11/14

Date Closed

Total Enforcements: 1

229 N WEST ST

CASE # Category Complaint Details Date Filed Status

E2014-0160 USE AND OCCUPANCY EXPIRED

04/03/14 OPEN

Date Closed

Enforcement List by Address

06/03/14

PERMIT ON FILE - NEW OWNER MARCH 21, 2014
WILL SCHEDULE RE-INSPECTION WHEN
STUDENTS MOVE OUT

Total Enforcements: 1

240 N WEST ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2013-0422	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFERRED - NO U&O ON FILE ONE UNIT 3-18-14 - FIVE OCCUPANTS (STUDENTS) JOHNSTON, ROBERT - PROPERTY MANAGER - (517) 287 5038 4-7-14 ROBERT WAS IN AND SUBMITTED A REQUEST FOR EXTENSION UNTIL 4-7-14 FOR GUARDS AND RAILS. HE SAID COLLEGE WILL TAKE CARE OF EXTERIOR REPAIRS WEATHER PERMITTING. (COPY IN FILE) HE ADVISED THE SMOKE DETECTORS TAKEN CARE OF AND CAP ON WATER HEATER. WILL SCHEDULE RE-INSPECTION WHEN STUDENTS MOVE OUT	11/25/13	OPEN	

Total Enforcements: 1

244 N WEST ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2013-0423	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFERRED - NO U&O ON FILE ONE UNIT MANAGED BY PREVIOUS OWNER - SAME OCCUPANTS FIVE OCCUPANTS 4-7-14 ROBERT WAS IN AND SUBMITTED A REQUEST FOR EXTENSION UNTIL 5-7-14 FOR GUARDS AND RAILS. HE SAID COLLEGE WILL TAKE CARE OF EXTERIOR REPAIRS WEATHER PERMITTING. (COPY IN FILE) HE ADVISED THE SMOKE DETECTORS TAKEN CARE OF AND CAP ON WATER HEATER. WILL SCHEDULE RE-INSPECTION WHEN STUDENTS MOVE OUT	11/25/13	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

246 N WEST ST

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2013-0424	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFERRED - NO U&O ON FILE 3-18-14. FIVE STUDENTS LIVING IN HOME (ONE UNIT) 4-7-14 ROBERT WAS IN AND SUBMITTED A REQUEST FOR EXTENSION UNTIL 5-7-14 FOR GUARDS AND RAILS. HE SAID COLLEGE WILL TAKE CARE OF EXTERIOR REPAIRS WEATHER PERMITTING. (COPY IN FILE) HE ADVISED THE SMOKE DETECTORS TAKEN CARE OF AND CAP ON WATER HEATER. WILL SCHEDULE RE-INSPECTION WHEN STUDENTS MOVE OUT	11/25/13	OPEN

Total Enforcements: 1

338 N WEST ST

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2013-0449	SNOW REMOVAL	SIDEWALKS NOT CLEARED OF SNOW	12/20/13	OPEN

Total Enforcements: 1

353 N WEST ST

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2013-0361	REAL ESTATE TRANSFER	USE & OCCUPANCY INSPECTION EXPIRED (PROPERTY TRANSFER)	09/30/13	OPEN

Total Enforcements: 1

364 N WEST ST

Date Closed

CASE #	Category	Complaint Details	Date Filed	Status
E2014-0233	OBSERVED VIOLATION	5/21/2014 - OBSERVED VACANT PROPERTY IN NEED OF MAINTENANCE	05/22/14	

Total Enforcements: 1

Enforcement List by Address

06/03/14

372 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0180	USE AND OCCUPANCY EXPIRED		04/22/14	OPEN	

Total Enforcements: 1

427 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0214	CITIZEN COMPLAINT	PEELING PAINT	05/12/14	OPEN	

Total Enforcements: 1

42 S WEST ST UNITS 1-4

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0238	CITIZEN COMPLAINT	PER OCCUPANT - UPSTAIRS APT MAIN DRAIN PIPES LEAKING IN WALL. PATCHED, BUT STILL LEAKING CAUSING MOLD & BUGS. FIRE ALARM IS BROKEN (6 MOS). TURNED OFF FURNACE - HEATING WITH GAS OVEN. POWER - BREAKERS OVERLOADED. NO COMMON HALLWAY LIGHTS. 4 UNIT APARTMENT. BEDBUGS IN UPSTAIRS APARTMENT. NO USE & OCCUPANCY PERMIT (LAST INSPECTION 2006). 5-27-14 OWNER STOPPED IN AND SAID 3 OF THE UNITS WILL BE VACANT IN THE NEXT MONTH. HE WILL SCHEDULE INSPECTIONS BY JULY 1, 2014. (TIMELINE IN FILE)	05/23/14	OPEN	

Total Enforcements: 1

118 S WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0049	USE AND OCCUPANCY EXPIRED	PROPERTY TRANSFER 1/15/2014. NO USE & OCCUPANCY PERMIT ON FILE.	02/17/14	VACANT	

Enforcement List by Address

06/03/14

Total Enforcements: 1

60 N WEST ST

<u>CASE #</u>	<u>Category</u>	<u>Complaint Details</u>	<u>Date filed</u>	<u>Status</u>	<u>Date Closed</u>
E2012-0286	USE AND OCCUPANCY EXPIRED		06/21/12	CONDEMNIED	

Enforcement List by Address

06/03/14

NEVER CORRECTED. MULTIPLE COMPLAINTS.
04/30/2013 - TRASH IN REAR YARD
12/3/13 CIC #1056 ISSUED BY CODE OFFICIAL
FOR FAILURE TO RESPOND TO NOTICE OF
VIOLATION - FORMAL HEARING REQUESTED
BY OWNER
12/3/2013 POLICE COMPLAINT - UNSANITARY
CONDITIONS, UNSAFE STRUCTURE, ROACH
INFESTATION
12/20/13 CIC #1056 ISSUED - FAILURE TO
RESPOND TO NOTICE
1/14/2014 UNIT #2 - ADDITIONAL COMPLAINTS
- EXCESSIVE ELECTRICAL USAGE, BIRDS IN
BEDROOM, ROACHES, OVEN DOES NOT
WORK, SOME LIGHTS DON'T WORK, ETC...
1/16/14 SEE LETTER FROM MARTIN TAYLOR
3/7/14 COMPLAINT OF AN OVERFLOWING
DUMPSTER THAT'S BEEN THERE FOR AT
LEAST TWO WEEKS.
3/12/14 GARBAGE CART STILL AT ROAD, HAS
FALLEN OVER AND CONTENTS SPILLED INTO
RIGHT OF WAY. ALL TEMPORARY
CERTIFICATES OF OCCUPANCY PREVIOUSLY
ISSUED HAVE BEEN REVOKED. BUILDING
HAS BEEN POSTED BY COUNTY BUILDING
INSPECTOR AS UNSAFE/CONDEMNED.
3/19/14 INSPECTION FOR NEW OCCUPANCY
SCHEDULED FOR 3/26/14
3/20/14 FORMAL HEARING - ADMITTED GUILT
- SENTENCING SET FOR 6/23/2014 1:30 PM -
MUST SHOW SIGNIFICANT PROGRESS
3/20/14 FIRE CALL TO UNIT #2 - PER MARK
HAWKINS ROACHES EVERYWHERE, NOT SAFE
FOR HABITATION.(SEE LETTER) PER MARTIN
TAYLOR ALL OCCUPANTS SHOULD BE
VACATING BASED ON HIS ORDER.
3-26-14 LEFT MSG AT 2P.M. WASNT GOING TO
MAKE THE 3 P.M. INSPECTION
SEE LETTER IN FILE FROM MARTY TAYLOR -
RESCHEDULED
4-3-14 CALLED AND REMINDED MARVIN OF
INSPECTION. HE CALLED BACK AND ASKED
TO RE-SCHEDULE TO APRIL 10TH AT 2 P.M.
4-9-14 CALLED AND REMINDED MARVIN OF
INSPECTION ON 4-10-14. HE CALLED BACK ON
4-10-14 AND CANCELED AS HE SAID THE BUG
GUY WAS SUPPOSE TO BE THERE AT THAT
TIME. HE RE-SCHEDULED TO 4-15-14 AT 3 P.M.
HE WAS ADVISED NO ONE IS TO MOVE IN
UNTIL IT IS INSPECTED AND PLEASE NO
MORE CANCELLATIONS.
4-15-14 STEVE INSPECTED UNITS 1 AND 2 AND

Enforcement List by Address

06/03/14

STATED NOT FIT FOR RENTAL. WAS UNABLE TO INSPECT THE REST DUE TO CALLED OUT FOR MEDICAL.

5-2-14 MARVIN IS CLAIMING HE NEVER RECEIVED ANYTHING FROM COUNTY SAYING THAT IT WAS POSTED. HE ASKED IF THEY COULD STAY OVER THE WEEKEND AND YES, WAS ADVISED TO TALK WITH MARTY ON MONDAY.

5-14-14 PD MADE CONTACT WITH OCCUPANT OF APARTMENT 3 - HE CLAIMED HE WAS NOT AWARE THAT BUILDING WAS NOT TO BE OCCUPIED.

5-14-14 PER POLICE DEPARTMENT APARTMENT 3 IS STILL OCCUPIED. MARVIN'S NEXT COURT DATE IS JUNE 23.

5-15-14 KIM POSTED BUILDING WITH YELLOW NOTICE AND ALL INTERIOR DOORS WITH A LETTER.

5-16-14 OCCUPANTS OF 60 N WEST STOPPED IN OFFICE AND ASKED HOW LONG THEY HAD TO MOVE OUT AND WERE TOLD IMMEDIATELY. THE PROPERTY WAS CONDEMNED AND NOT SAFE OR SANITARY TO LIVE IN.

5-20-14 SPOKE WITH MARVIN - HAS BEEN TREATED FOR ROACHES. ALL TENANTS ARE OUT. ADVISED HIM TO CLEAN UP COMMON AREAS FIRST, THEN WE CAN START CLEARING APARTMENTS FOR OCCUPANCY IF PASS INSPECTION. KAT

5-27-14 ADDITIONAL COMPLAINTS - TALL GRASS & WEEDS, GARBAGE CONTAINER BY ROAD

5-28-14 TALKED WITH MARVIN AND HE ADVISED SOMEONE IS MOVING IN THE NEXT DAY OR TWO AND WILL MOVE THE GRILLS AND GARBAGE CAN.

ALSO ASKED MARVIN TO SEND US SOMETHING WITH DATES AND SIGNATURES FROM TERMINIX. HE WILL HAVE HIS WIFE FAX IT TODAY.

5-29-14 NEIGHBOR STOPPED IN WANTED TO FILE A COMPLAINT ON BEHALF OF HIMSELF AND THE NEIGHBORS - SAID THEY WANT THEIR VOICES TO BE HEARD. THEY ARE TREF OF LOOKING AT IT

Total Enforcements: 1

Enforcement List by Address

06/03/14

74 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0296	Vacant Structure		06/26/12	VACANT	

Total Enforcements: 1

82 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0216	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/22/13		

Total Enforcements: 1

88 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0217	CITIZEN COMPLAINT	PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM	05/22/13		

Total Enforcements: 1

155 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2010-0200	CITIZEN COMPLAINT	Sewage leak in yard. Sewage smell in house, possible past clean up of interior sewage not sufficient	03/26/10	Violation mailed	

Total Enforcements: 1

160 N WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0717	ZONING VIOLATION	Fences erected in right of way, Fences erected without permit	12/29/09	Violation mailed	

Total Enforcements: 1

Enforcement List by Address

06/03/14

177 N WEST ST

CASE # Category
 E2011-0340 Vacant Structure

Complaint Details

Date Filed Status
 05/24/11 VACANT

Date Closed

Total Enforcements: 1

220 N WEST ST

CASE # Category
 E2010-0421 TENANCY TRANSFER

Complaint Details

Date Filed Status
 06/07/10 30 day

Date Closed

Total Enforcements: 1

224 N WEST ST

CASE # Category
 E2011-0392 TALL GRASS & WEEDS

Complaint Details

Date Filed Status
 06/02/11 Ordered Mowed-City

Date Closed

Total Enforcements: 1

230 N WEST ST

CASE # Category
 E2012-0725 REAL ESTATE TRANSFER

Complaint Details

REP/IK DEED TO SSR 2012 - INSPECTED, MULTIPLE VIOLATIONS, NOT BROUGHT INTO COMPLIANCE.
 SSR DEED TO HILLSDALE COLLEGE 2014

Date Filed Status
 01/05/12 On Hold - Vacant

Date Closed

2-20-14 PER SHEILA FROM HILLSDALE COLLEGE - THIS PROPERTY WAS RECENTLY TRANSFERRED TO THE COLLEGE AND IS VACANT AND WILL REMAIN VACANT

Total Enforcements: 1

239 N WEST ST

CASE # Category

Complaint Details

Date Filed Status

Date Closed

Enforcement List by Address

06/03/14

E2012-0265 Vacant Structure

06/13/12 VACANT

Total Enforcements: 1

243 N WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2010-0213 REAL ESTATE TRANSFER
 E2010-0567 Vacant Structure

04/07/10 On Hold - Vacant
 08/06/10 VACANT

Total Enforcements: 2

363 N WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E09-0702 CITIZEN COMPLAINT
 Apartment #3: No Heat

12/18/09 OPEN

Total Enforcements: 1

364 N WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2013-0340 TENANCY TRANSFER
 Change in tenancy - U&O required

09/12/13 OPEN

Total Enforcements: 1

8 S WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed
 E2013-0164 CITIZEN COMPLAINT
 E2013-0251 CITIZEN COMPLAINT
 Peeling exterior paint under city wide complaint system
 trash, etc in rear yard

05/20/13
 06/11/13

Total Enforcements: 2

12 S WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed

Enforcement List by Address

06/03/14

E2013-0301 ZONING VIOLATION Home Occupation/Commercial enterprise leaving equipment and wood chips in yard 08/06/13 OPEN

Total Enforcements: 1

20 S WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed
E2012-0066 SIGN VIOLATION sign in Right of Way 02/21/12

Total Enforcements: 1

29 S WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed
E2012-0023 Vacant Structure 01/16/12 VACANT

Total Enforcements: 1

43 S WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed
E2013-0163 CITIZEN COMPLAINT PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM 05/20/13 OPEN

Total Enforcements: 1

47 S WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed
E2011-0276 REAL ESTATE TRANSFER 04/19/11 On Hold - Vacant

Total Enforcements: 1

53 S WEST ST

CASE # Category Complaint Details Date Filed Status Date Closed

Enforcement List by Address

06/03/14

E2013-0161 CITIZEN COMPLAINT Peeling exterior paint under city wide complaint system 05/20/13

Total Enforcements: 1

125 S WEST ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0478	REAL ESTATE TRANSFER		11/01/12		
E2012-0481	Vacant Structure		11/07/12	VACANT	

Total Enforcements: 2

17 WESTWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0165	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED OR NO PERMIT ON FILE. NEW OWNER 2/14/2014. FILED FOR PRINCIPAL RESIDENCE EXEMPTION.	04/09/14	OPEN	

Total Enforcements: 1

18 WESTWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0175	VACANT STRUCTURE UNMAINTAINA	VACANT - PRE DENIED 2014 BASED ON 2013 ADDRESS CHANGE. APRIL 2014 TAX FORECLOSURE - CHECK FOR BLIGHT. 6-2-14 THE COUNTY HIRED SOMEONE TO MOW LAWN, IF NOT BEING TAKEN CARE OF CALL GARY.	04/21/14	VACANT	

Total Enforcements: 1

26 WESTWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0227	OBSERVED VIOLATION	OBSERVED VIOLATION - PEELING PAINT	05/19/14	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

78 WESTWOOD ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2014-0144	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - OWNER OCCUPIED	03/24/14	HOLD FORECLOSURE	
		5/15/14 NOTICE OF ABANDONMENT - USDA RURAL DEVELOPMENT POSTED			

Total Enforcements: 1

95 WESTWOOD ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2014-0164	USE AND OCCUPANCY EXPIRED	NO USE & OCCUPANCY PERMIT ON FILE - PROPERTY TRANSFERRED 3/24/14. NEW OWNER DID NOT CLAIM PRINCIPAL RESIDENCE	04/09/14	VACANT	
		4-11-14 VACANT RIGHT NOW UNTIL AT LEAST END OF MAY 2014. THEN WILL CONTACT THE OFFICE AND THEN WILL APPLY FOR PERMIT. 4-16-14 VACANT			

Total Enforcements: 1

174 WESTWOOD DR

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E09-0498	CITIZEN COMPLAINT	Noise Complaint, dogs barking incessantly, especially at night.	07/22/09	Violation mailed	

Total Enforcements: 1

15 WESTWOOD ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2013-0258	REAL ESTATE TRANSFER		06/19/13	On Hold - Vacant	
E2013-0300	Vacant Structure		07/31/13	VACANT	

Enforcement List by Address

06/03/14

Total Enforcements: 2

21 WESTWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0456	REAL ESTATE TRANSFER	5-5-14 OWNER CALLED AND SAID A MAIN BEAM BROKE AND WAITING TO GET REPAIRED AND WILL SUBMIT AN EXTENSION- 5-7-14 - I HAVE NOT FORGOTTEN ABOUT THE INSPECTION I HAD A MAIN BEAM BREAK AND AM AWAITING THE CLAIM PROCESS WITH INS COMPANY. I DO NOT WANT ANY REPAIRS DONE TO THE HOUSE UNTIL THE INS APPROVES CLAIM. ONCE I CONFIRM THIS WILL NOT HINDER THE CLAIM WE CAN PROCEED. AS OF NOW THE ONE PLUG THAT HAS TO BE INSTALLED IN THE ONE ROOM IS NOT BEING LIVED IN AND WILL NOT BE LIVED IN FOR A WHILE. IT WAS GOING TO BE A BEDROOM HOWEVER THE DAUGHTER IS GONE TO COLLEGE AND WILL NOT BE RETURNING FOR SUMMER BREAK. IT WILL BE UNTIL SUMMER 2015 BEFORE IT NEEDS TO BE IN USE IF SHE COMES HOME THEN. CALL ME AT THE OFFICE IF U HAVE QUESTIONS 5299421. CINDY NAEGELE. TEMP C OF C ISSUED GOOD TIL 11/12/2014	10/05/12	TEMP C OF C ISSUED	

Total Enforcements: 1

23 WESTWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E09-0551	Vacant Structure		07/30/09	VACANT	
E2011-0532	TALL GRASS & WEEDS		08/10/11	invoiced mowing	

Total Enforcements: 2

28 WESTWOOD ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0167	CITIZEN COMPLAINT		05/20/13	OPEN	

Enforcement List by Address

06/03/14

COMPLAINT SYSTEM

5/15/14 OCCUPIED, NO USE & OCCUPANCY PERMIT ON FILE. DUPEX.
6-2-14 OWNER STOPPED IN AND ASKED FOR AN EXTENSION UNTIL JULY 1ST, SEE FILE. THEN WILL SCHEDULE A U&O INSPECTION.

Total Enforcements: 1

29 WESTWOOD ST

CASE # Category
E2013-0225 CITIZEN COMPLAINT

Complaint Details Date Filed Status
PEELING EXTERIOR PAINT UNDER CITY WIDE COMPLAINT SYSTEM 05/22/13

5/15/14 OBSERVED VIOLATION - TALL GRASS. ALSO USE & OCCUPANCY PERMIT EXPIRED. LAST INSPECTION 2008, DID NOT PASS.

Date Closed

Total Enforcements: 1

49 WESTWOOD ST

CASE # Category
E2012-0073 REAL ESTATE TRANSFER

Complaint Details Date Filed Status
03/05/12 OPEN

Date Closed

Total Enforcements: 1

59 WESTWOOD ST

CASE # Category
E2012-0326 REAL ESTATE TRANSFER

Complaint Details Date Filed Status
4-25-14 APPEARS TO BE VACANT AND UNMAINTAINED - POLICE ADVISED ITS AN UNSAFE STRUCTURE 07/02/12

Date Closed

Total Enforcements: 1

65 WESTWOOD ST

CASE # Category

Complaint Details

Date Filed Status

Date Closed

Enforcement List by Address

06/03/14

Case #	Category	Date Filed	Status	Date Closed
E2012-0360	TENANCY TRANSFER	07/20/12	Civil Inf Citation Issued	
	USE & OCCUPANCY PERMIT EXPIRED			
	2 UNITS			
	10/21/2013 INFORMAL HEARING - ADMITTED GUILT, PAID FINE			
	3/14/14 - NEW COMPLAINT - BEDBUGS, ROACHES, GAP IN FRONT DOOR, CEILING IN FOYER FALLING IN			
	3/27/14 - CIC #1068 ISSUED - FAILURE TO COMPLY WITH NOTICE OF VIOLATION DATED 3/17/14			
	4/24/14 CERTIFIED MAILING OF CIC RETURNED UNCLAIMED, RE-SENT FIRST CLASS & STRUCTURE POSTED. ADDITIONAL VIOLATIONS OBSERVED.			
	5-15-14 REC'D LTR FROM SHIRK (SEE ATTACHED). HE GRANTED OWNER A 2 WK ADJOURNMENT OF ANY FURTHER COURT PROCEEDINGS.			
	5/20/14 MARVIN ADVISED HE WOULD FAX PROOF OF BEDBUG TREATMENT TODAY			
	5-28-14 TALKED WITH MARVIN AND ASKED HIM TO SEND US SOMETHING WITH DATES AND SIGNATURES FROM TERMINIX. HE WILL HAVE HIS WIFE FAX IT TODAY.			

Total Enforcements: 1

71 WESTWOOD ST

Case #	Category	Date Filed	Status	Date Closed
E09-0552	Vacant Structure	07/30/09	VACANT	

Total Enforcements: 1

78 WESTWOOD ST

Case #	Category	Date Filed	Status	Date Closed
E2013-0166	CITIZEN COMPLAINT	05/20/13	HOLD FORECLOSURE COMPLAINT SYSTEM.	
	5/15/14 POSTED ABANDONED BY USDA - RURAL DEVELOPMENT			

Total Enforcements: 1

Enforcement List by Address

06/03/14

98 WESTWOOD ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2011-0495	Vacant Structure		08/02/11	VACANT	

Total Enforcements: 1

101 WILLIAMS CT

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2014-0179	USE AND OCCUPANCY EXPIRED	MULTI- UNIT - 11 UNITS	04/22/14	OPEN	

Total Enforcements: 1

44 WILLOW ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2013-0386	USE AND OCCUPANCY	EXPIRED USE & OCCUPANCY PERMIT	10/30/13	OPEN	

Total Enforcements: 1

17 WILLOW ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2013-0108	CITIZEN COMPLAINT	trash accumulation in rear yard	04/24/13		

Total Enforcements: 1

39 WILLOW ST

CASE #	Category	Complaint Details	Date filed	Status	Date Closed
E2013-0192	CITIZEN COMPLAINT	Peeling exterior paint under city wide complaint system	05/20/13		

Total Enforcements: 1

Enforcement List by Address

06/03/14

39 WILLOW ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E08-0326	REAL ESTATE TRANSFER		12/29/08	On Hold - Vacant	

Total Enforcements: 1

48 WILLOW ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E08-0308	RESIDENTIAL INSP.		12/01/08	180 day	

Total Enforcements: 1

55 WILLOW ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2011-0596	REAL ESTATE TRANSFER		09/14/11	On Hold - Vacant	
E2011-0621	Vacant Structure		10/10/11	VACANT	

Total Enforcements: 2

396 N WOLCOTT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0181	USE AND OCCUPANCY EXPIRED		04/22/14	OPEN	

Total Enforcements: 1

50 S WOLCOTT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0349	CITIZEN COMPLAINT	BUILDING MATERIALS & DEBRIS SOUTH OF HOUSE @ 10 S WOLCOTT ST. TALL GRASS & WEEDS.	09/17/13	OPEN	

Total Enforcements: 1

Enforcement List by Address

06/03/14

86 S WOLCOTT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2014-0197	USE AND OCCUPANCY EXPIRED	USE & OCCUPANCY PERMIT EXPIRED - NEW OWNER 4/10/2014	04/25/14	OPEN	

Total Enforcements: 1

205 N WOLCOTT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0347	REAL ESTATE TRANSFER	PROPERTY TRANSFER 8/28/2013 - NO USE & OCCUPANCY PERMIT ON FILE. CLAIMING PRINCIPAL RESIDENCE EXEMPTION.	09/16/13	OPEN	

Total Enforcements: 1

223 N WOLCOTT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2012-0311	CITIZEN COMPLAINT		06/27/12	SCHEDULED	

Total Enforcements: 1

4 S WOLCOTT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0071	CITIZEN COMPLAINT		04/03/13	OPEN	

Enforcement List by Address

06/03/14

REQUESTED EXTENSION UNTIL OCTOBER 23, 2013. VOLUNTEER LABOR.

5/2/14 BARN BEHIND 10 S WOLCOTT WAS TORN DOWN OR COLLAPSED IN 2013. ALL MATERIALS STILL THERE. ADDITIONAL SOLID WASTE ON 3 SIDES OF 10 S WOLCOTT PROPERTY. NO CHANGE IN CONDITION AS OF THIS DATE. REQUESTED TIMELINE FOR COMPLETION.

5/30/14 STEVE SKIBA CALLED ON BEHALF OF FAITH COVENANT. THEY ARE PLANNING TO BRING IN A TRACTOR AND DUMPSTER TO SPEED UP THE CLEANUP WITHIN THE NEXT FEW WEEKS.

Total Enforcements: 1

10 S WOLCOTT ST

Case #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0063	CITIZEN COMPLAINT	PROPERTY IN DISREPAIR, EXCESSIVE MATERIAL ON EXTERIOR OF PROPERTY	03/28/13	OPEN	
		9/25/2013 - BUILDING INSPECTOR POSTED AS UNSAFE STRUCTURE AND ORDERED DEMOLITION. OWNER HAS UNTIL 10/14/2013 TO CONTACT THEIR OFFICE WITH A TIME FRAME FOR REMOVAL.			
		10/4/2013 - FOLLOW-UP LETTER FROM COUNTY INSPECTION REQUIRING ALL WINDOW, DOOR AND ROOF OPENINGS TO BE BOARDED SHUT WITHIN 2 WEEKS & EXTERIOR REPAIRS COMPLETED WITHIN 6 MONTHS.			
		5/2/14 NO CHANGE IN CONDITION. NEW OWNER 3/27/14.			
		5/20/14 PER STEVE SKIBA (NEW OWNER) HAVE STARTED WORKING ON HOUSE. STRUCTURALLY SOUND. ADVISED HIM TO CONTACT COUNTY BUILDING INSPECTOR TO GO OVER PLANS AND TO SUBMIT A TIMELINE TO US FOR RENOVATION.			
		5-21-14 TALKED WITH STEVE, HE ADVISED HE CONTACTED MARTY TAYLOR WITH HIS PLANS.			
		5-21-14 TALKED WITH MARTY AND HE WILL SEND OVER A TIMELINE FROM OWNER.			
		5-23-14 OWNER WILL SUBMIT WEEK OF MAY 26TH A TIMELINE			

Enforcement List by Address

06/03/14

Total Enforcements: 1

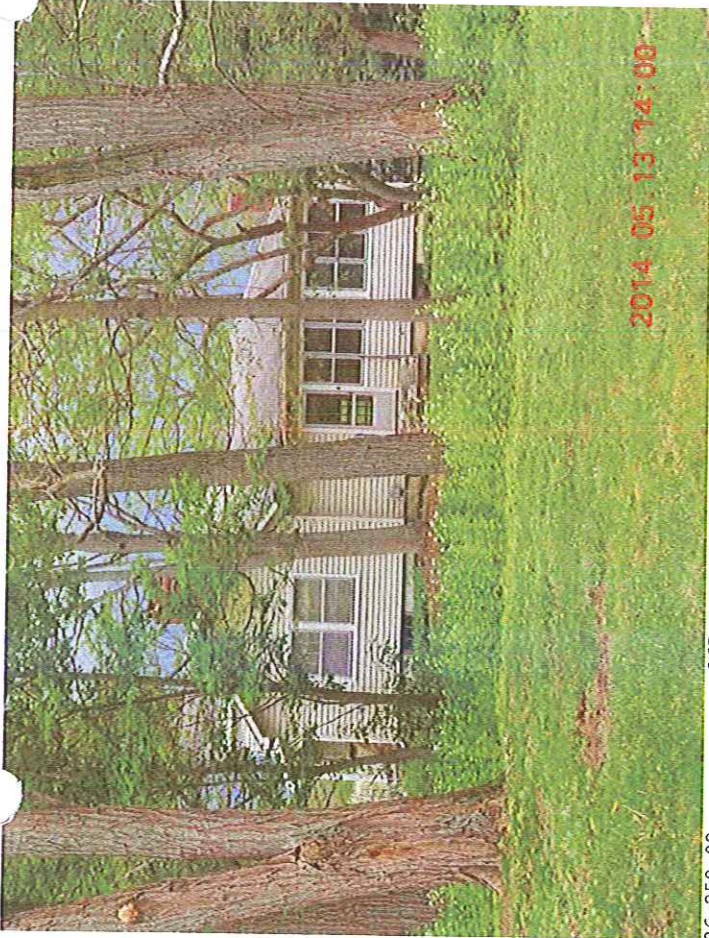
80 S WOLCOTT ST

CASE #	Category	Complaint Details	Date Filed	Status	Date Closed
E2013-0064	CITIZEN COMPLAINT	deteriorated structure, tall grass weeds, trash in exterior	03/28/13		

Total Enforcements: 1

Records: 534

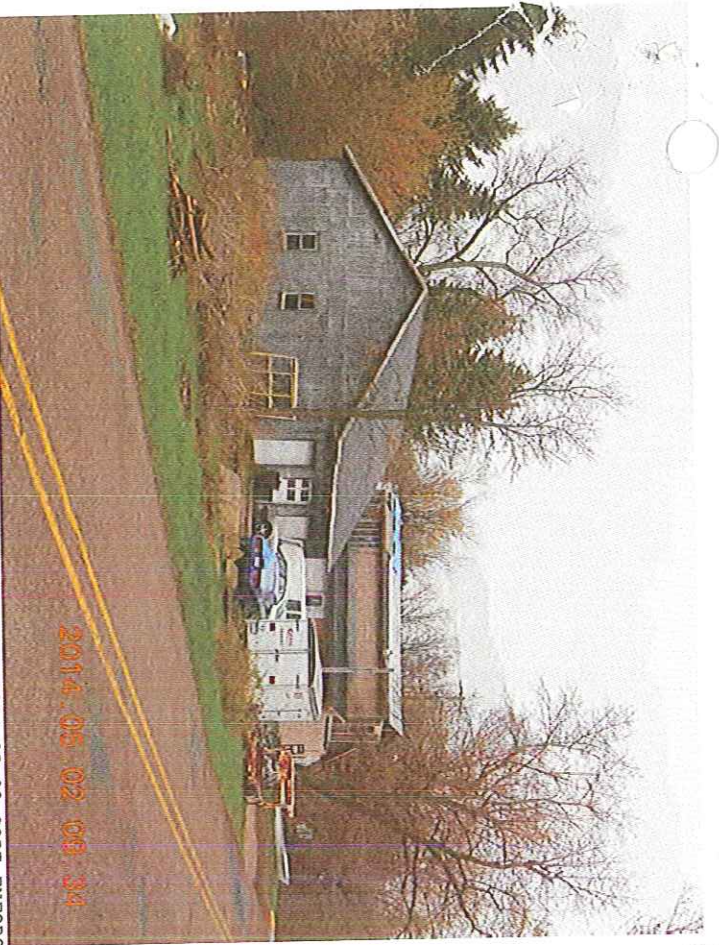
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-126-258-02

267 E BACON ST

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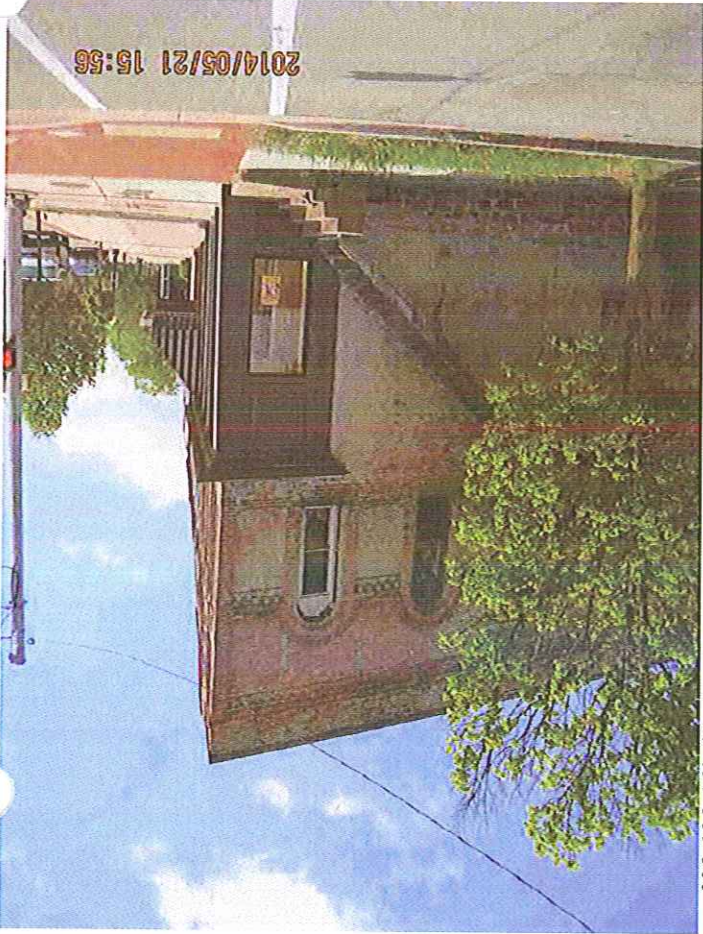


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426-401-13

318 E BACON ST

2014-05-02 CODE ENFORCEN



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006-126-162-01

41 N BROAD ST

2014/05/21



2014/05/21 15:56

006-126-162-01

41 N BROAD ST

2014/05/21



2014/05/21 15:56

006-126-162-01

41 N BROAD ST

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41 N BROAD ST

2014/05/21



126-306-13

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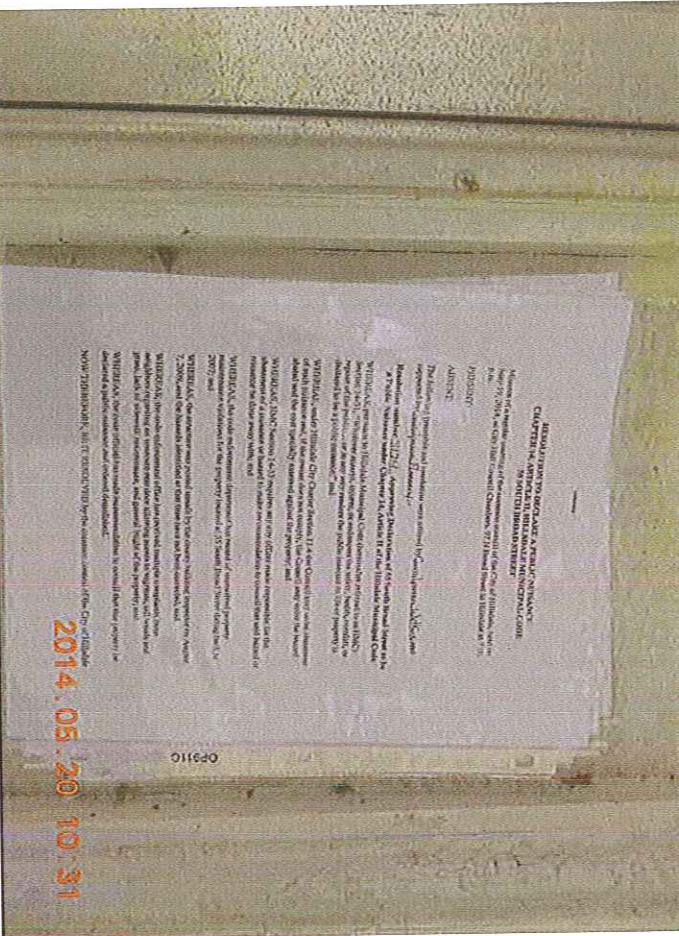
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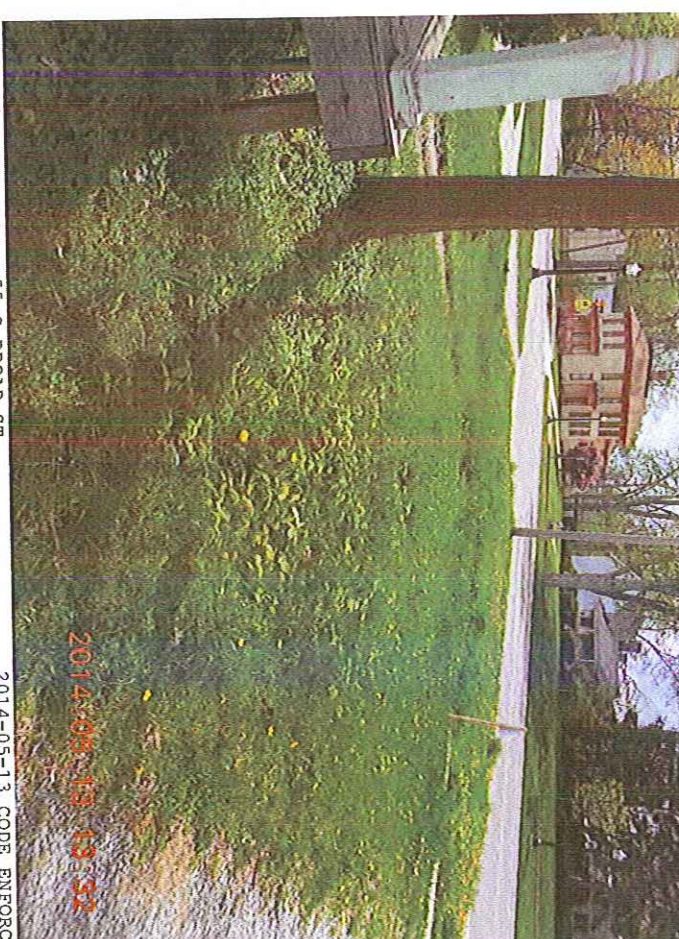
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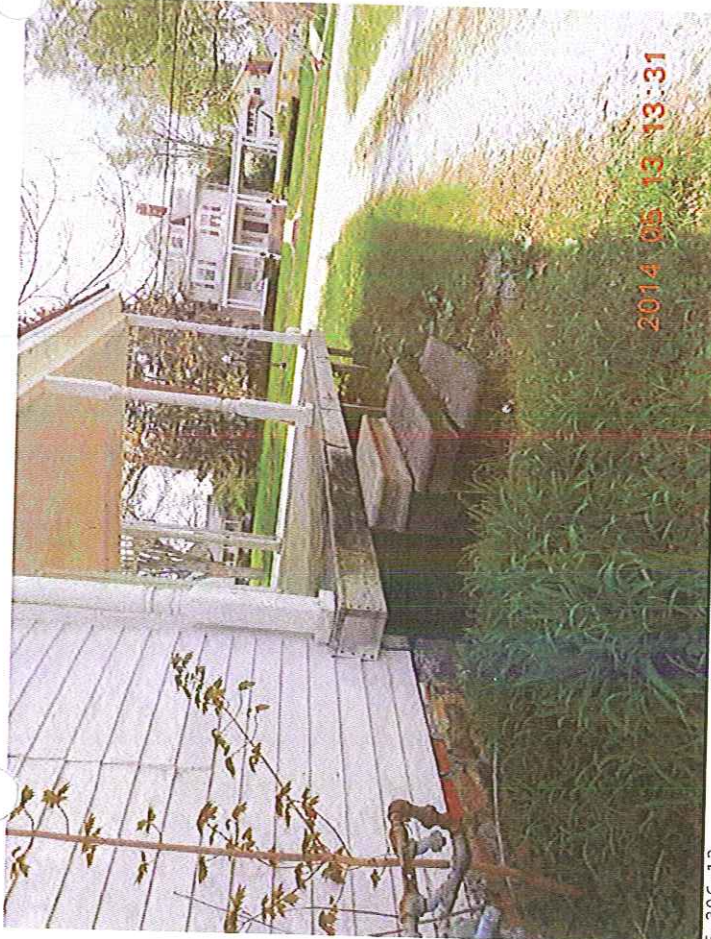
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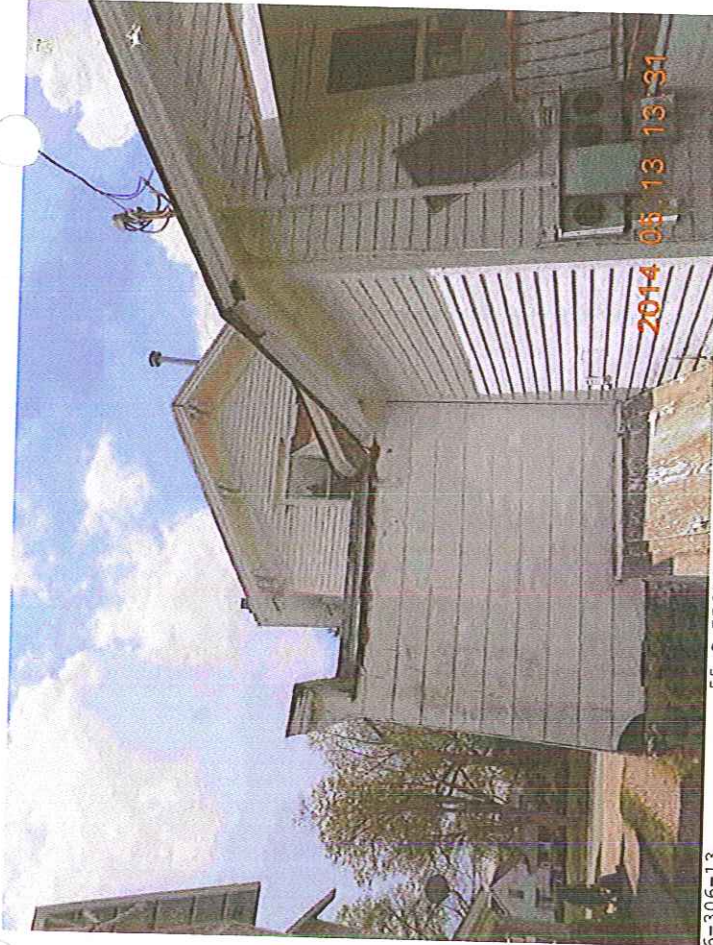


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2014 05 13 13:31



55 S BROAD ST

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126-306-13

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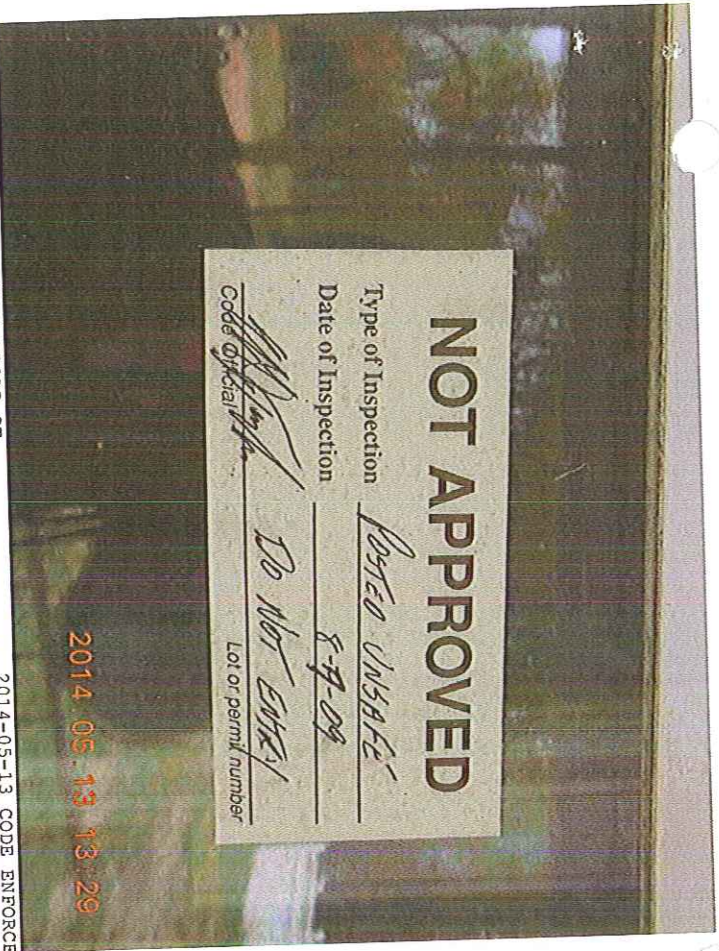
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2014 05 13 13:29

126-306-13

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55 S BROAD ST

2014-05-13 CODE ENFORCEM1



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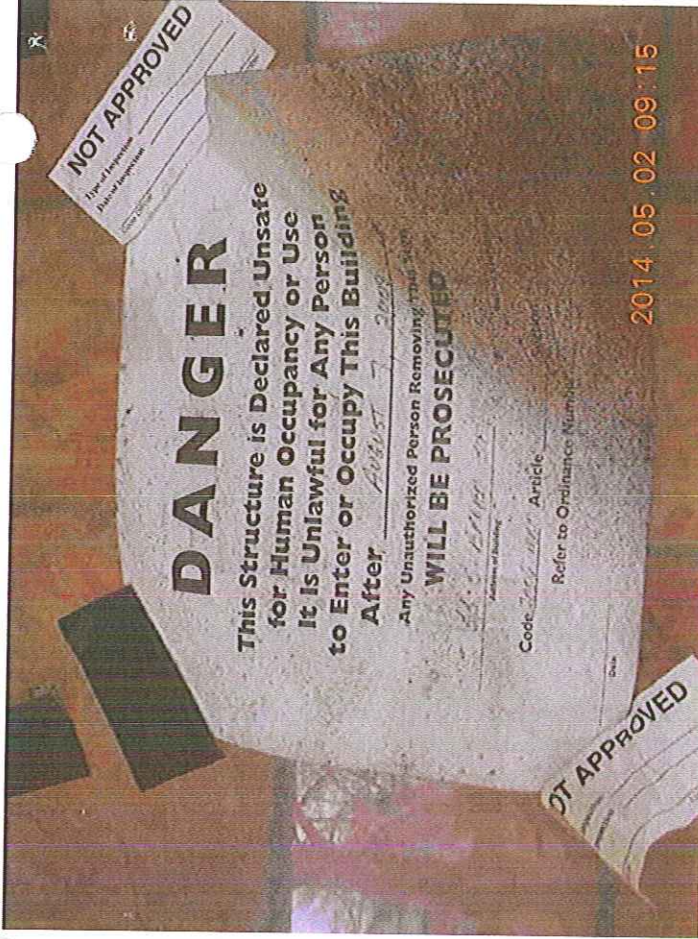


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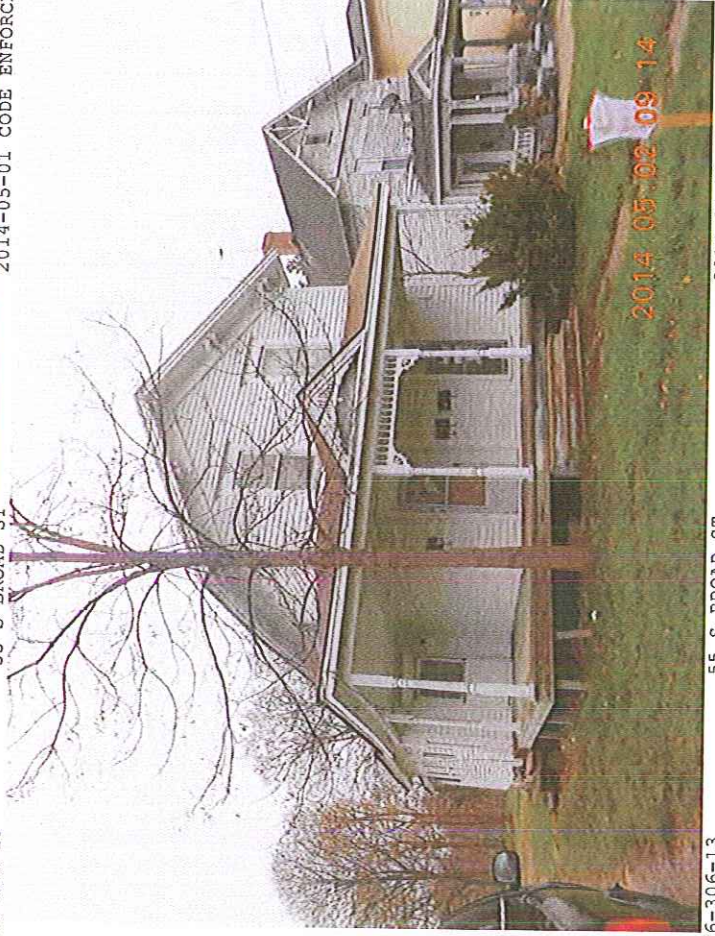


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126-306-13

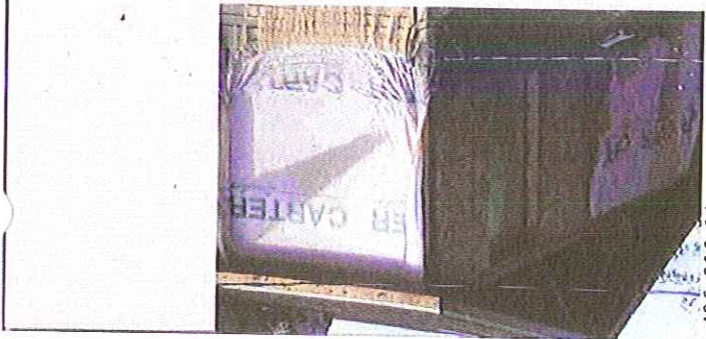
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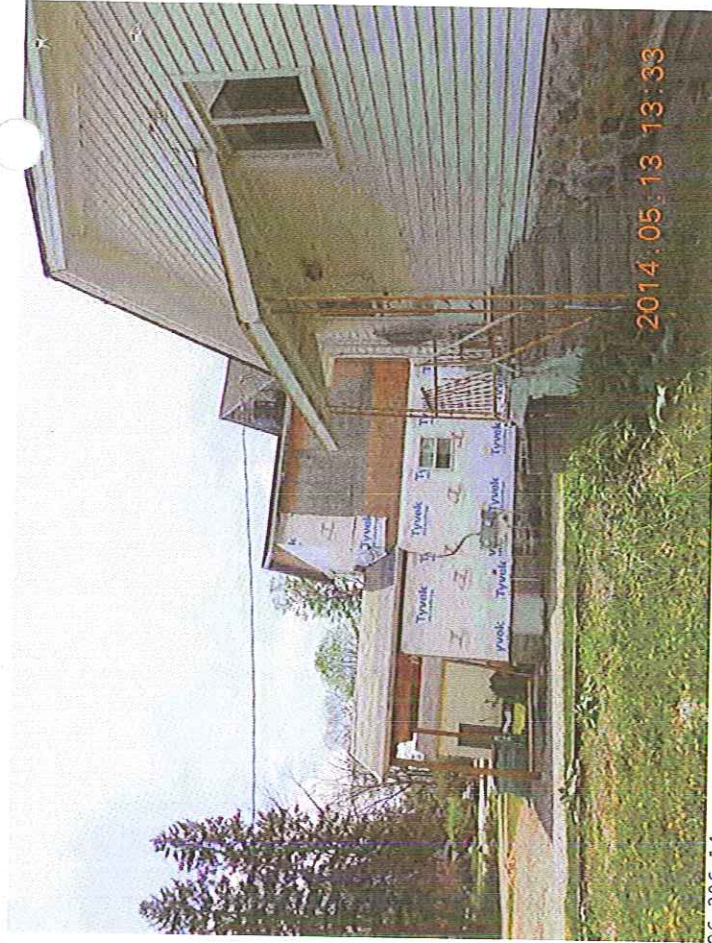
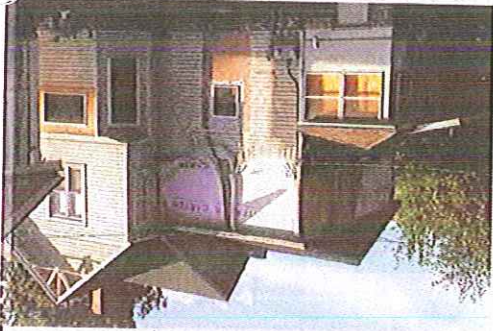
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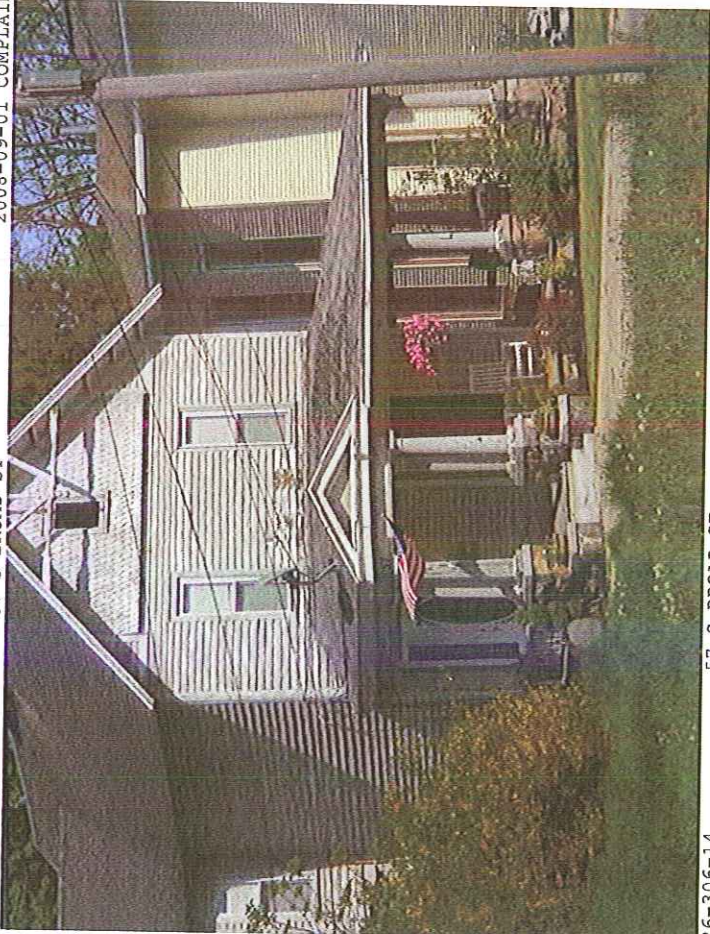
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-426-306-14

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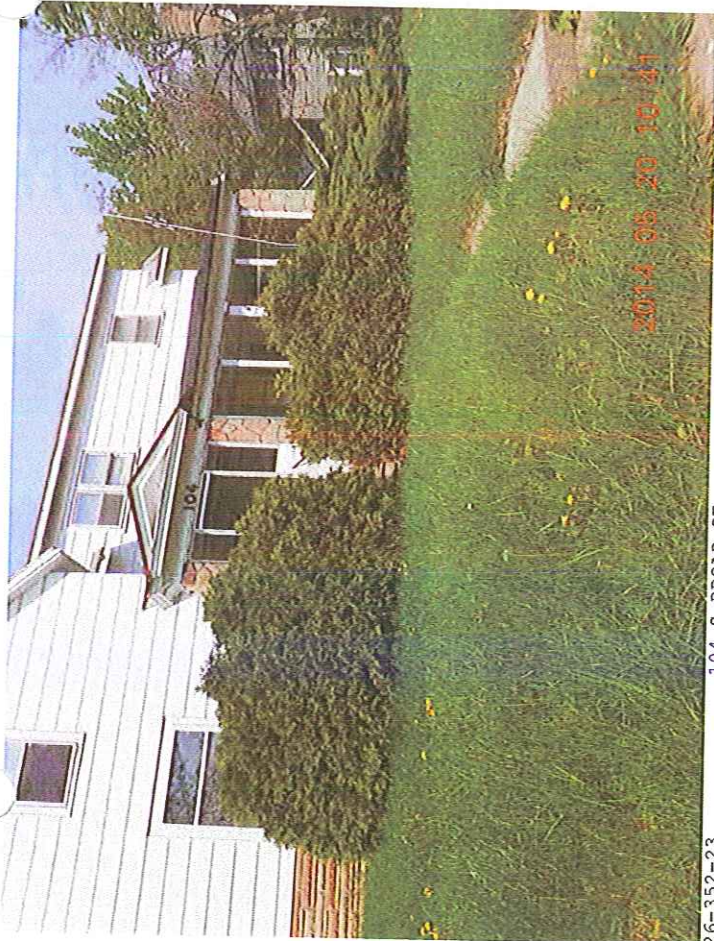


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426-352-19

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-426-352-23

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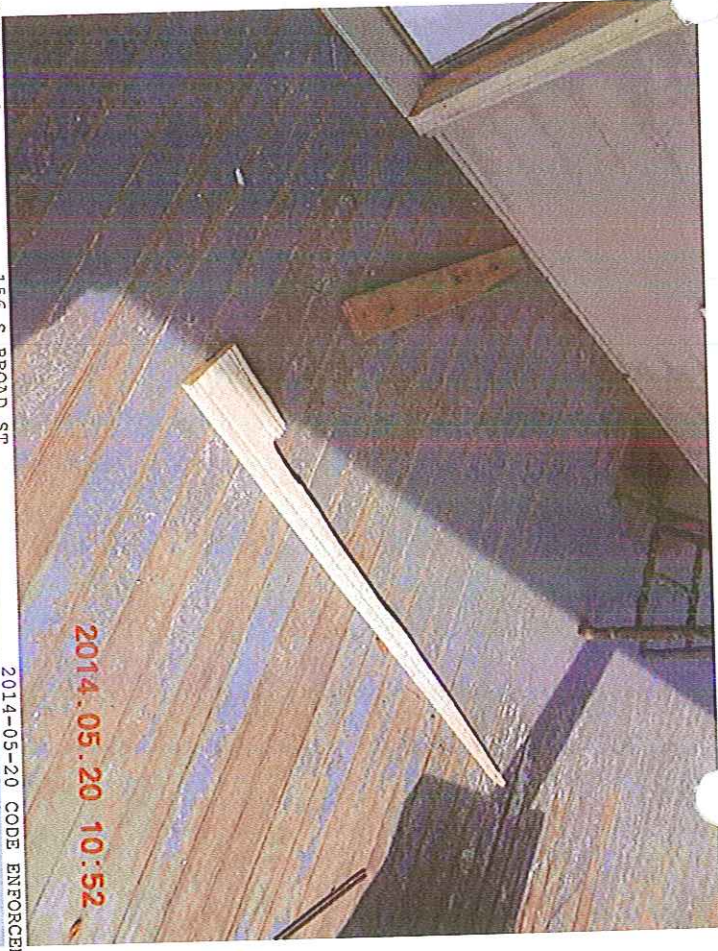
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126-356-22 156 S BROAD ST

2014-05-20 CODE ENFORCEM126-356-22



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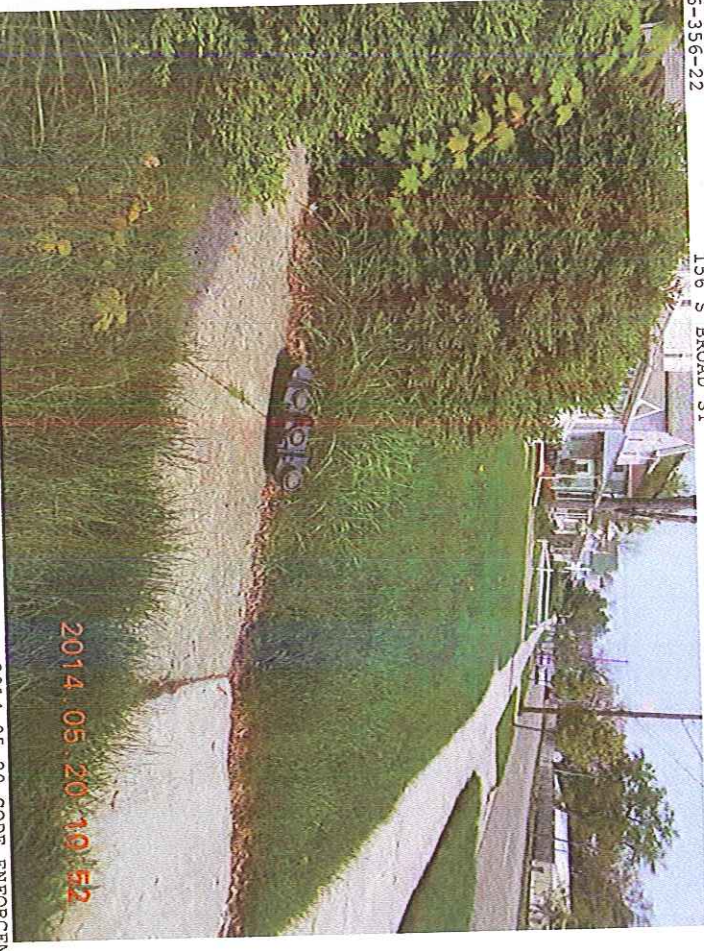
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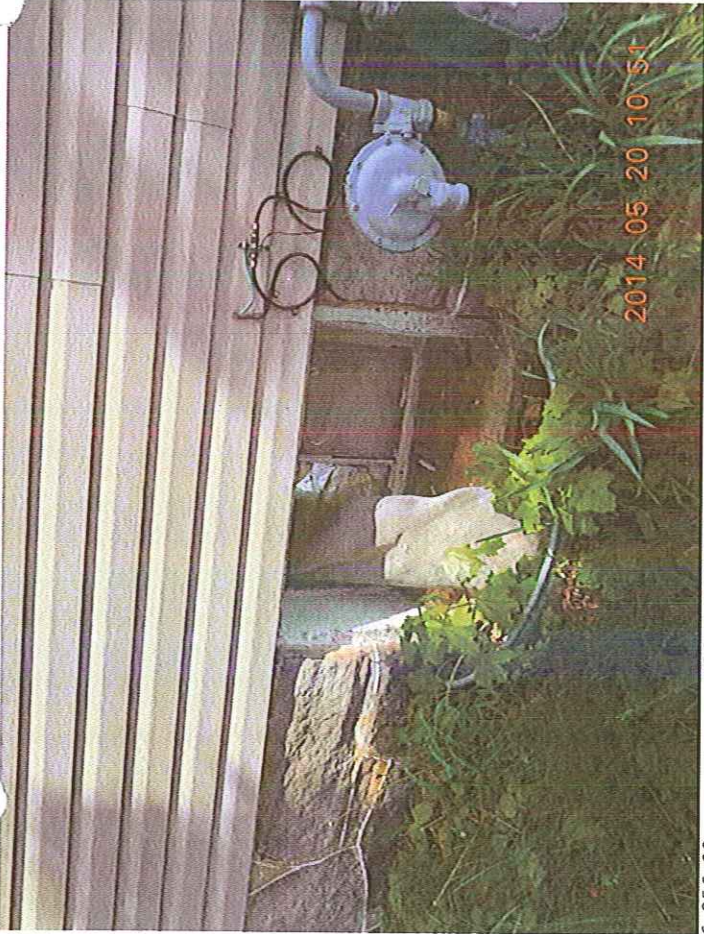
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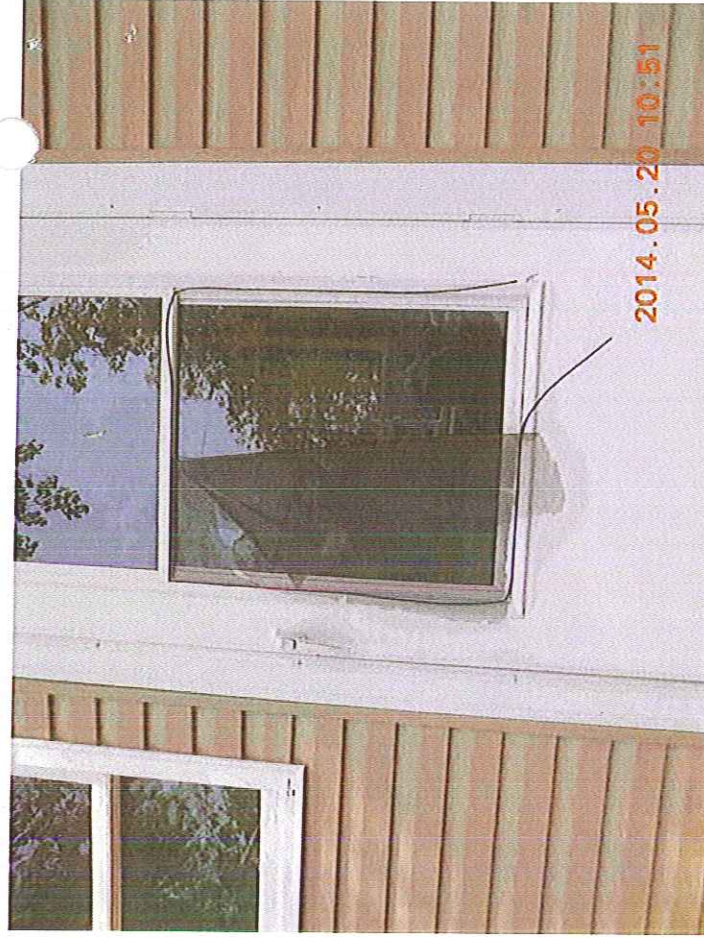


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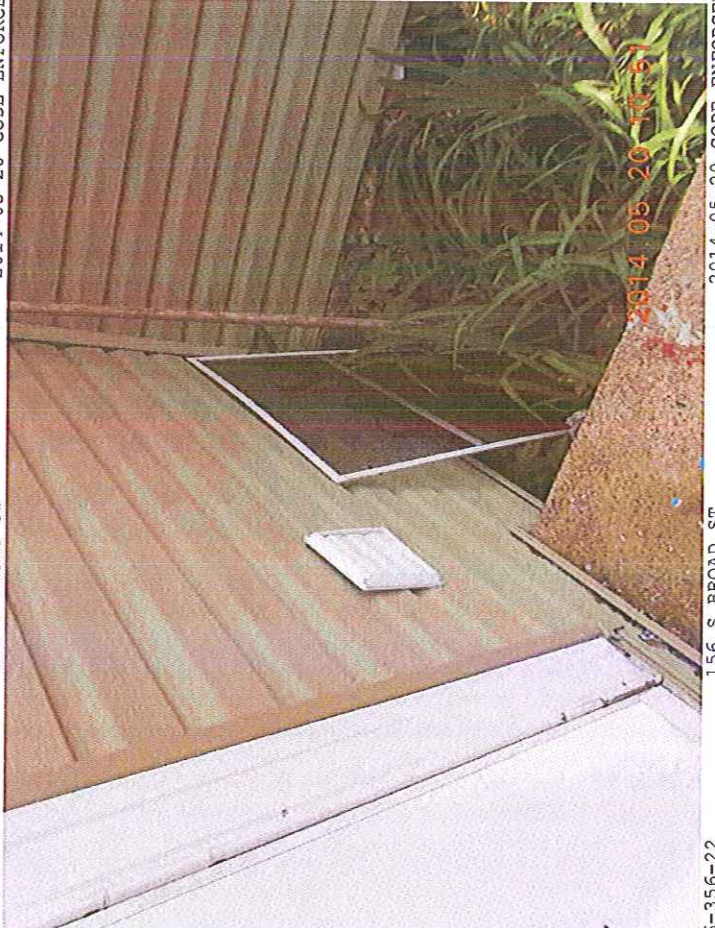
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126-356-22

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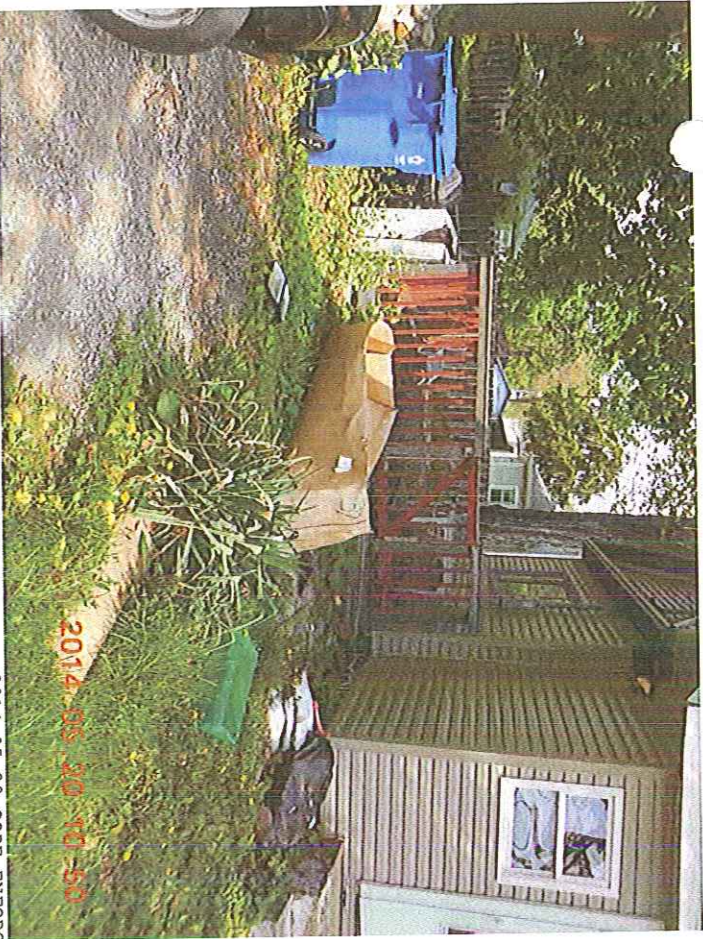
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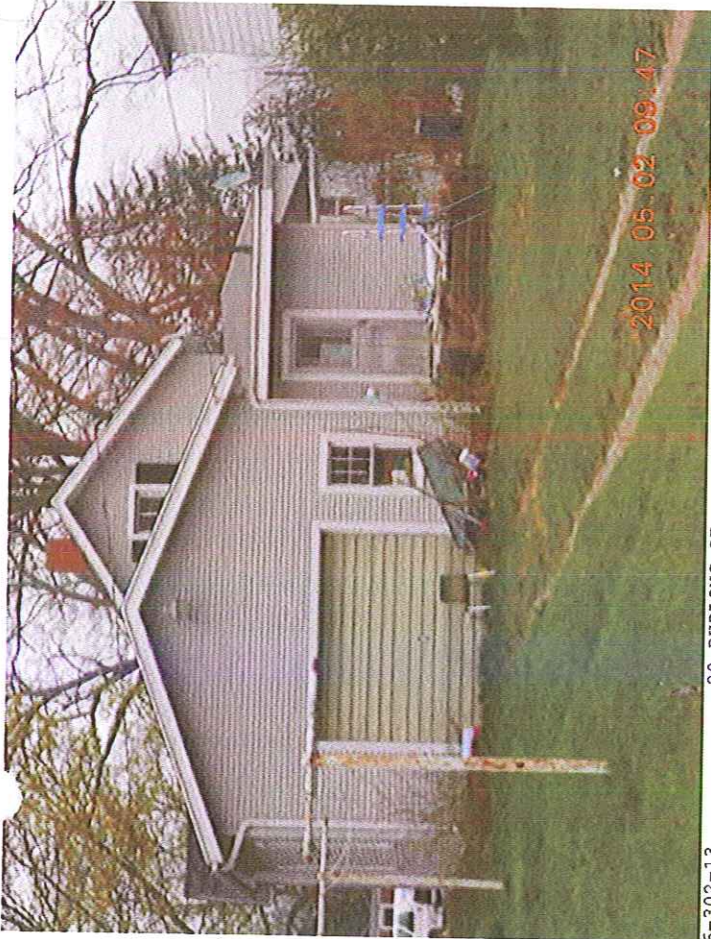
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126-302-13

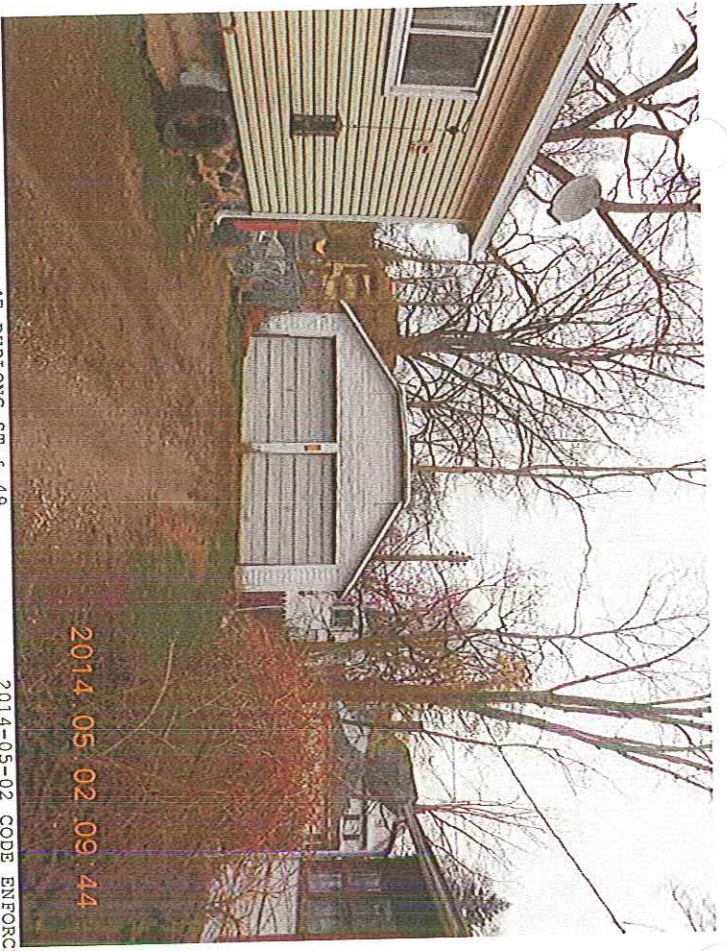
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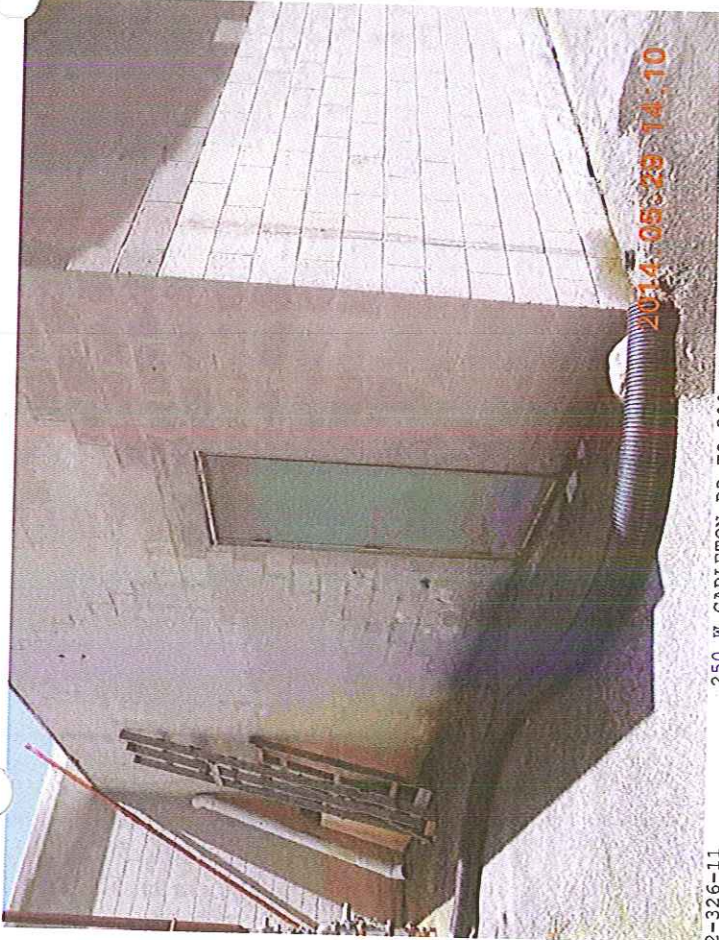
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47 BUDDLONG ST & 49

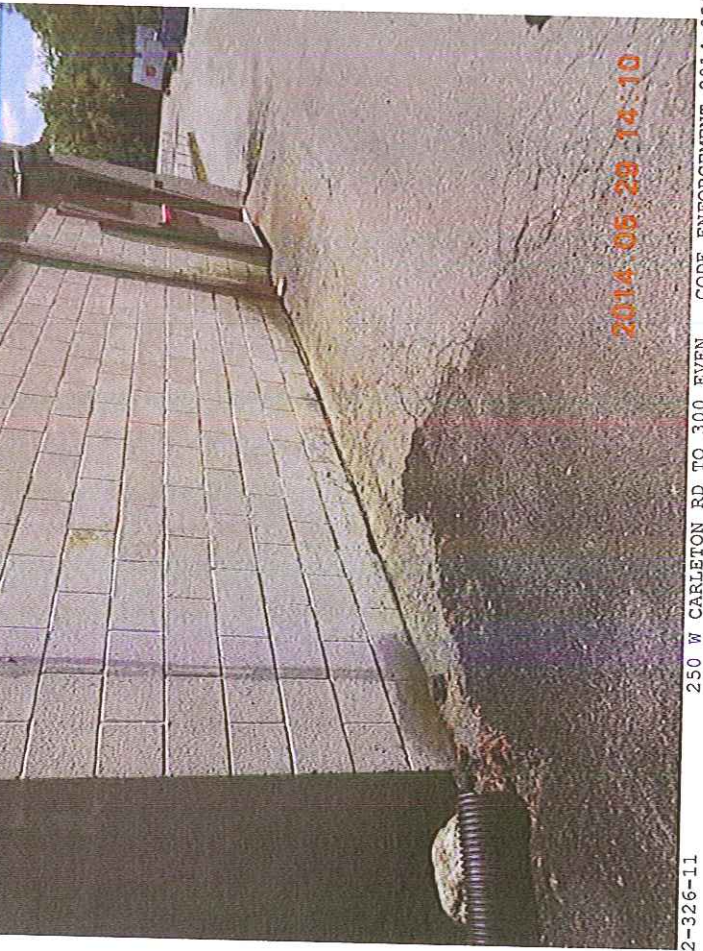
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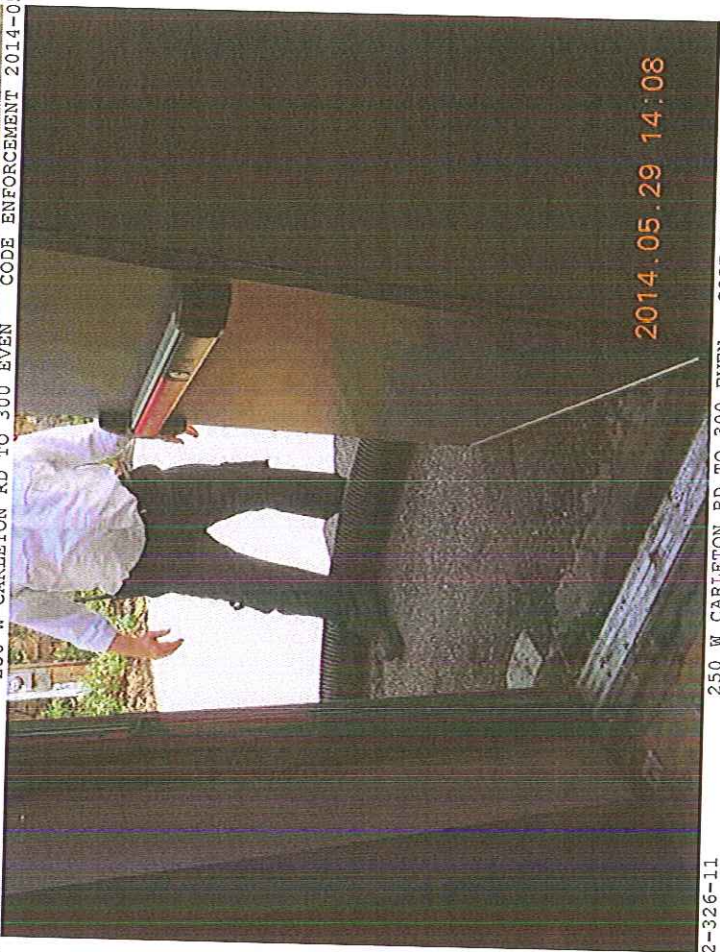
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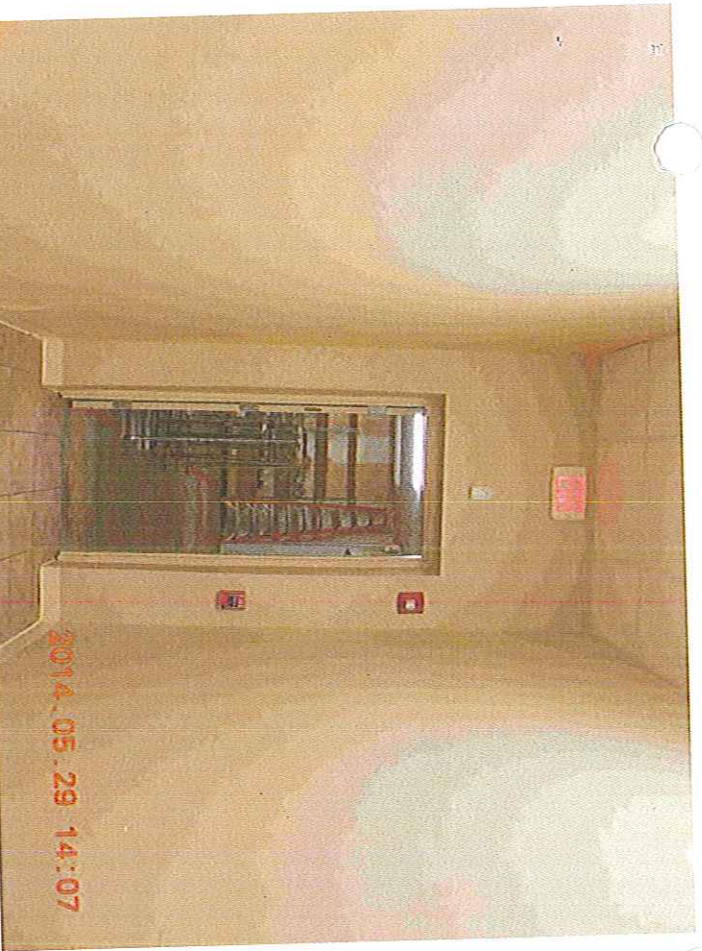
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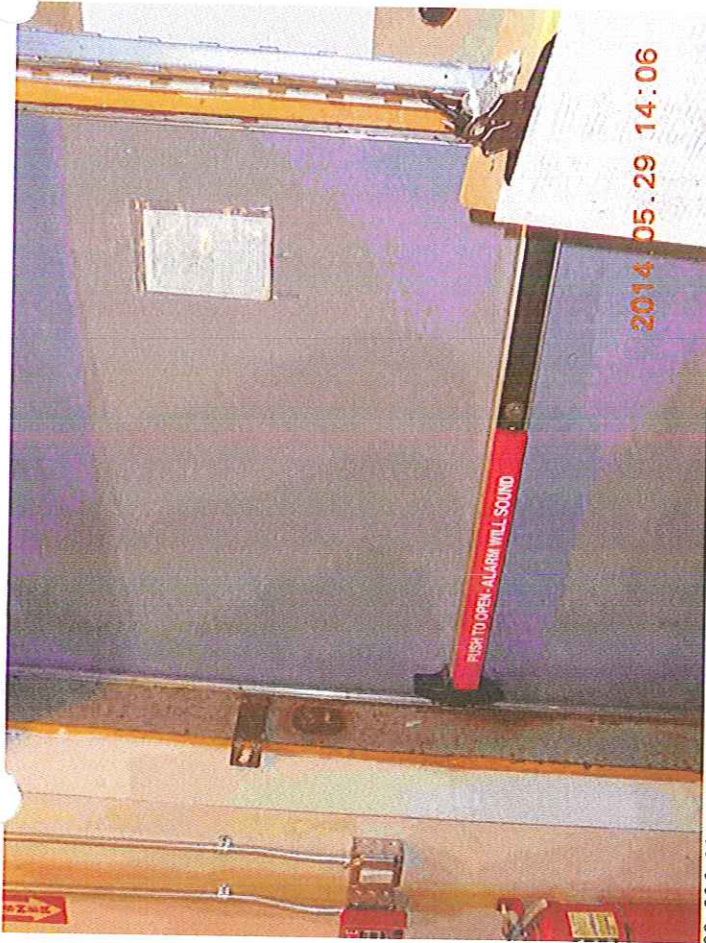
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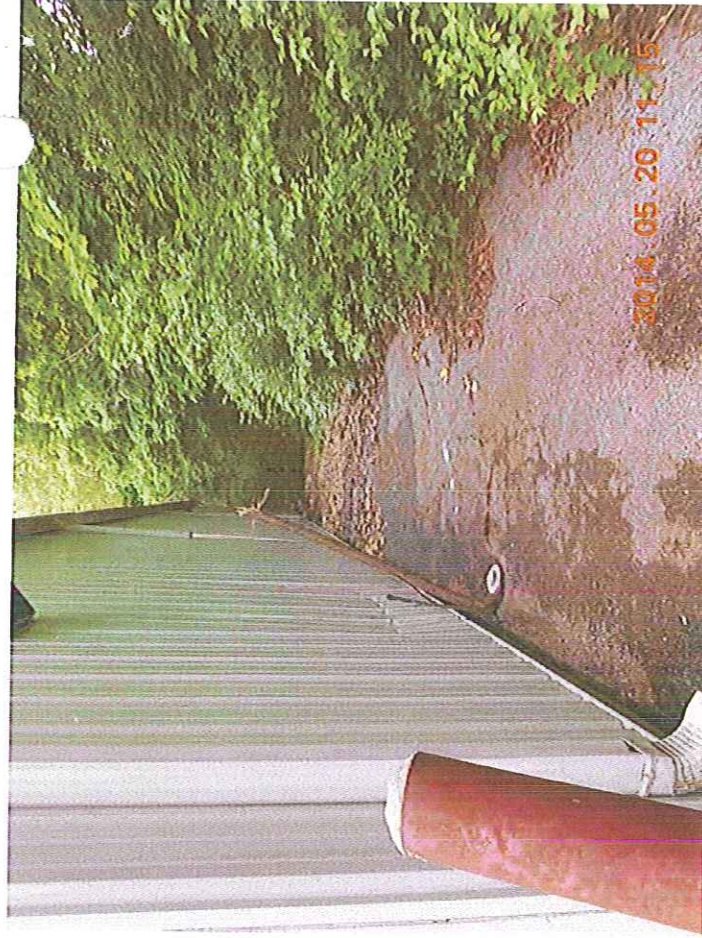


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2940 W CARLETON RD

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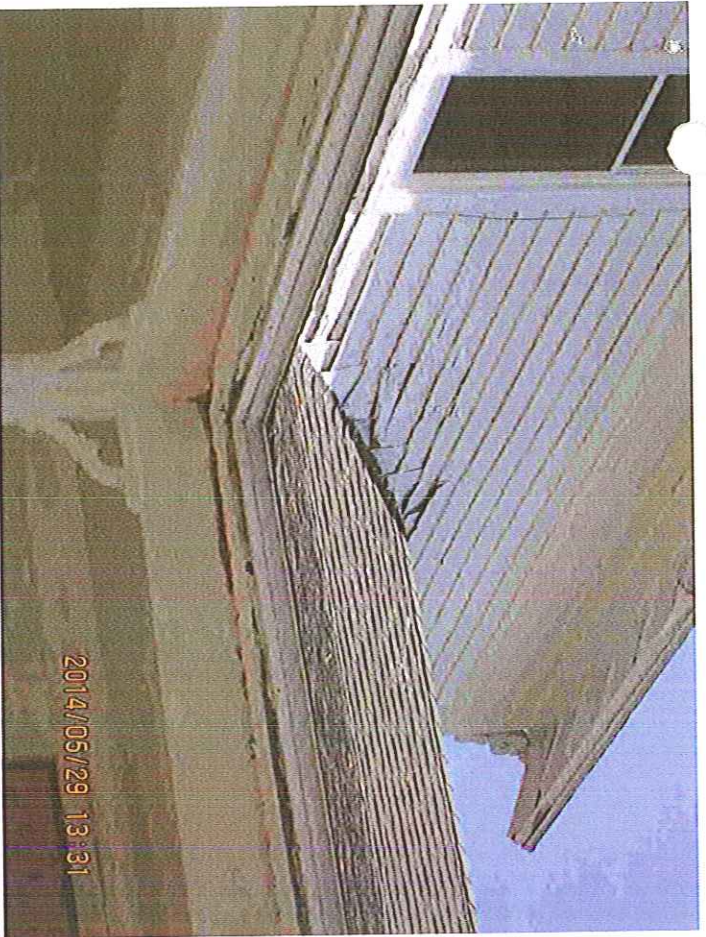
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-126-103-09

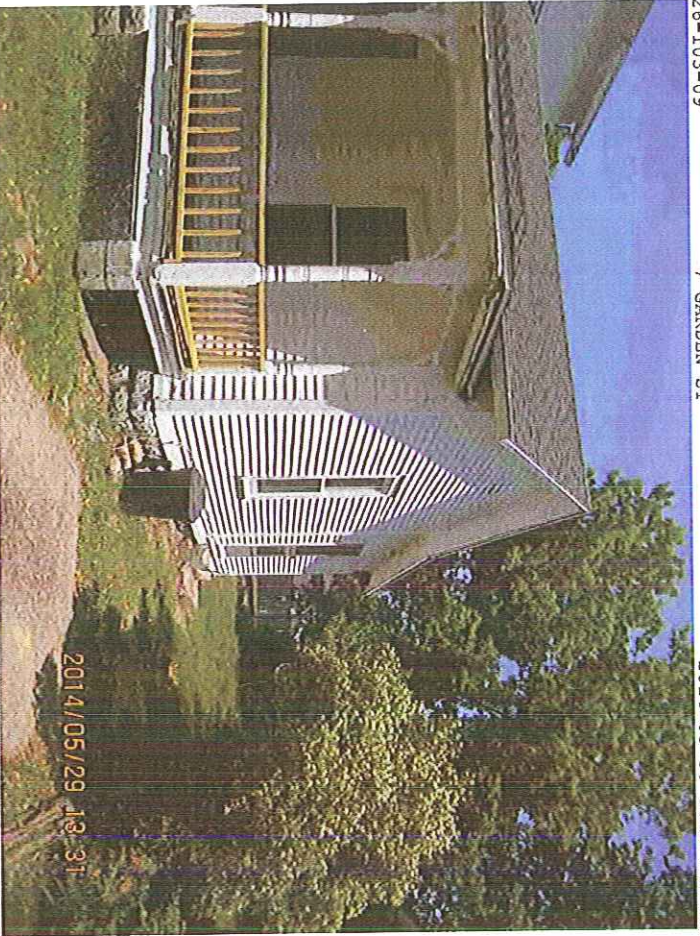
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7 GARDEN ST

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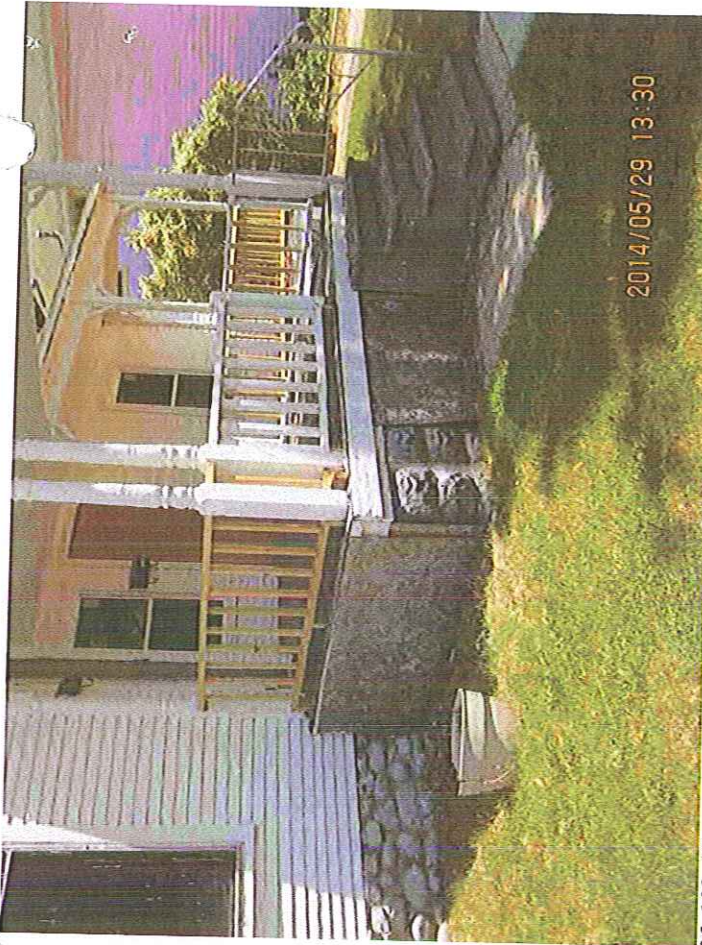


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126-103-09

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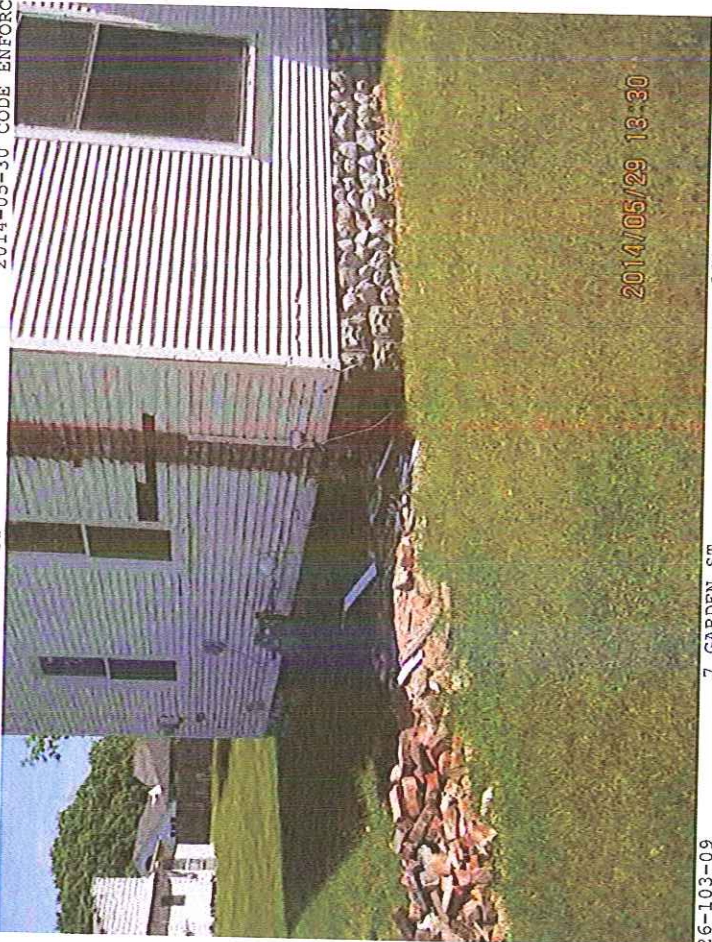
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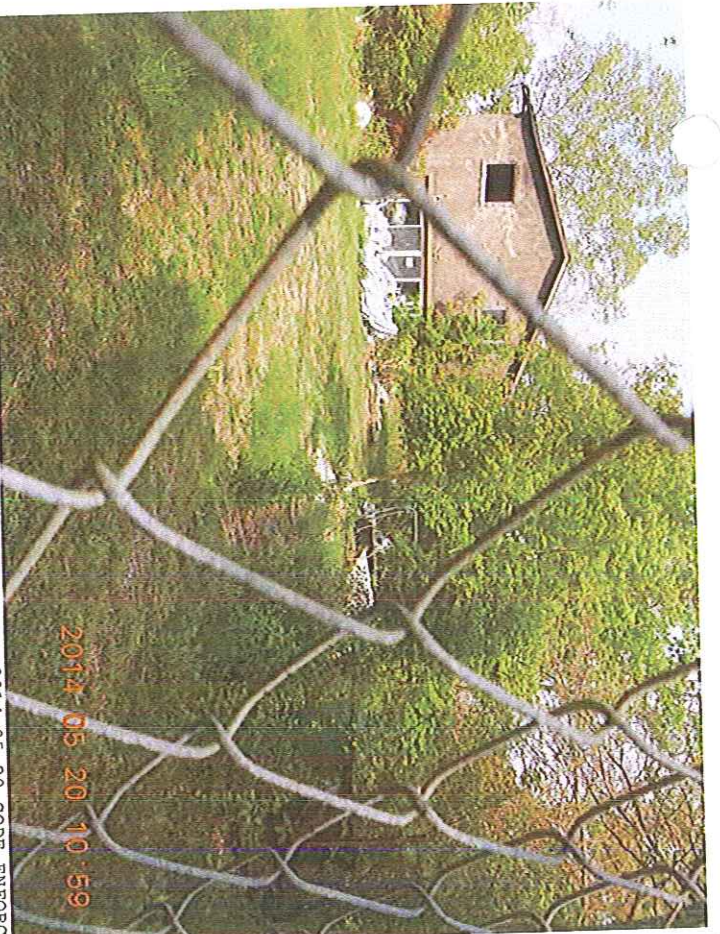
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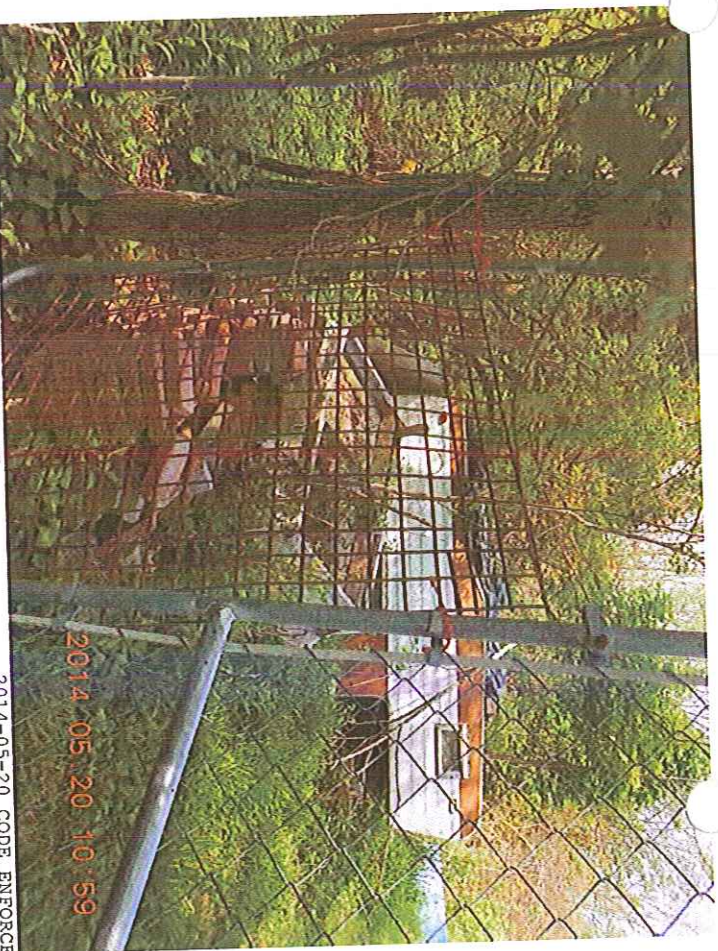
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126-451-43

48 GREENWOOD ST

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48 GREENWOOD ST

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426-451-43

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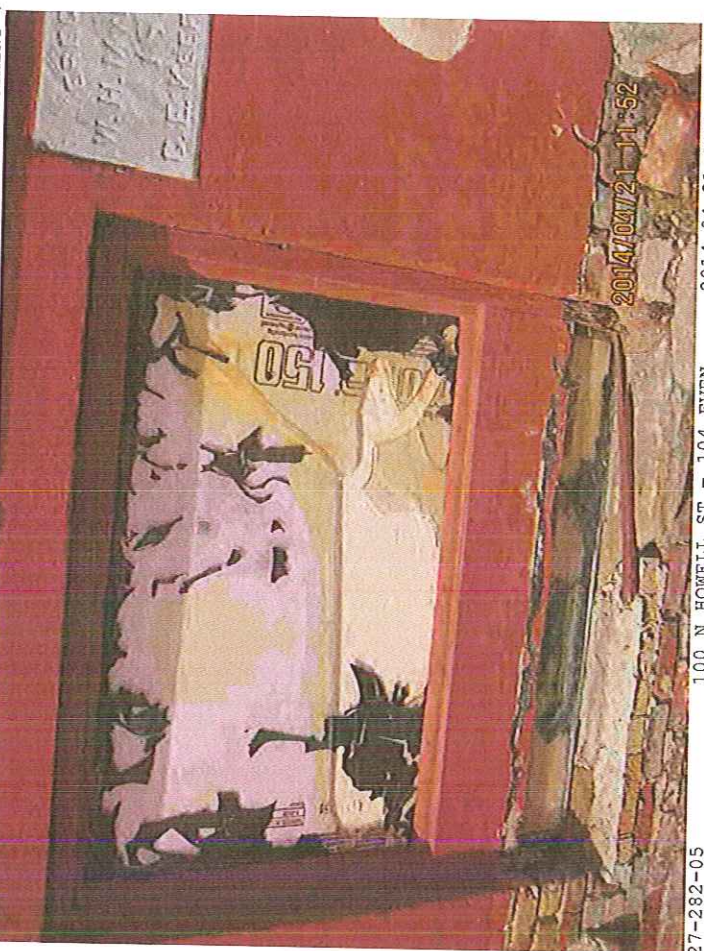
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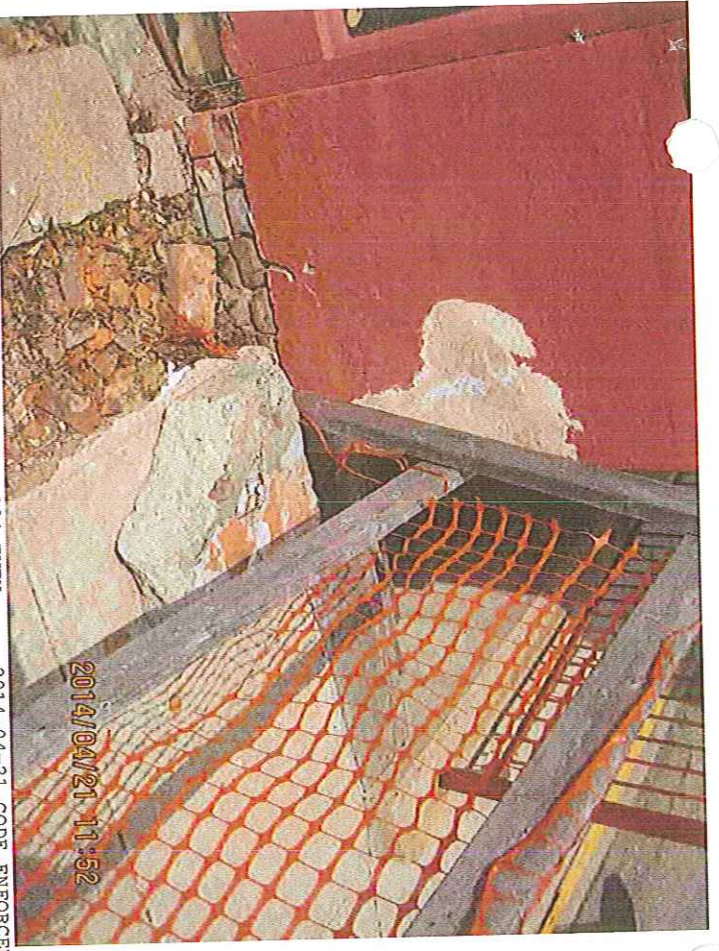
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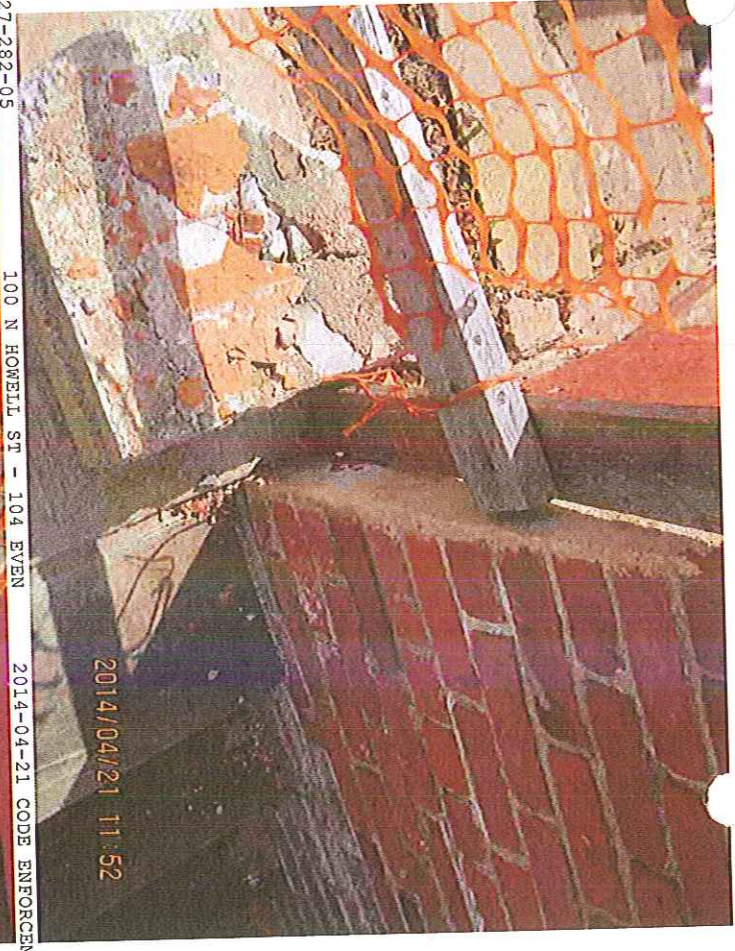
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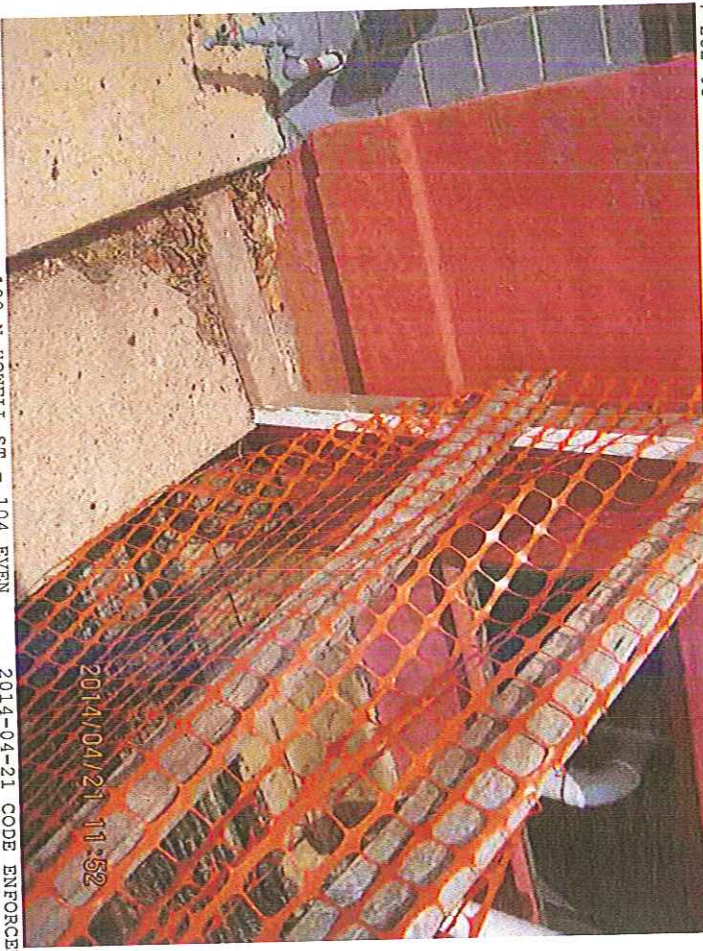
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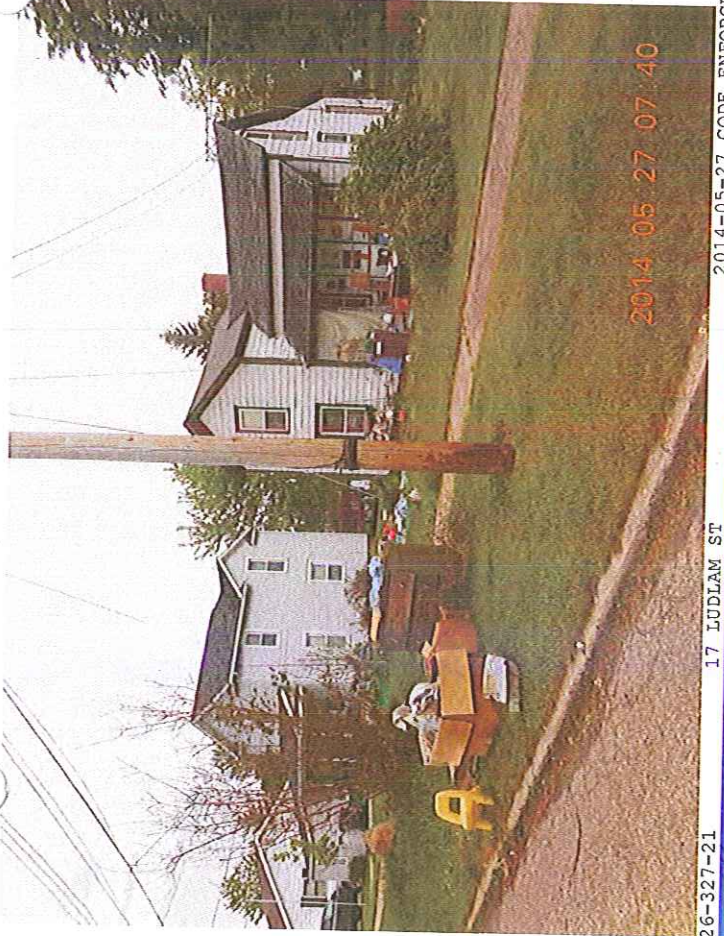
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426-327-21

17 LUDLAM ST

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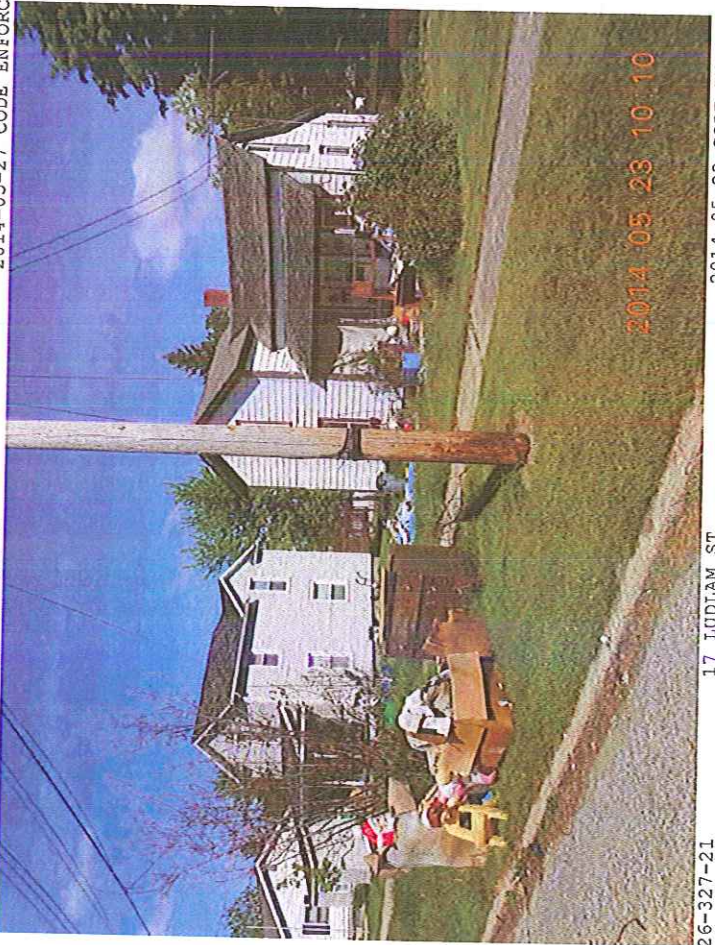
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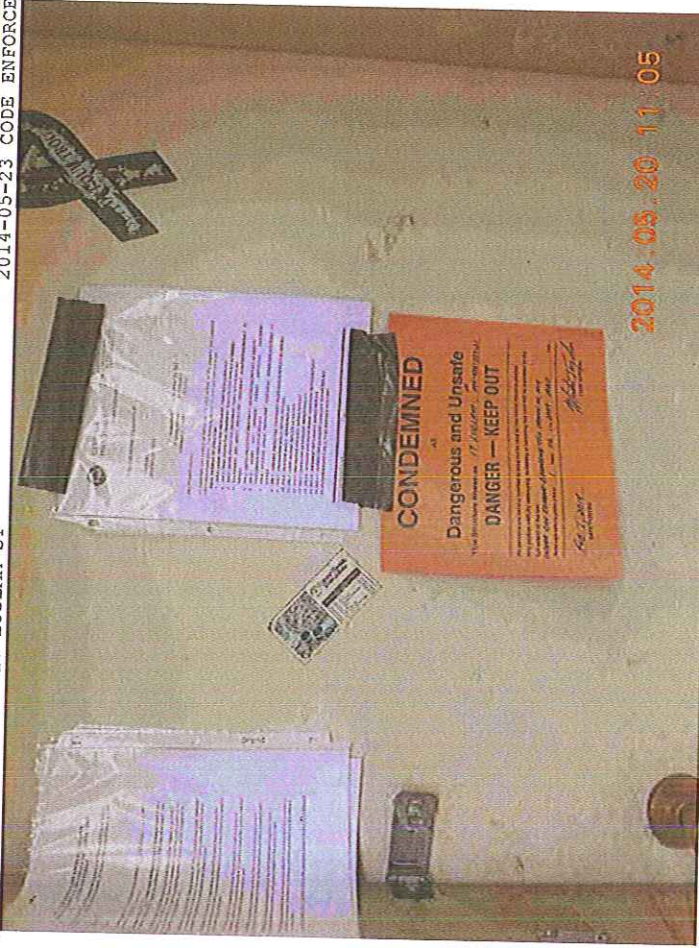


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17 LUDLAM ST

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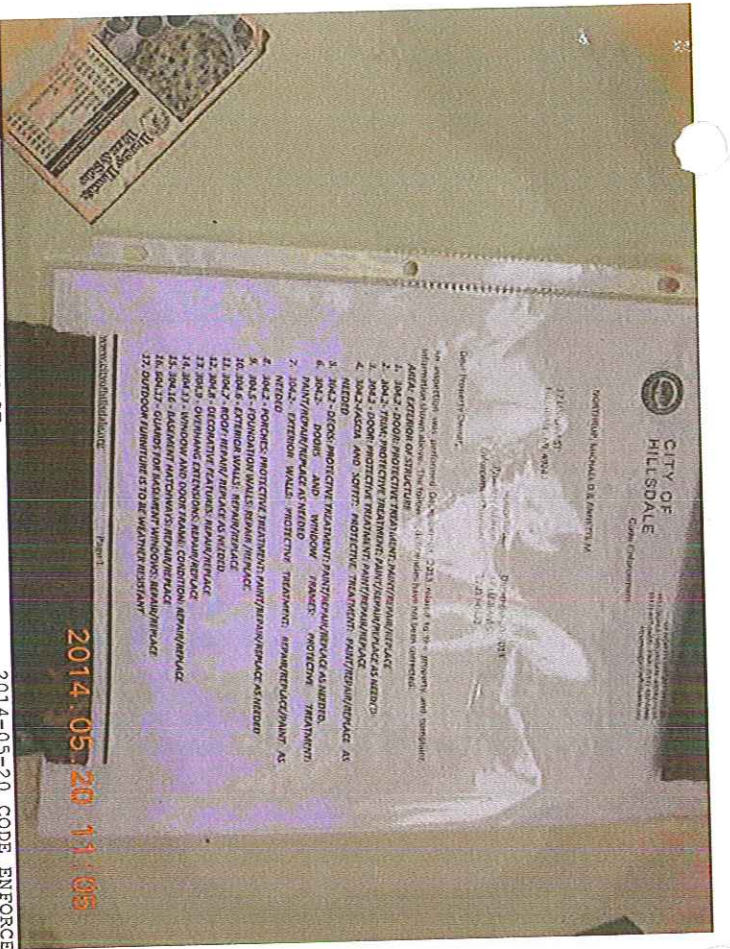
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17 LUDLAM ST

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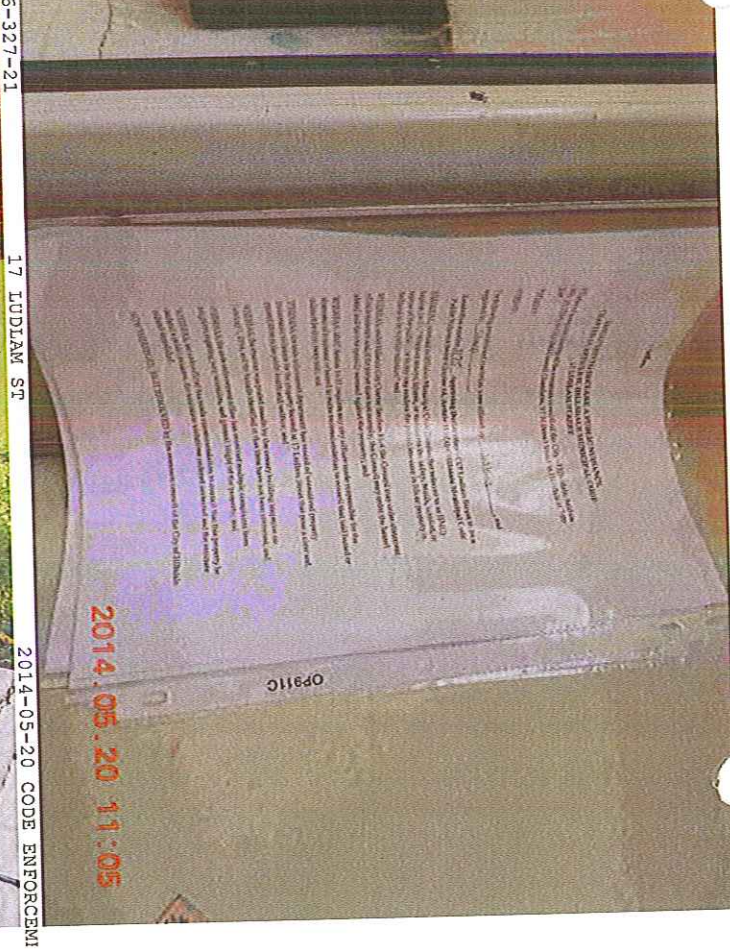
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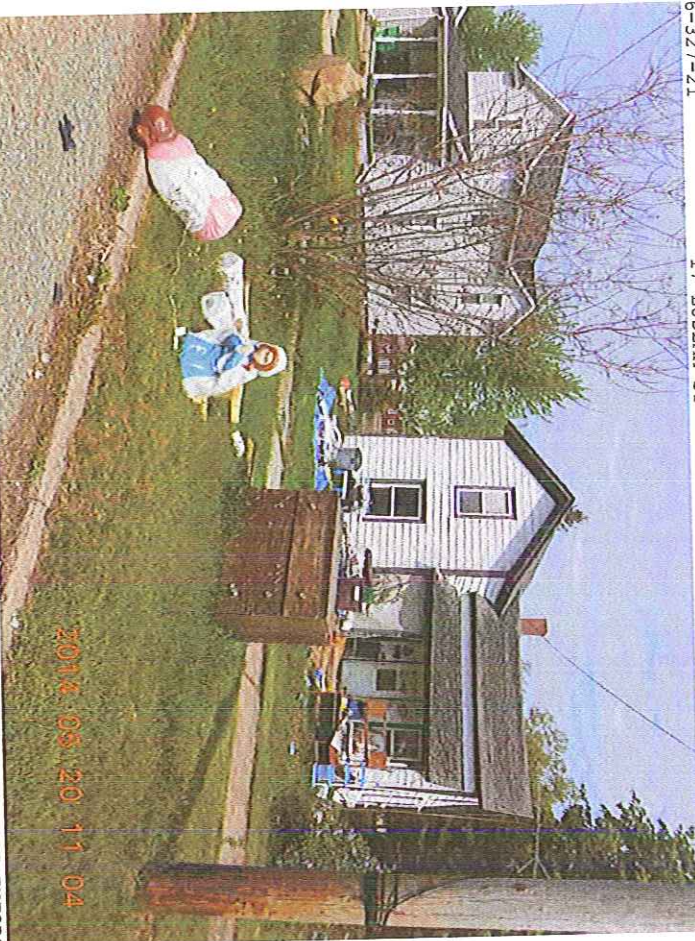
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17 JUDDAM ST

2014-05-20 CODE ENFORCEMENT



426-327-21

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17 JUDDAM ST

2014-05-13 CODE ENFORCEMENT



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126-327-21

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2014-05-13 CODE ENFORCEMENT



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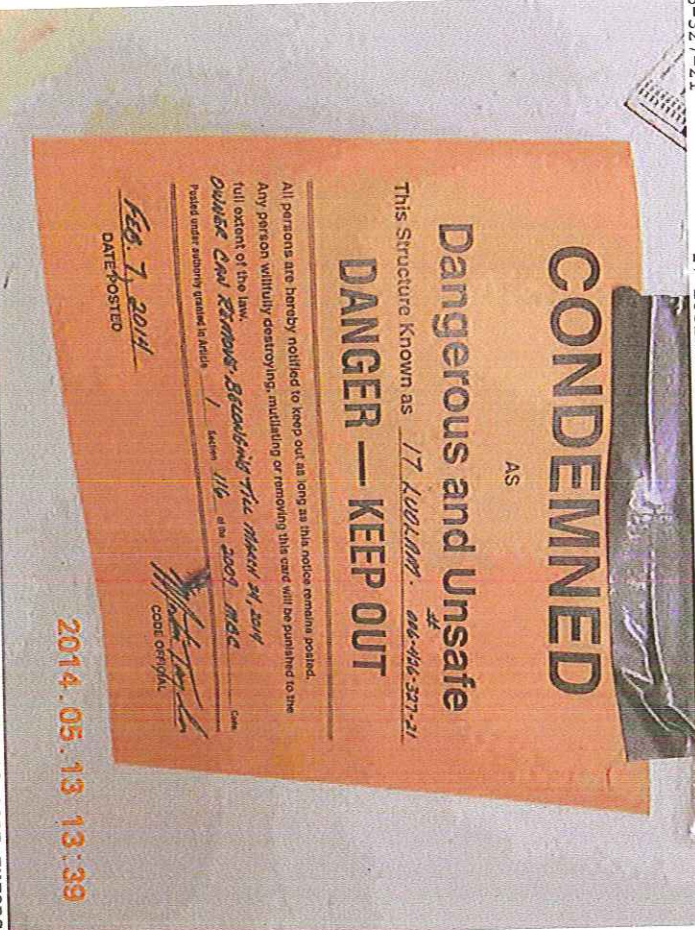
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126-327-21

17 JUDDAM ST

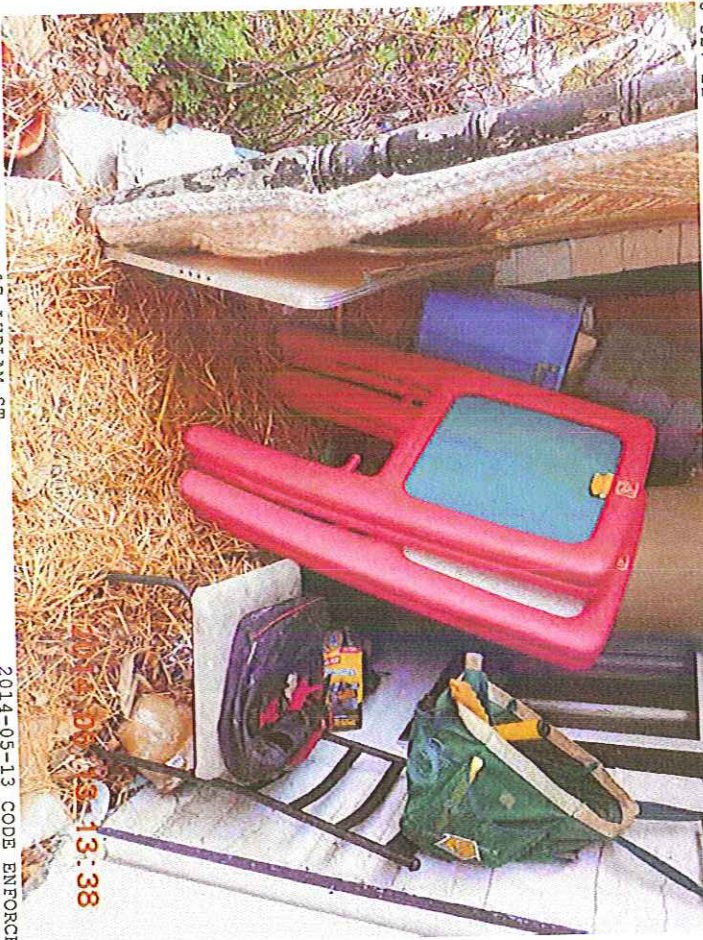
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126-327-21

17 JUDDAM ST

2014-05-13 CODE ENFORCEM26-327-21



17 JUDDAM ST

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126-327-21

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327-431-03

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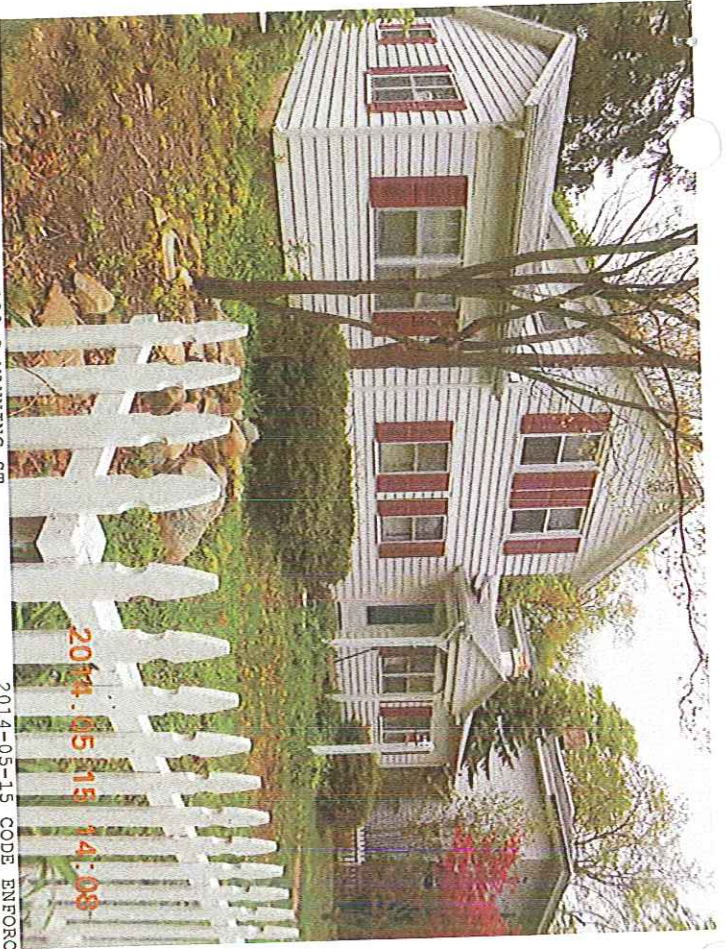
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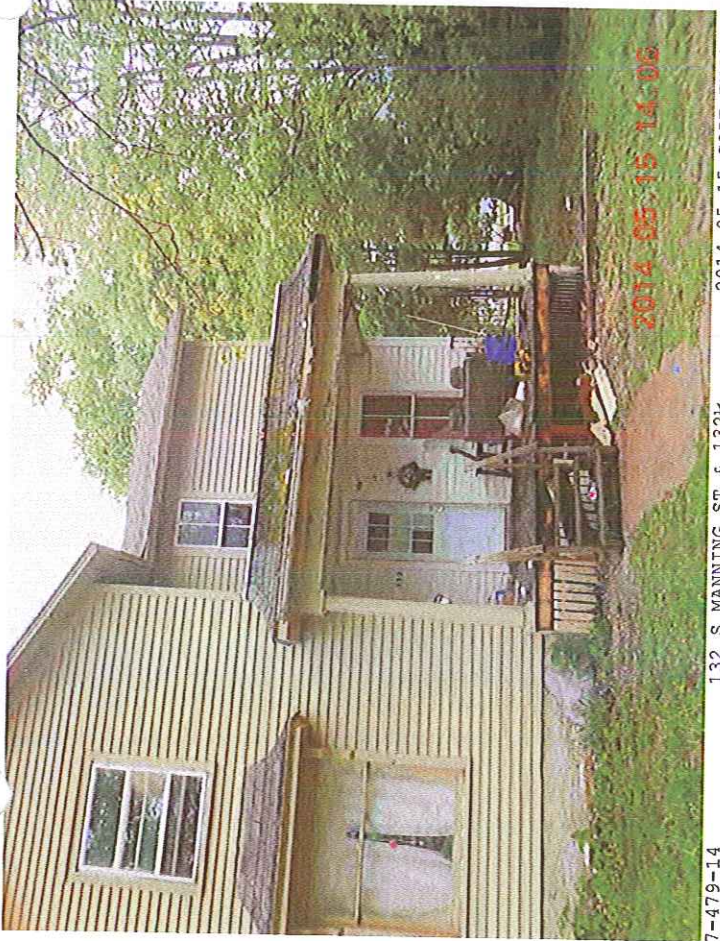
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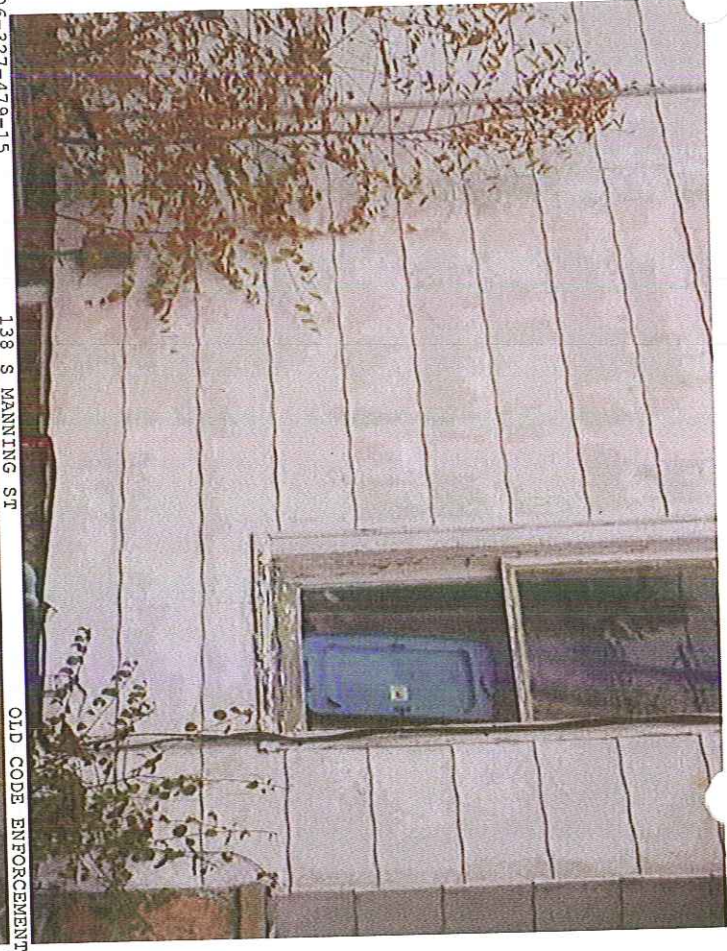
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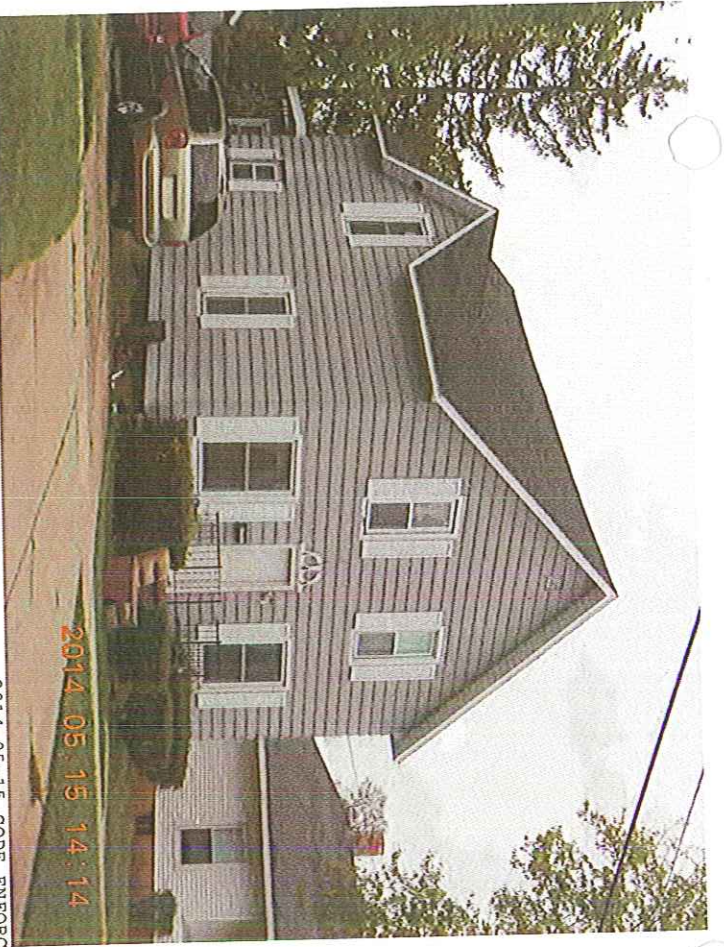


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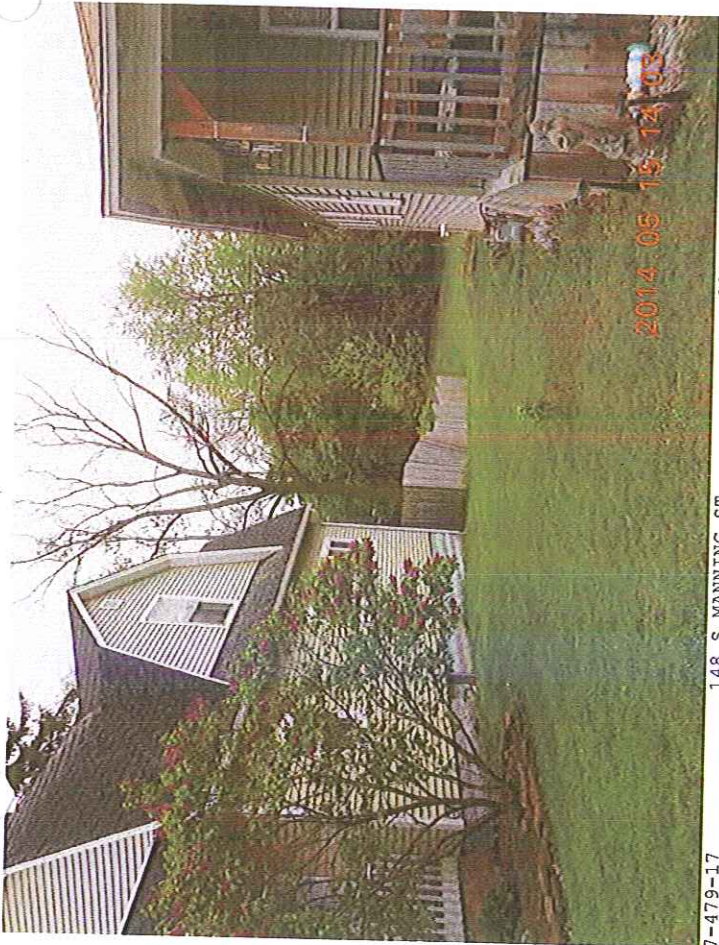
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2014-05-15 CODE ENFORCEMENT

2014.05.15 14:02



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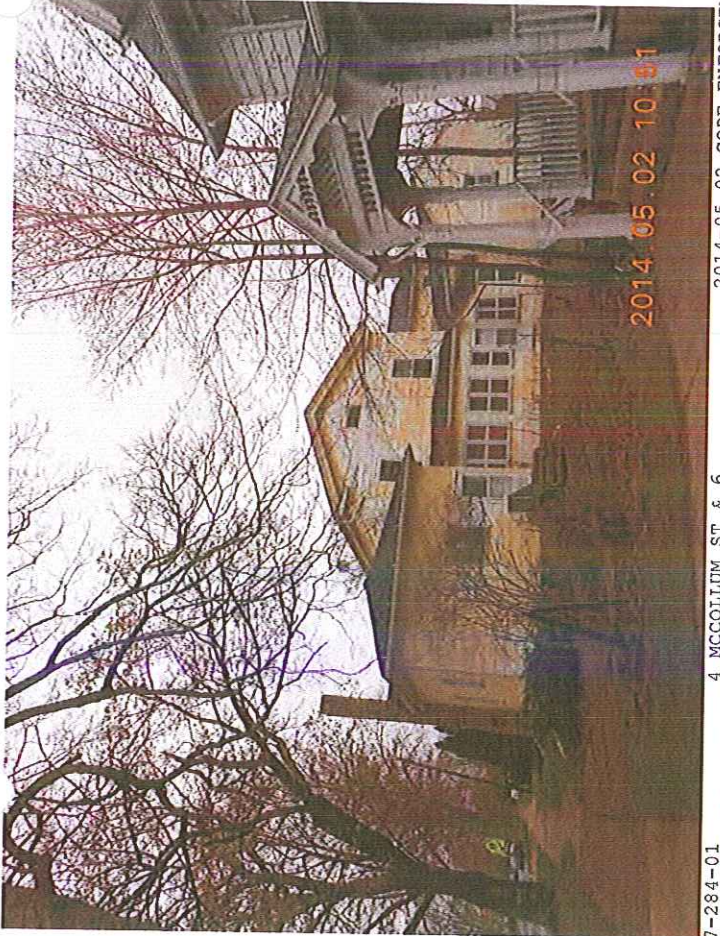
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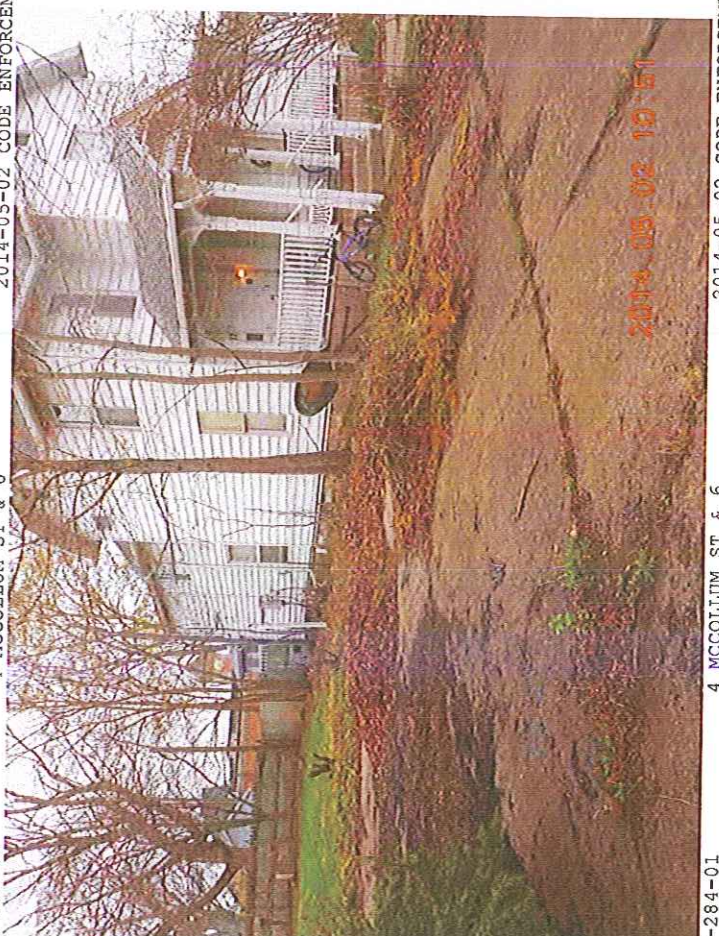
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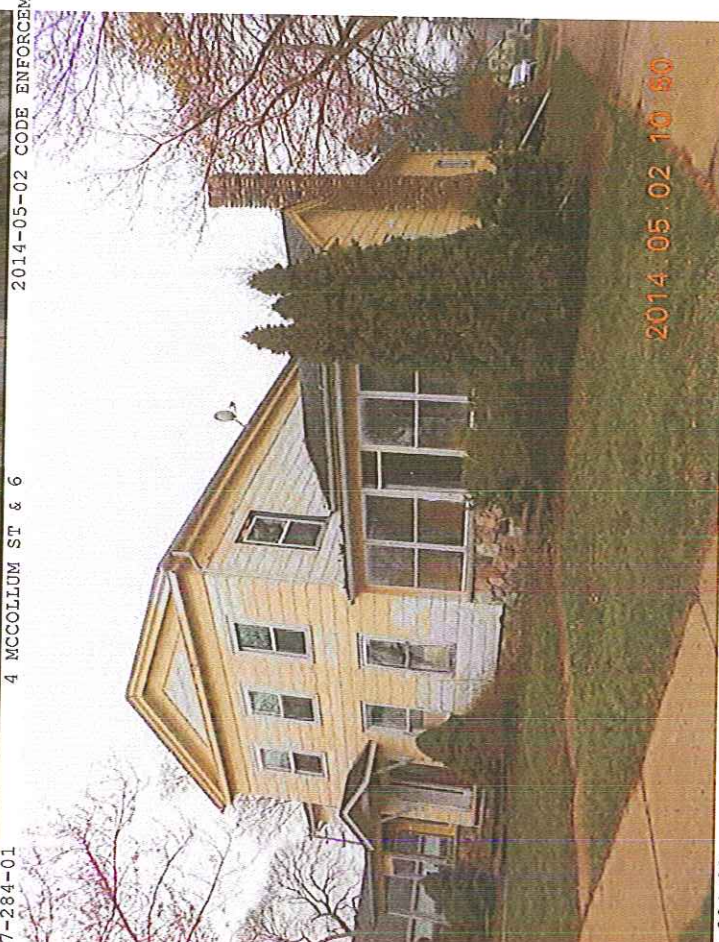
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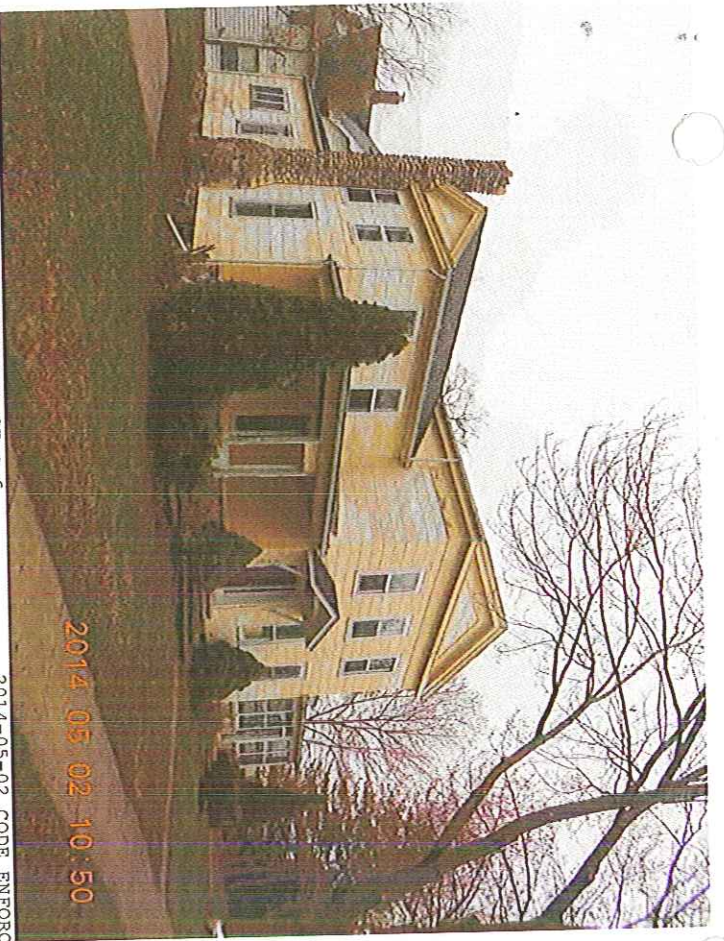
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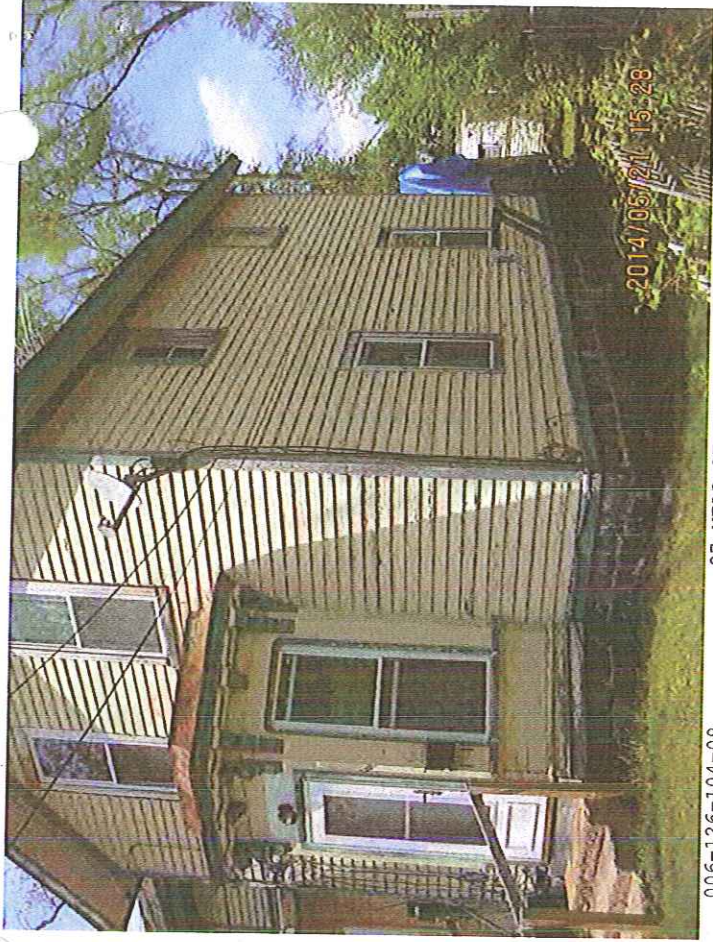


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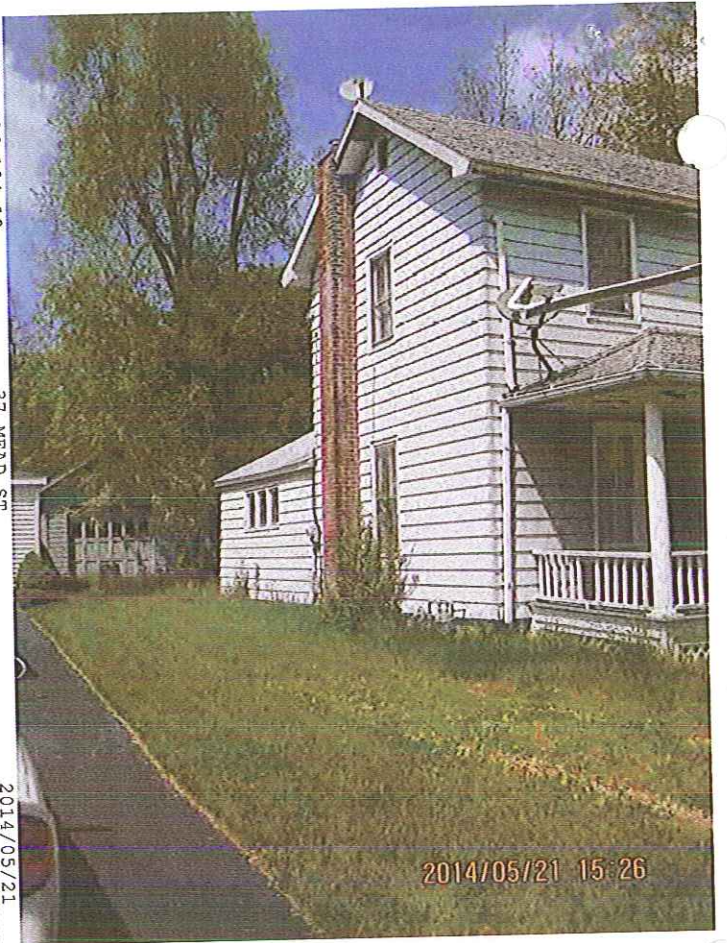


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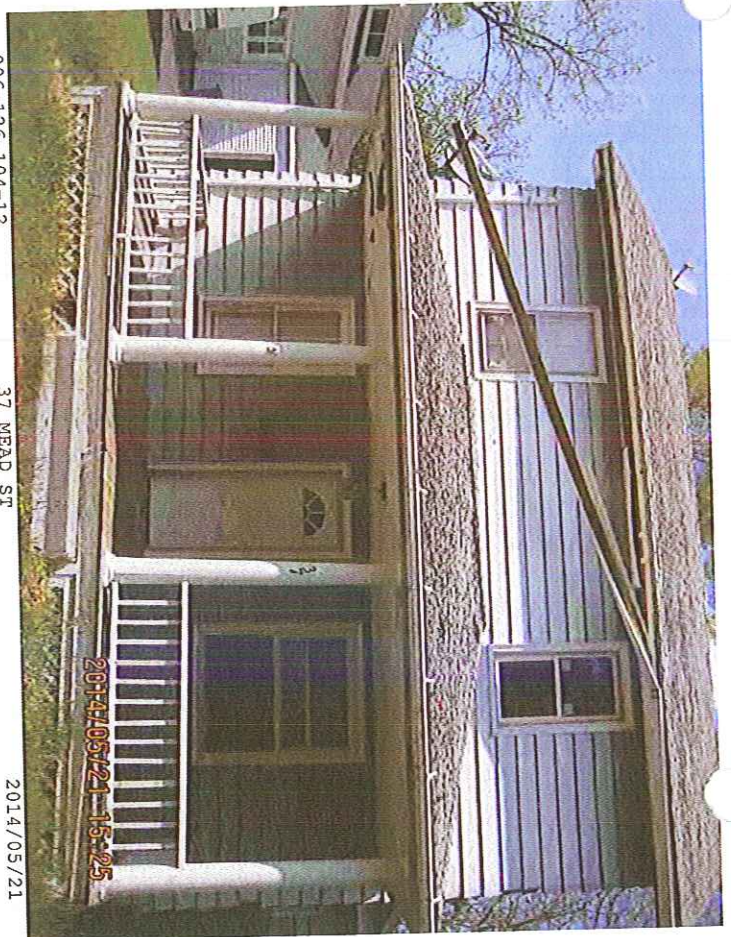
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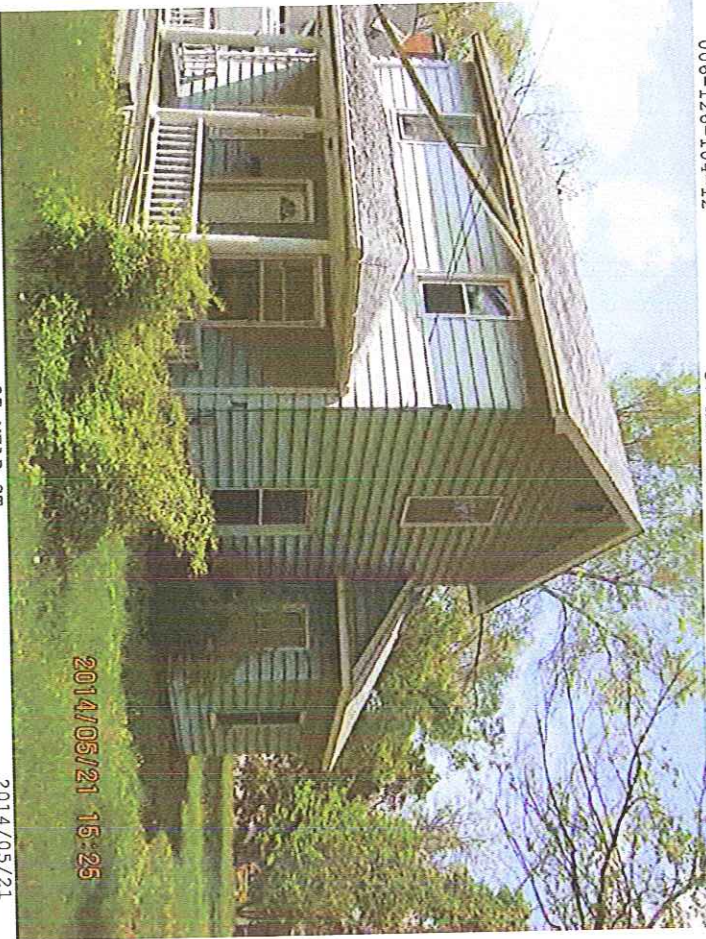
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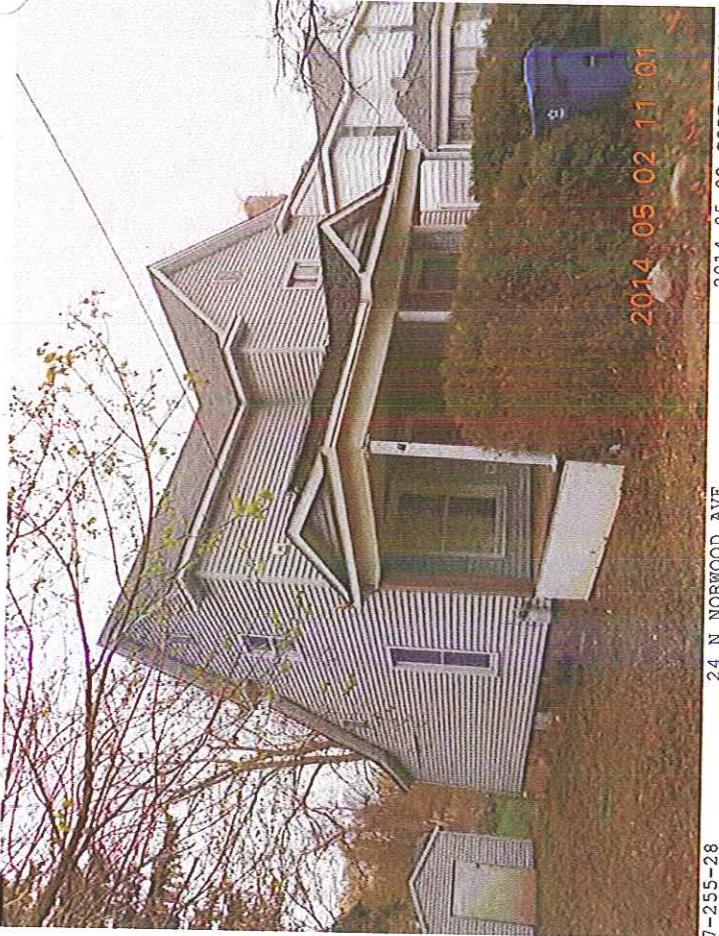
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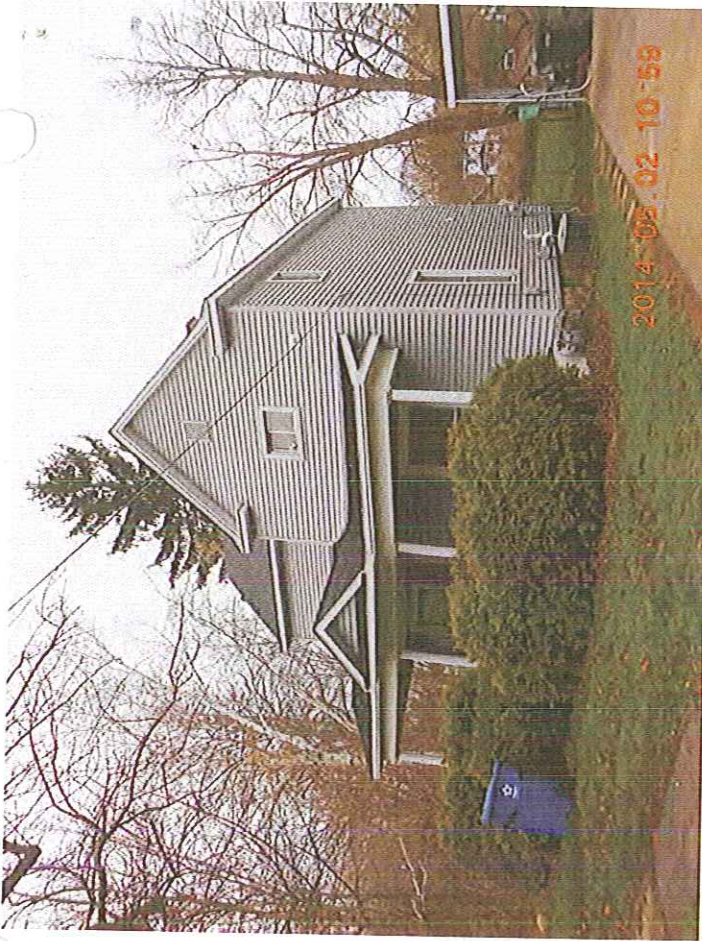
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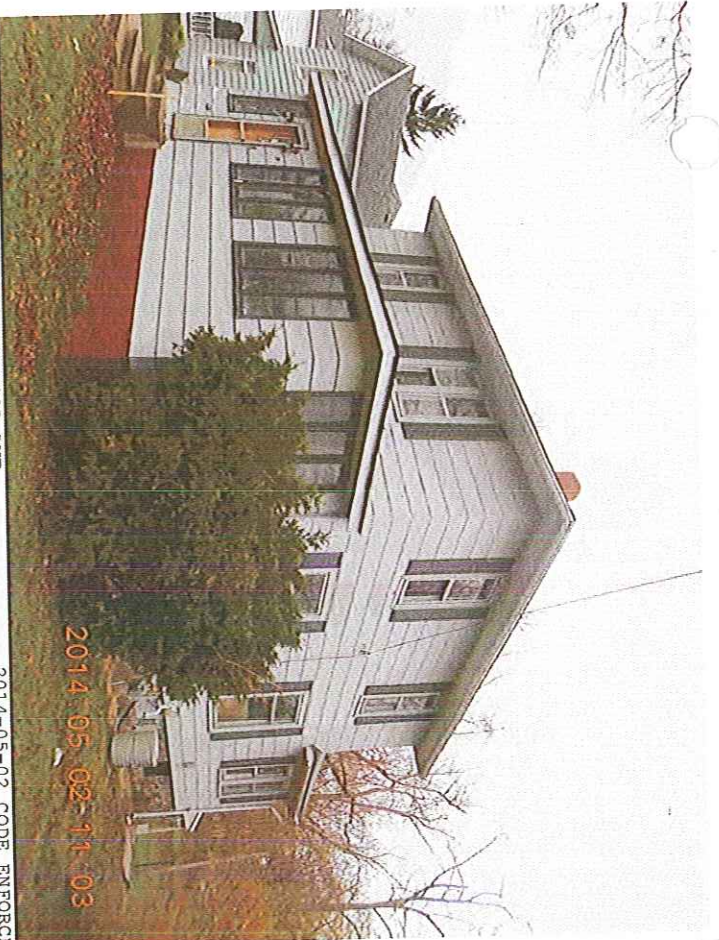
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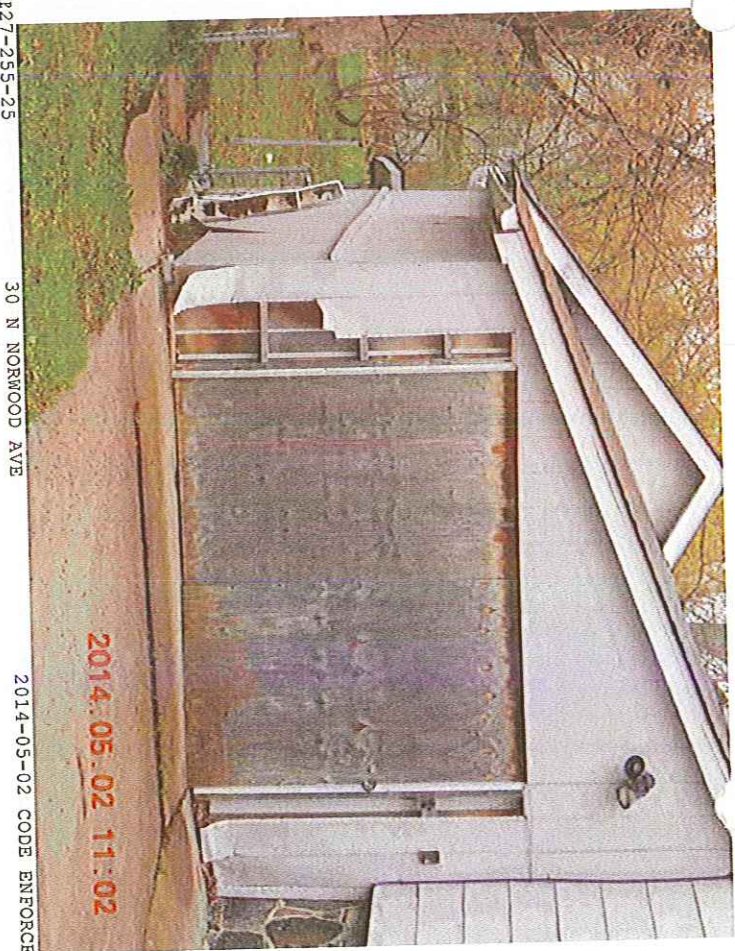
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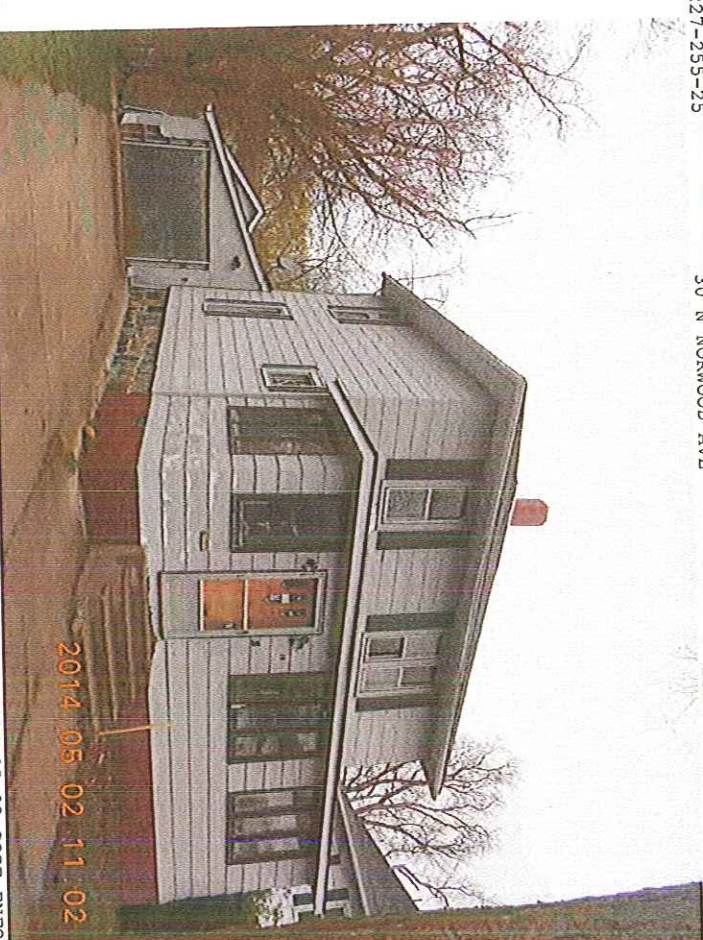
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-227-255-25

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27-276-18

65 N NORWOOD AVE & 65 1/2

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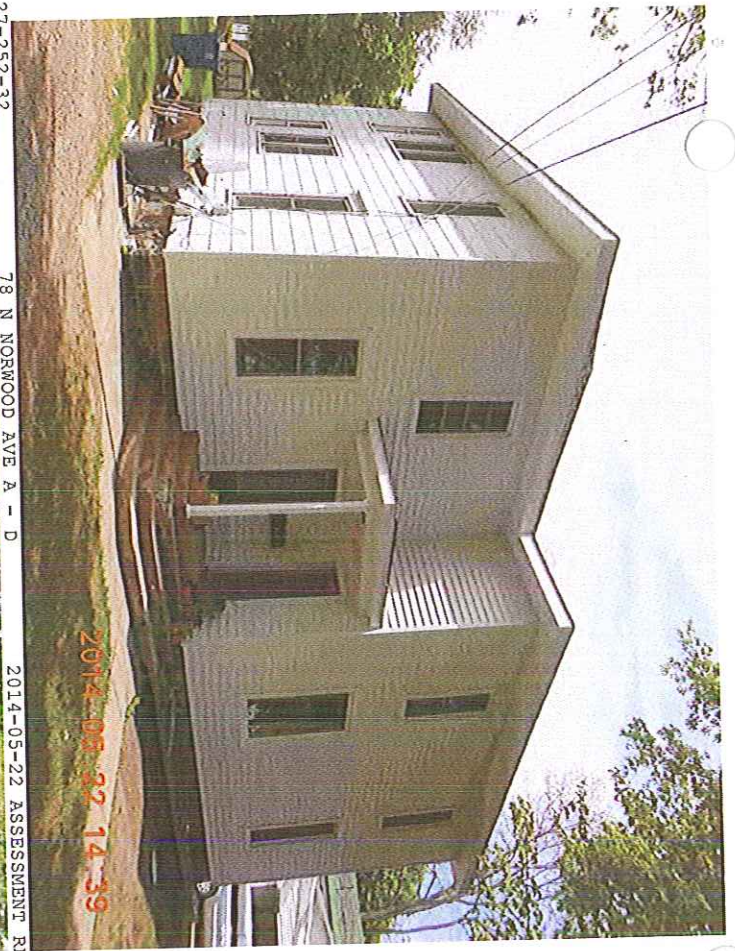


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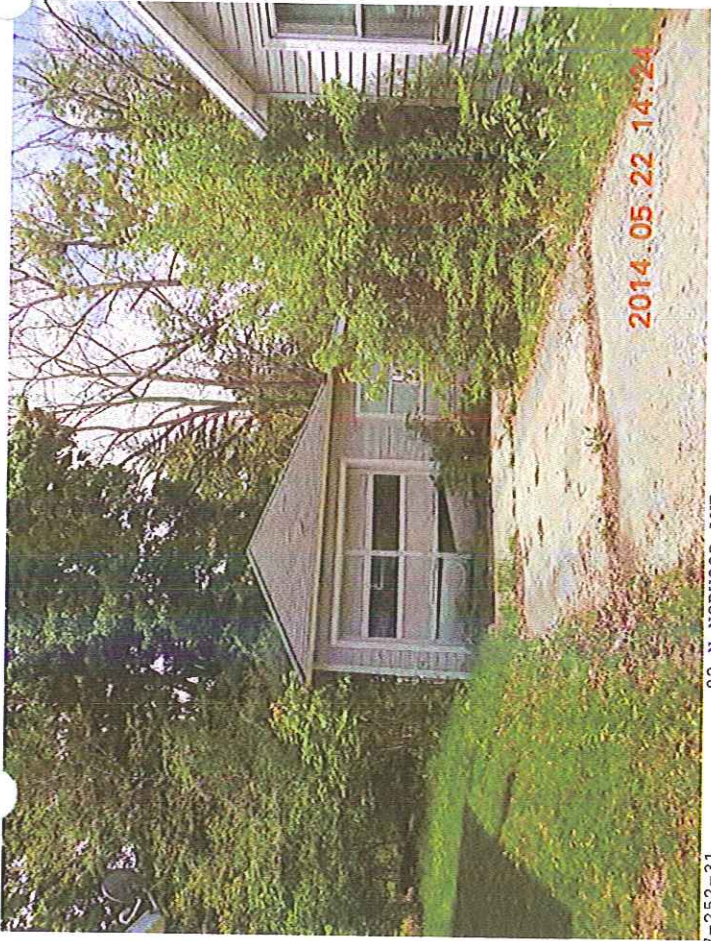
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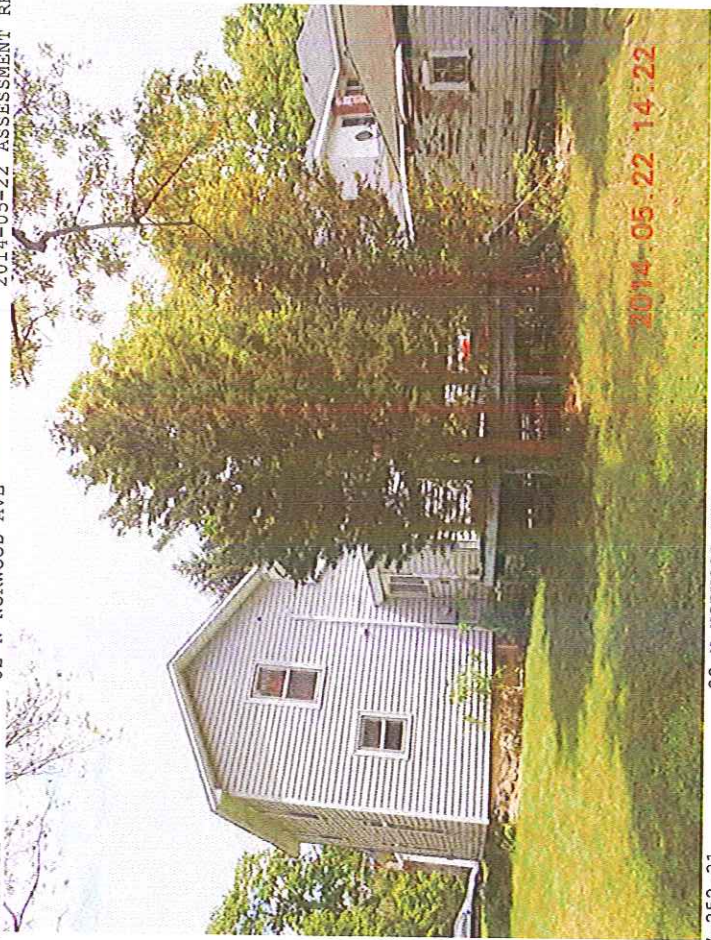
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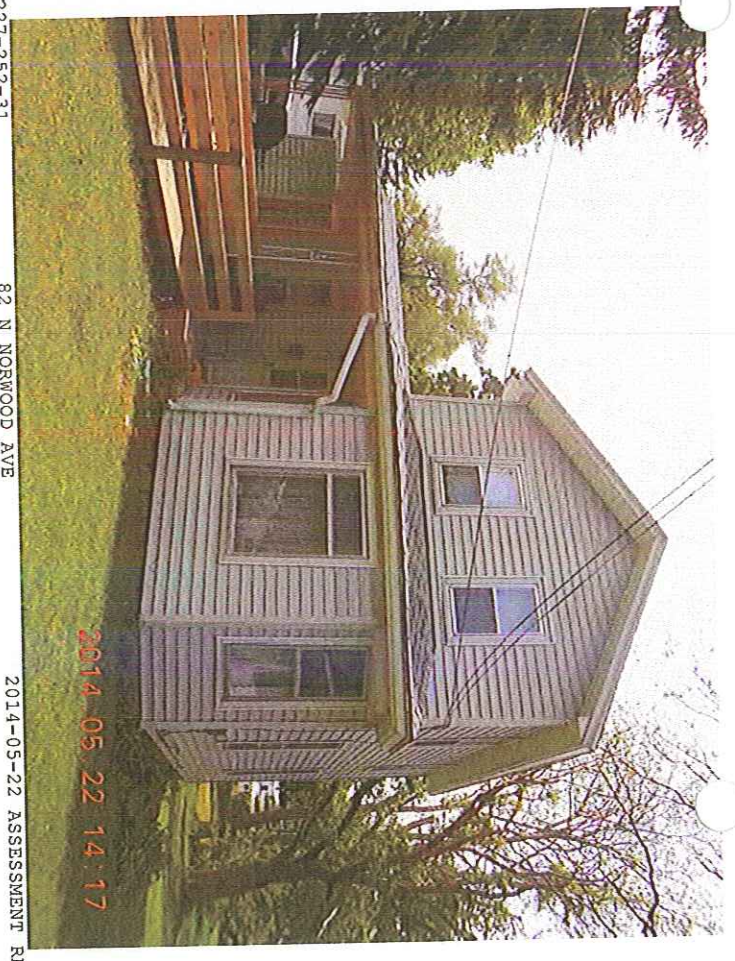


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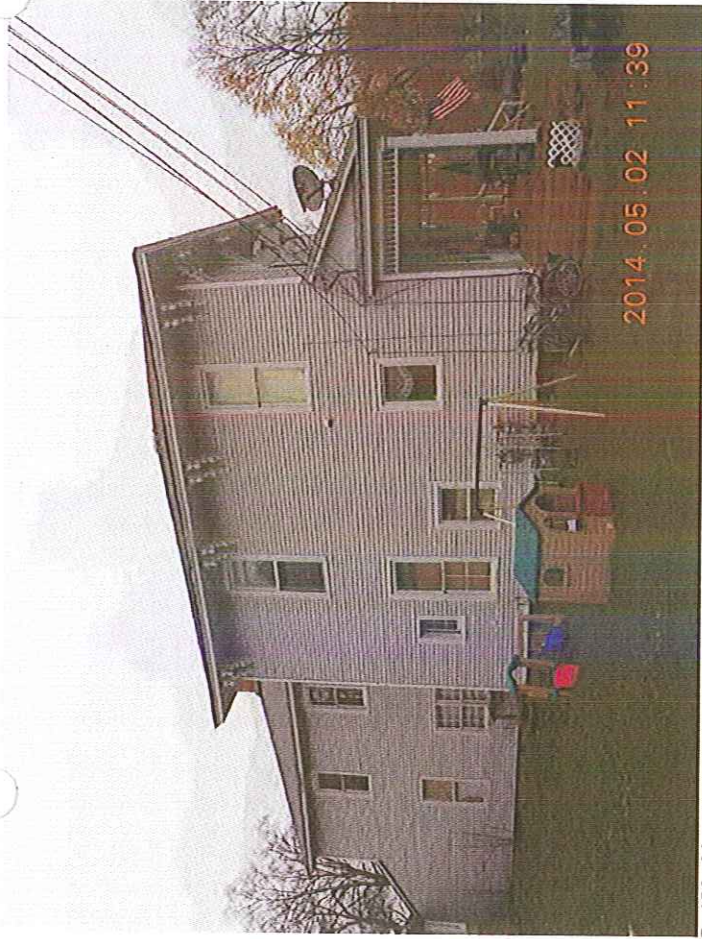
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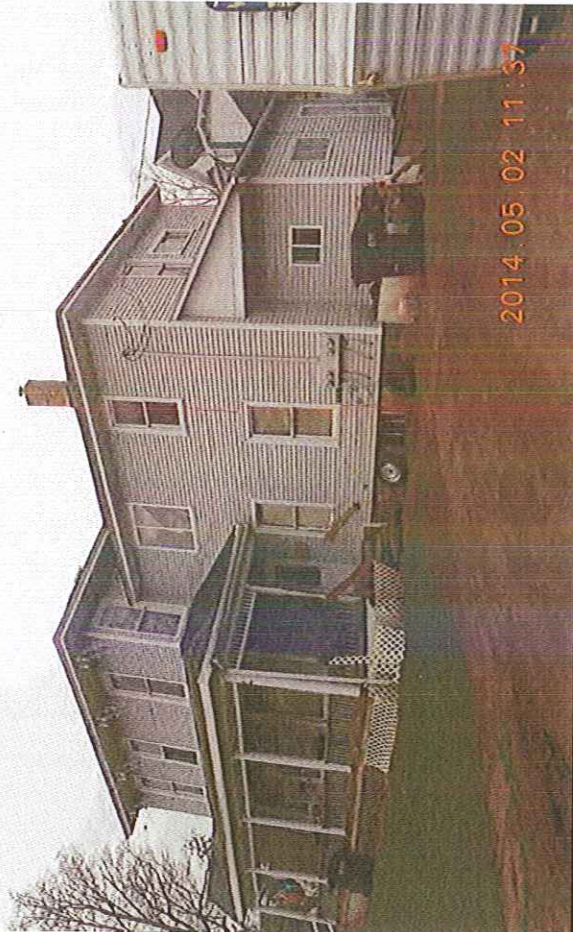
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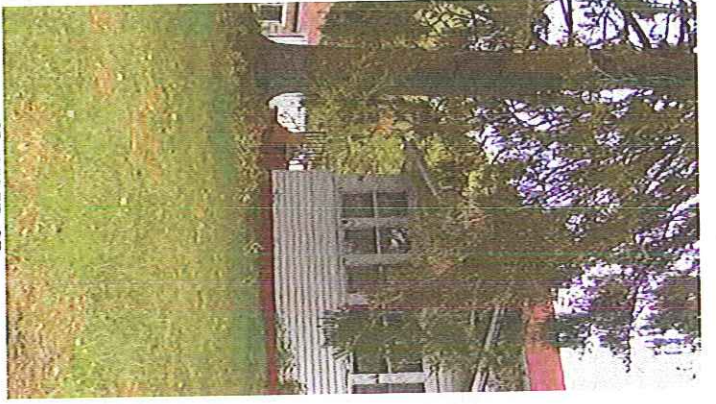


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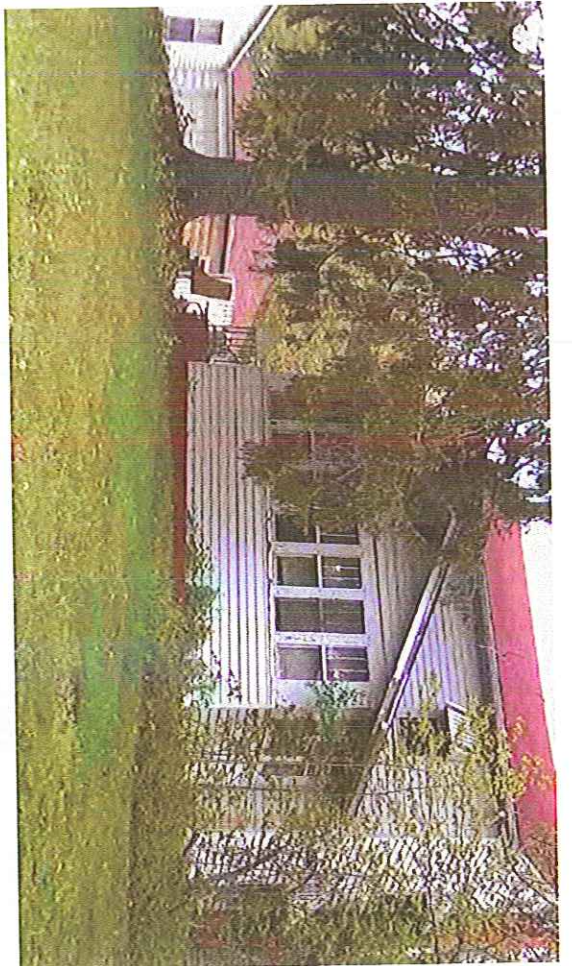
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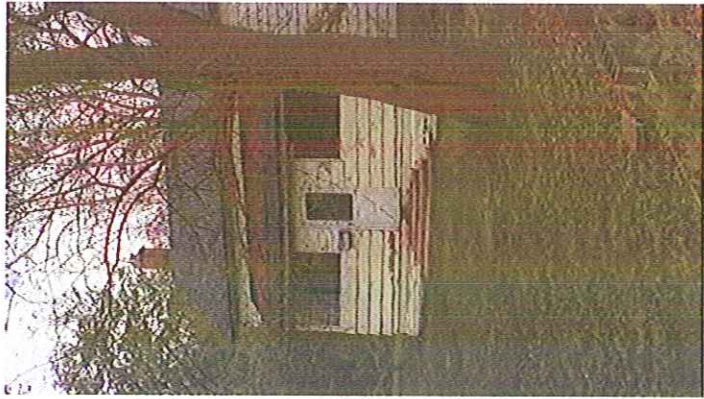


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006-126-129-24

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2014/5/14

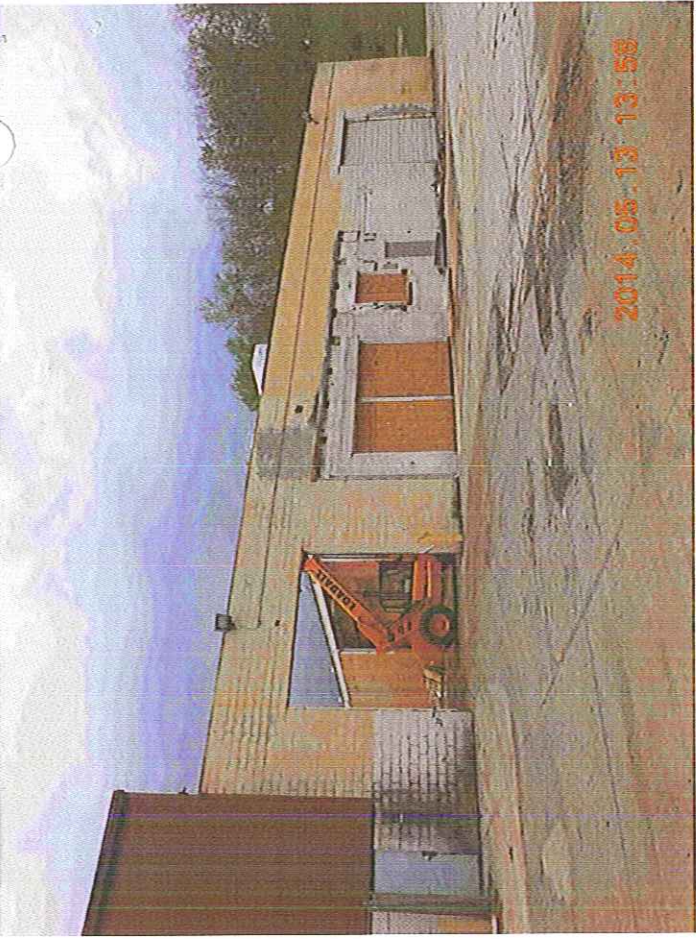


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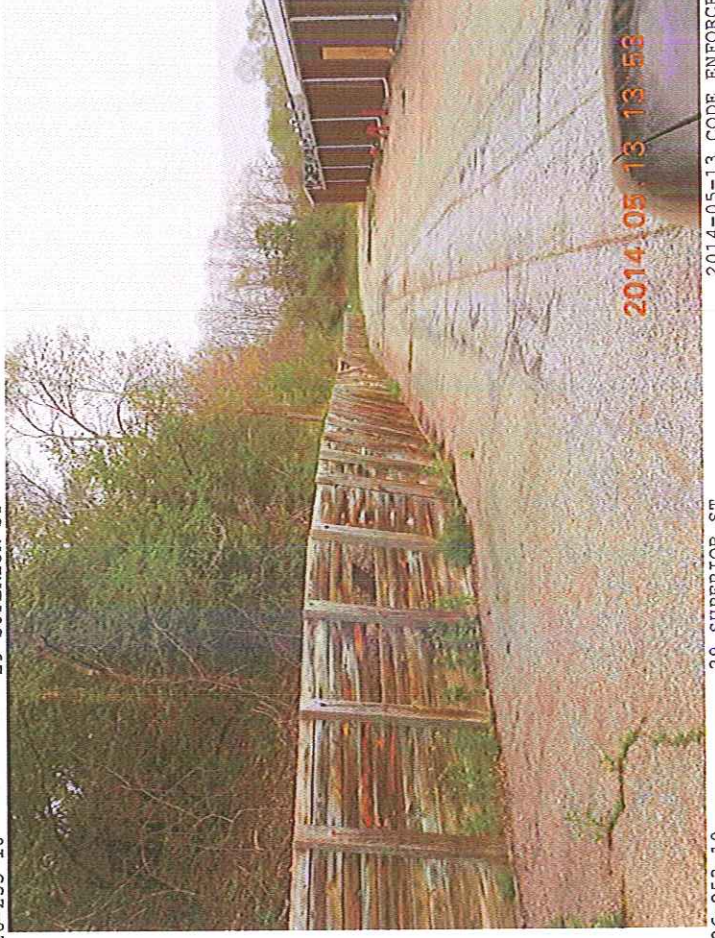
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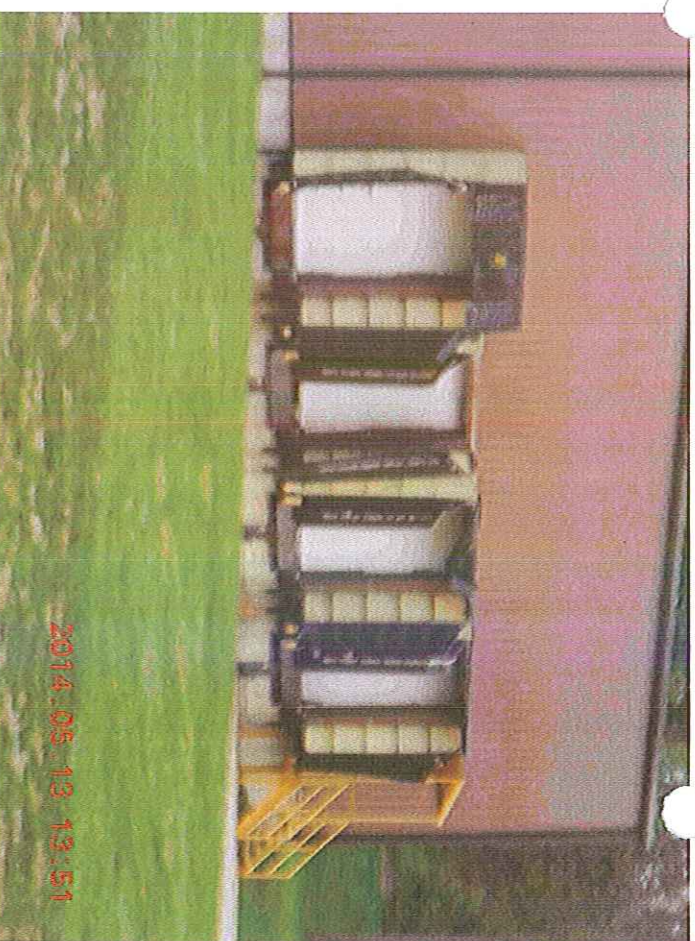
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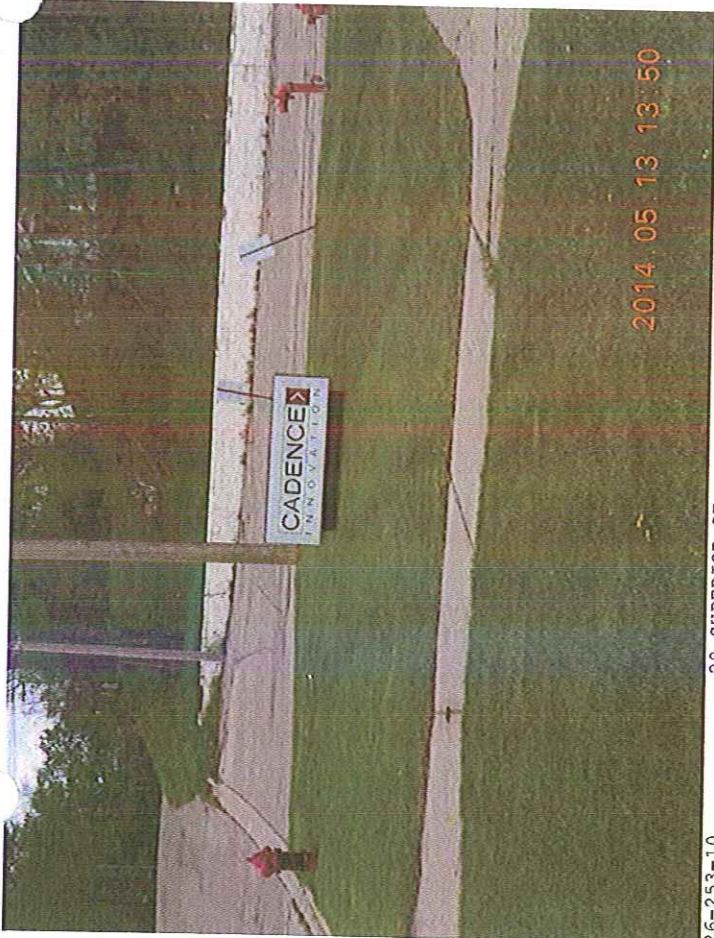
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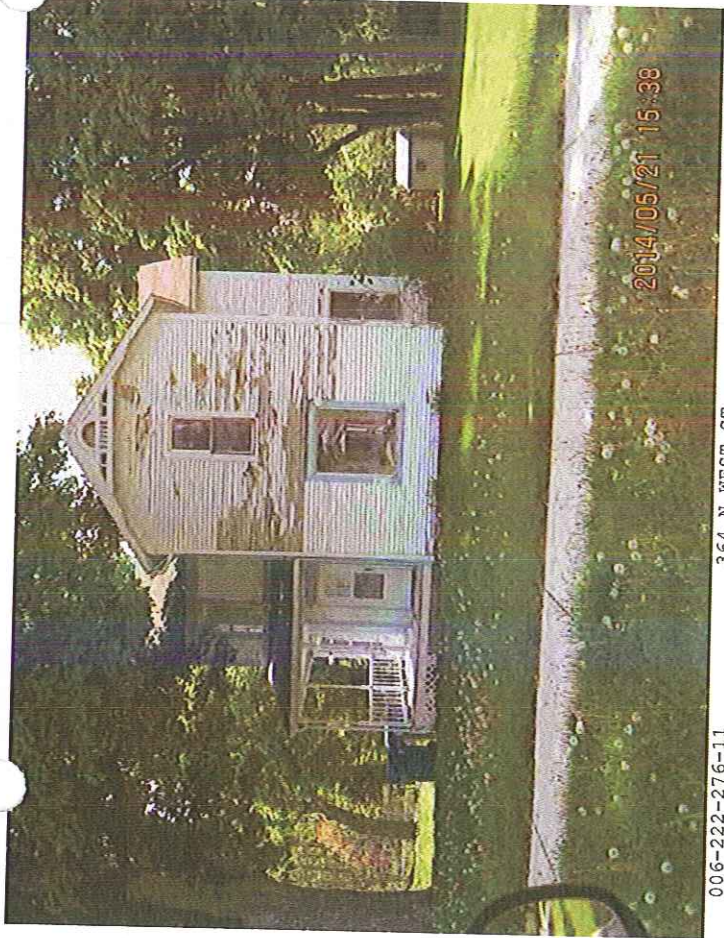
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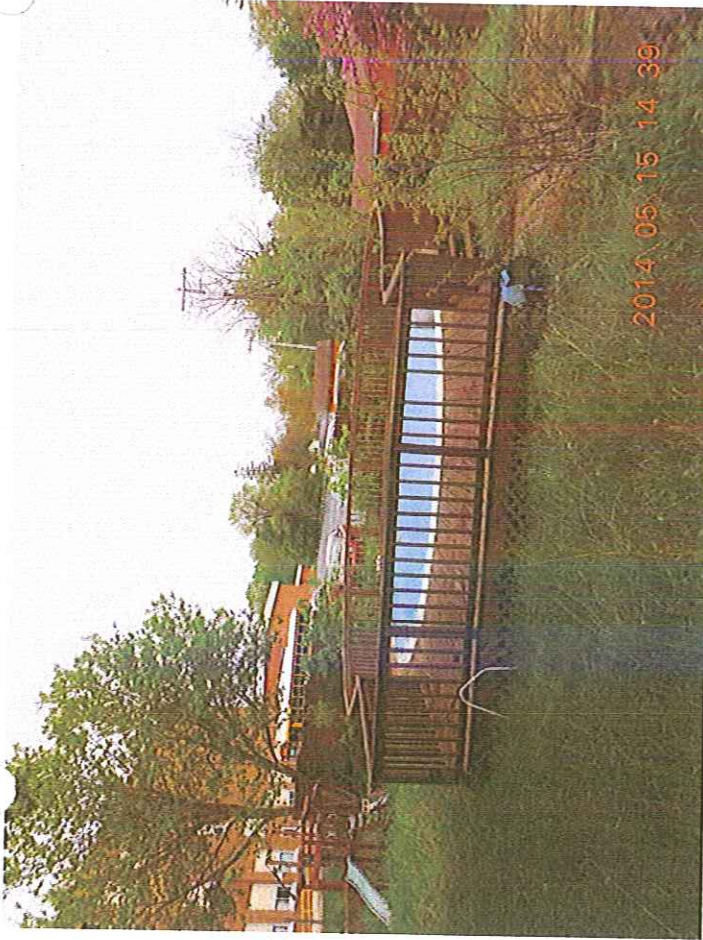
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27-280-04

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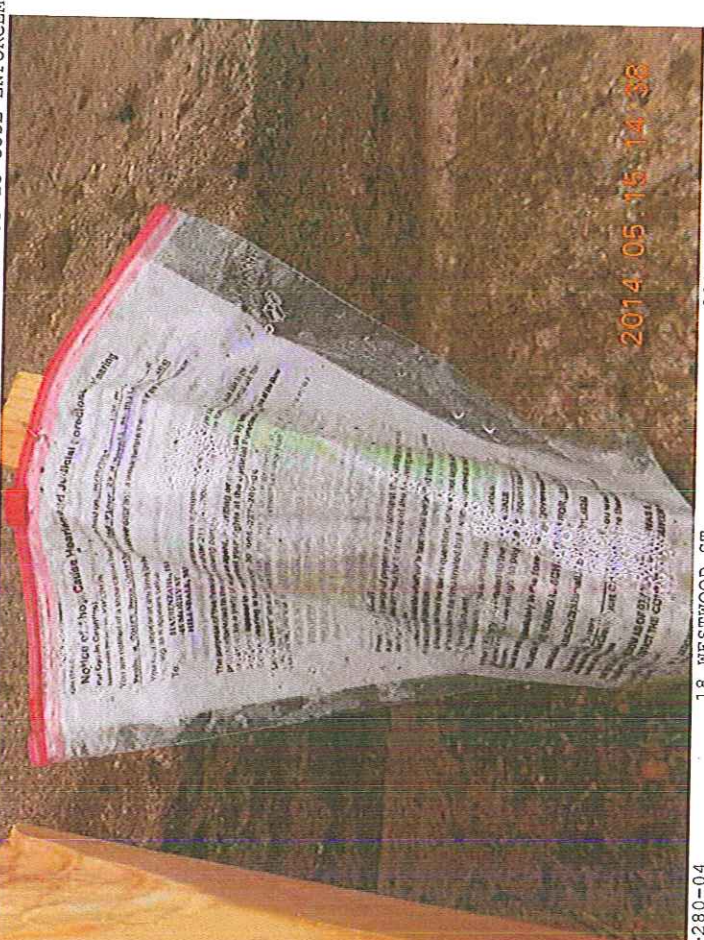


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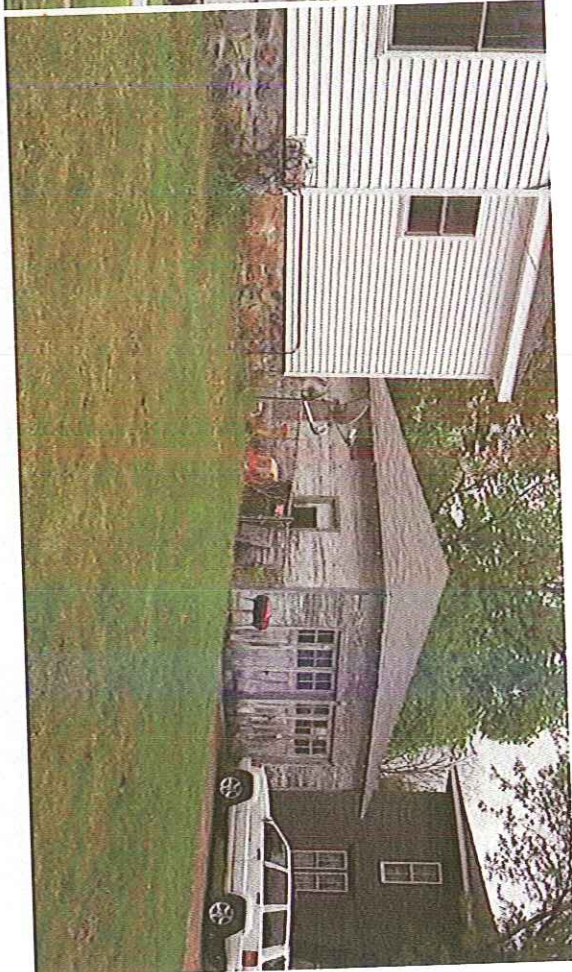
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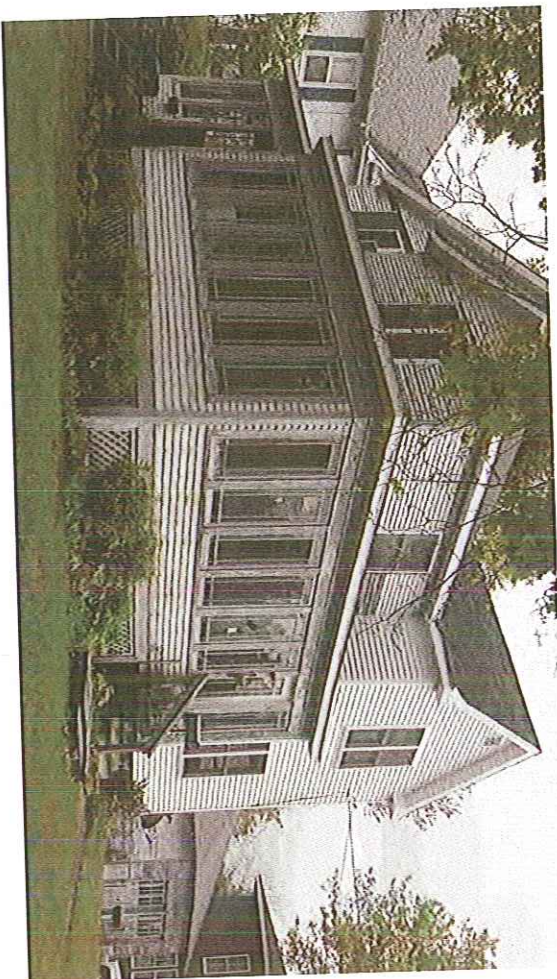
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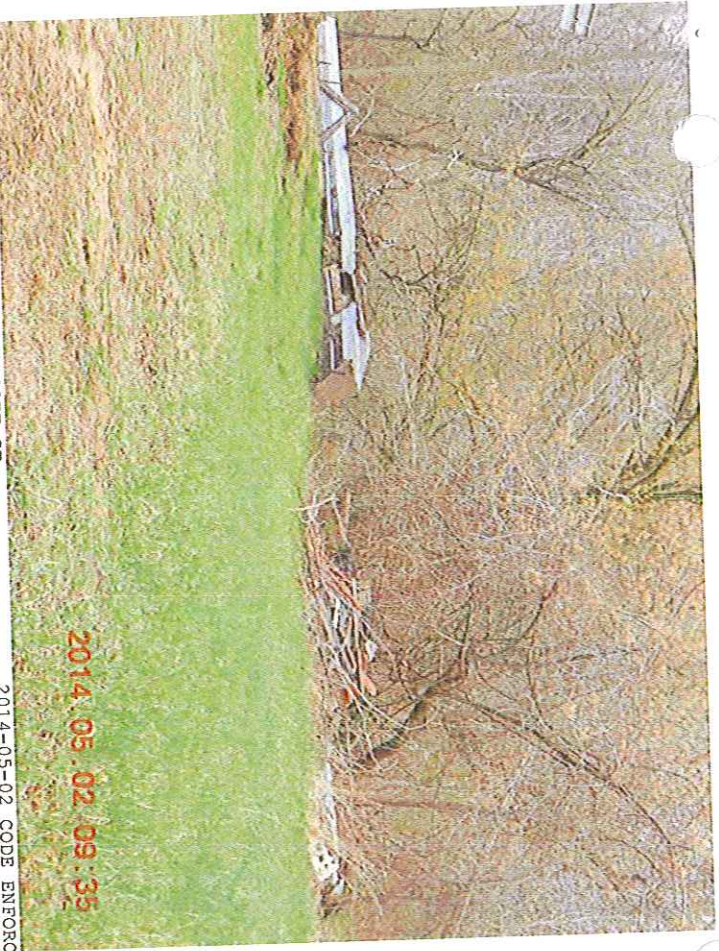
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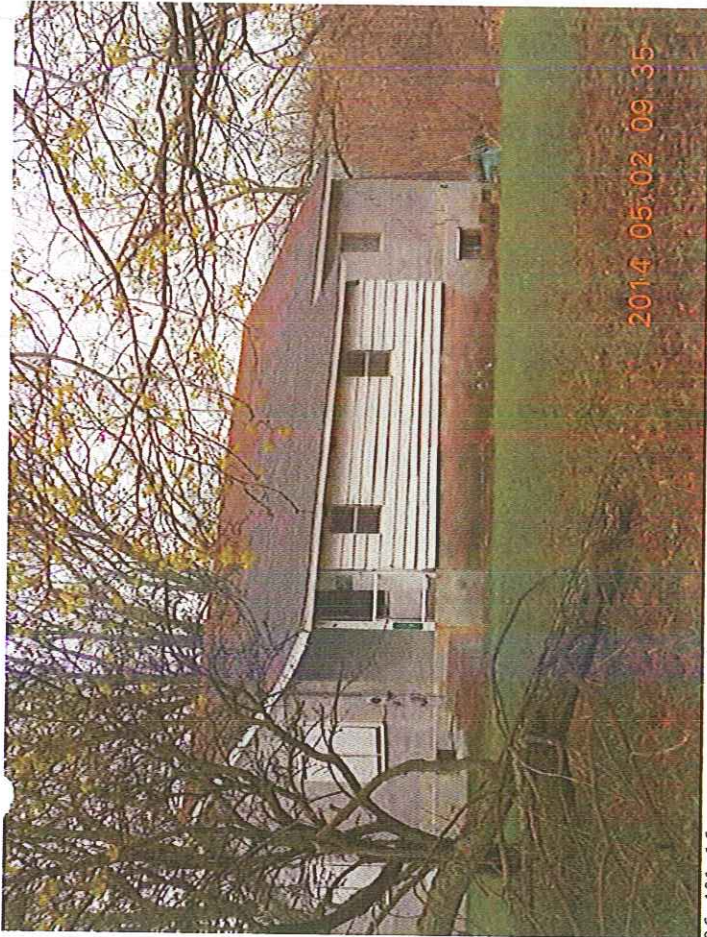
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10 S WOLCOTT ST

426-401-16

City of Hillsdale

Agenda Item Summary

Meeting Date: June 16, 2014

Agenda Item #10: New Business A – Ordinance Amendments

BACKGROUND:

Planning Commission has worked for a long time developing various ordinance changes. A summary of those changes is attached. Also attached is a memo from Zoning Administrator, Alan Beeker describing the changes being proposed.

RECOMMENDATION:

I recommend that Council receive the amendments as proposed and set July 7, 2014 at 7:00 p.m. as the date and time for the hearing on the proposed amendments. I also request that Council order publication of the summary of the proposed ordinance amendments.



TO: City Manager
FROM: Zoning Administrator
DATE: June 16, 2014
RE: Zoning Amendment Public Hearing

Background: Over the course of the last several months, the Planning Commission has been reviewing and amending several sections within the City of Hillsdale Zoning Ordinance. At this time, the Planning Commission is recommending that the Council set a date for a Public Hearing prior to the adoption of amendments to the Zoning Ordinance of the City of Hillsdale. Below is a list and brief description of the ordinances that the Planning Commission are recommending for adoption:

Section 36-32. Zoning Administrator Duties – currently, in the ordinance, the duties of the building inspector overlap with those of the zoning administrator. The city currently contracts with the county for the duties of the building inspector. The Planning Commission is proposing the ordinance be amended to remove the building inspector and replace with the zoning administrator. If the city hires a building inspector in the future it would be an appointment through the Single State Construction Code and within Code Enforcement and would remain separate from zoning. The City Attorney has reviewed the proposed amendments.

Section 36-5. Zoning Compliance Permit – currently the city requires a zoning compliance permit for the location, erection, construction, reconstruction, alteration, conversion, enlargement or movement of structures within the city. However, the ordinance does not specifically define what a zoning compliance permit is or when it is required. The Planning Commission is proposing that the zoning ordinance be amended to include the definition of and review process of the zoning compliance permit. The City Attorney has reviewed the proposed amendments.

Section 36-681. Fences – the definition of fences and the requirements for fences are deficient. The Planning Commission is proposing an amendment that replaces the existing fence definition and requirements with a much more comprehensive description. The City Attorney has reviewed the proposed amendments.

Division 15. C-1 College District – the definition and allowance for fraternities and sororities was added to the C-1 College District ordinance. The City Attorney has reviewed the proposed amendments.

RM-1 Multiple-Family Residential District – currently housing for multiple tenants that do not fall under the definition of single family are not allowed anywhere in the city. The Planning Commission is proposing that they be allowed in the RM-1 district. The Bed and Breakfast section of the RM-1 district was also amended as well as the setback requirements in the Section 36-411 Schedule of Regulations. The City Attorney has reviewed the proposed amendments.

Division 7. B-2 Central Business District – Amendments were made to the B-2 district to correspond with amendments made to the RM-1 district. Adding hotels to allowable uses within the B-2 district were also added. The City Attorney has reviewed the proposed amendments.

Chapter 26 – Sign Ordinance – The Planning Commission has been working on the new Sign Ordinances since 2009. After extensive review by the Zoning Administrator, City Attorney and the Planning Commission as a whole, the new City of Hillsdale Sign Ordinance is now referred to the City Council for final review and adoption.

The Zoning Administrator requests that City Council set a Public Hearing date for the Council meeting to be held on July 7, 2014.

City of Hillsdale Agenda Item Summary

Meeting Date: June 16, 2014

Agenda Item #10: New Business B – Contract for Professional Engineering Services
RS&H Michigan, Inc. - Airport

BACKGROUND:

Council recently entered a contract with MDOT Aeronautics to fund the engineering for the entrance road and the partial parallel taxiway. That work will be performed by RS&H Michigan, Inc. for a total fee of \$83,500. The recent contract put \$86,050 in funding in place. The City's share will be \$3,950 and that amount is in the Airport Improvement Fund.

RECOMMENDATION:

I recommend that Council signatures of the Mayor and Clerk on the attached contract which has been approved by the City Attorney.

October 2008

CONTRACT FOR PROFESSIONAL ENGINEERING SERVICE

This Contract is made and entered into this _____ day of _____, in the year 20____ by
and between the Airport Owner, hereinafter referred to as SPONSOR,

City of Hillsdale

97 Broad Street

Hillsdale, Michigan 49242

and the Engineer, hereinafter referred to as the CONSULTANT,

RS & H Michigan, Inc

827 Willow Run Airport, 2nd Floor

Ypsilanti, Michigan 48198

for the following PROJECT:

Location: Hillsdale Municipal Airport

Hillsdale, Michigan

Description: Parallel Taxiway and Entrance Road Design

(See Attachment D - Sketch for Location of Work Areas.)

WHEREAS, the SPONSOR desires to engage the CONSULTANT to perform professional engineering services for the described project;

WHEREAS, the SPONSOR has caused a review to be made of the qualifications of the CONSULTANT and is satisfied the CONSULTANT is competent and qualified;

WHEREAS, the CONSULTANT is willing and able to accomplish the services provided and set forth hereinafter in this Contract;

WHEREAS, the SPONSOR will compensate the CONSULTANT, in accordance with the terms and conditions set forth in this Contract.

NOW, THEREFORE, the parties agree to the following:

ARTICLE 1 - DESCRIPTION OF WORK TO BE DONE

The services to be furnished by the CONSULTANT to the SPONSOR, as set forth in Attachment E, Scope of Work/Services, together with obligations of the SPONSOR or the SPONSOR's Agent (Michigan Department of Transportation (MDOT), Office of Aeronautics), hereinafter referred to as AERO, will contain certain information and data which will consist of the following described elements. Additional explanations are included in Attachment E.

DESIGN PHASE (1)

Element 1.11 - Pre-Design Conference

A pre-design conference called by the SPONSOR will be held between the SPONSOR, the CONSULTANT, and any other participating or regulatory governmental agency. This pre-design conference will be held for the express purpose of having the CONSULTANT ascertain from responsible representatives of each group, the SPONSOR and all participating governmental agencies, their individual project requirements affecting the scope of work, budget, design standards, presentation of final plans, and documents. The requirements set forth in this pre-design conference will be confirmed in writing by the CONSULTANT to the SPONSOR, with copies to each participating unit of government.

Element 1.12 - Engineering Survey

The CONSULTANT will determine the areas to be covered and make the necessary engineering field surveys to determine existing and topographical conditions, earth work, drainage, pavement conditions, structural elevations, and field testing as may be required to complete plans and specifications.

Element 1.13 - Detailed Construction Plans and Specifications

Plans and specifications will be certified by the CONSULTANT for compliance with current Federal Aviation Administration (FAA) and AERO requirements in effect at the time the plans and specifications are prepared. The CONSULTANT will prepare and furnish to the SPONSOR and AERO, in paper format, one copy of the final detailed construction plans and specifications for the work described above, presented on drawings (22" x 34") and other necessary documentation (8-1/2" x 11"). This will include but is not limited to; grading, drainage, paving, lighting, turf establishment, structures, construction safety phasing, etc. The documents will set forth, in detail, requirements for prospective bidders to submit proposals and the successful bidder to construct the project. Plans and specifications will comply with the requirements established in the pre-design conference, if applicable, together with the common practice of design and ethical practices of professional engineers. The CONSULTANT will also furnish one set of review plans if requested.

All projects bid through the MDOT letting will also include two electronic files in portable document format (pdf) along with a signed and sealed paper title sheet. The electronic files will be set up to print clearly in scalable 11" x 17" and 22" x 34" plan sheets.

Element 1.14 - Estimate of Probable Construction Cost

The CONSULTANT will prepare and submit to both the SPONSOR and AERO one copy of a detailed estimate of construction costs based upon the detailed plans and specifications prepared under Element 1.13. This statement of probable construction cost prepared by the CONSULTANT represents the CONSULTANT's best judgment as a design professional at the

time the estimate is finalized. This estimate will include the estimated amount for CONSULTANT services during construction. It is recognized, however, that neither the CONSULTANT nor the SPONSOR has any control over the cost of labor, materials, or equipment; over the contractor's method of determining bid prices; or over competitive bidding or market conditions. Accordingly, the CONSULTANT cannot and does not guarantee that bids will not vary from any statement of Probable Construction Cost or other cost estimates prepared by the CONSULTANT.

Element 1.15 - Engineering Report

The CONSULTANT will prepare and furnish to both the SPONSOR and AERO one copy of an engineering report which relates to the SPONSOR and participating governmental agencies the fundamental considerations and concepts used in design of the project. This report will include the basic design factors for drainage, pavement design, and scheduling of the various phases of the project during construction as may be required to maintain both ground and air traffic. Deviation in design and construction standards will be included in the engineering report.

Element 1.16 - Users Conference (if required)

The CONSULTANT will prepare for the SPONSOR an estimated time schedule to be followed during the construction period. This estimated time schedule of construction will be presented by the SPONSOR and the CONSULTANT in a meeting with airport users. The CONSULTANT will furnish one copy of the estimated time schedule to the SPONSOR for printing and disbursement to the users by the SPONSOR. However, it is recognized that neither the CONSULTANT nor the SPONSOR has absolute control over the estimated time schedule presented to any person, group, or organization.

Element 1.17 - Obligations of SPONSOR or AERO to CONSULTANT

When requested by the CONSULTANT, one copy of all existing data applicable to this project and in the possession of the SPONSOR or AERO or any other agency of government will be furnished at no cost to the CONSULTANT. Existing data will include but not be restricted to the following:

- 1) As-constructed plans.
- 2) Pavement design data/pavement condition index.
- 3) Soil borings, analysis, and classification.
- 4) Drainage design data.
- 5) Topographic notes and maps.
- 6) Approach data and zoning maps.
- 7) Property maps, including fee ownership and easements, and land descriptions.
- 8) All local, state, federal ordinances, regulations, or laws affecting the project.
- 9) Aerial photography, prints, topographic maps, etc.

The SPONSOR or AERO will furnish for projects bid by MDOT, at no cost to the CONSULTANT, standard contract documents for bidders, including but not restricted to the following:

- 1) Notice to contractors (including advertising charges).
- 2) Instructions to bidders.
- 3) All federal, state, or local wage rates as applicable to this project.

- 4) General provisions of the contract.
- 5) Supplemental provisions of the contract.
- 6) Special provisions of the contract (except as may be supplemented by the CONSULTANT).
- 7) Standard construction specifications (except as may be supplemented by the CONSULTANT).
- 8) Standard supplemental specifications (except as may be supplemented by the CONSULTANT).
- 9) Standard testing requirements (except as provided by the CONSULTANT).
- 10) Proposal.
- 11) Construction contract.
- 12) Form of performance and lien bond.
- 13) Reproducible copies of all standard plans to be incorporated in the contract plans and documents.

The SPONSOR or AERO, at no cost to the CONSULTANT, will furnish the location for the receipt of bids, the tabulation and recording of bids, the disbursement of information before and after the bid process, and the award of construction contracts.

All such services, data, information, and documents furnished by the SPONSOR or AERO will be furnished at the SPONSOR's expense.

Element 1.18 - Conferences and Meetings

The following conferences and meetings will be attended by the CONSULTANT and the SPONSOR at the location indicated for the purpose of coordination, information, and understanding.

- 1) Pre-Design Conference as provided under Element 1.11 to be called by the SPONSOR and to be held at the project site.
- 2) Progress meetings to be determined by the SPONSOR will be held at the office of the SPONSOR and attended by the CONSULTANT to apprise the SPONSOR of progress, to resolve any problems, to answer questions, and for general coordination.
- 3) Upon completion by the CONSULTANT of final plans, specifications, cost estimates, and engineering report, the CONSULTANT will submit copies to the participating governmental agencies for approvals as required. After reasonable time for review by the SPONSOR and participating governmental agencies, a meeting called by the SPONSOR may be held to review final plans with the SPONSOR and participating governmental agencies at the project site.
- 4) Upon determination of the estimated construction time schedule, a users conference as provided under Element 1.16 is to be called by the SPONSOR, to be held at a location designated by the SPONSOR.
- 5) Upon advertising the project for bids, the CONSULTANT and the SPONSOR or AERO will hold a pre-bid meeting or briefing with the prospective bidders at the project site to explain the project to the bidders and answer questions from prospective bidders. Any addendum information necessary will be submitted in a timely manner to the bidding agency by the CONSULTANT. In addition, any bids over the engineers' construction estimate by ten (10) percent or more will be sufficiently justified before proceeding with award or recommended rejected by the CONSULTANT.

CONSTRUCTION PHASE (2)

Element 1.20 - Sufficient Personnel

The CONSULTANT will provide sufficient personnel and services necessary to comply with AERO Project Engineers Manual, the latest revision at the time this Contract is awarded.

Element 1.21 - Pre-Construction Conference

A pre-construction conference called by the SPONSOR or AERO will be held between the SPONSOR, the FAA (if applicable), AERO, any other participating or regulatory governmental agencies, the Contractor(s) and the CONSULTANT. This pre-construction conference will be held for the Contractor and CONSULTANT to receive instructions from the SPONSOR and participating/regulatory governmental units, to develop construction schedules, and to coordinate construction.

Element 1.22 - General Information and Coordination

The CONSULTANT will provide information and coordination to the SPONSOR and Contractor as to the understanding of the plans and specifications. The CONSULTANT will not guarantee the performance of the Contractor but will report to the SPONSOR any work and materials which, in the opinion of the CONSULTANT, do not meet the requirements of the plans and specifications. The CONSULTANT will not be responsible for any acts of the Contractor whatsoever but will only pay the contractor for work performed that meets the requirements of the plans and specifications.

Element 1.23 - Engineering Survey and Layout as May be Applicable

The CONSULTANT will take original ground elevations in areas of excavation for the purpose of determining pay quantities for excavation. The CONSULTANT will stake out the work for line and grade. The stake out will consist of one set of earth grade stakes spaced not more than one hundred feet apart, with cut or fill from top of stake to the earth grade marked on the stake; slope stakes around the perimeter of grade; one set of offset stakes for drainage spaced not more than twenty-five (25) feet apart with offset distance to center of pipe and flowline of pipe marked on the stake; one set of blue top stakes driven to grade spaced not more than fifty (50) feet apart for finish base course or pavement grade; and one offset line along the edge of pavement denoting location of each light fixture. All bench marks and alignment P.O.T.'s will be available to the Contractor for his reference and checking of the CONSULTANT's stakes. The CONSULTANT will not be responsible for setting stakes other than described above, for any stakes disturbed, and any stakes set by others including bench marks and P.O.T.'s.

Element 1.24 - Materials Testing and Shop Drawings

The CONSULTANT will review and approve material testing reports submitted by the Contractor to determine if test reports meet the requirements of the specifications and will submit two copies of material testing reports to the SPONSOR or AERO. The CONSULTANT will review and approve shop drawings to determine compliance with plans and specifications and will submit two copies of all shop drawings to the SPONSOR or AERO.

Element 1.25 - Field Tests and Grade Inspection as May be Applicable

The CONSULTANT will make periodic field tests and grade inspection at the project site to

determine, in the opinion of the CONSULTANT, if materials and workmanship conform to the plans and specifications. Field tests will include compaction tests for soils in place; gradation tests for aggregates; extraction tests for bituminous mixtures and compaction tests for in-place bituminous pavements; and slump, entrained air, and yield tests for concrete pavement.

Element 1.26 - Cost Estimate and Change Orders/Contract Modifications

The CONSULTANT will prepare periodic cost estimates, change orders/contract modifications, and stop and start orders as may be applicable during the construction period and present three copies of the same to the SPONSOR or AERO for approval and processing. All projects bid through MDOT lettings will have all estimates and contract modifications processed using the FieldManager computer program.

Element 1.27 - Weekly Reports

The CONSULTANT will prepare FAA Form 5370-1, Construction Progress and Inspection Report or FieldManager inspector daily reports, and submit copies to the SPONSOR or AERO weekly during the construction period.

Element 1.28 - Final Inspection

The CONSULTANT will be present at final inspection, together with the SPONSOR, AERO, participating governmental units, and the Contractor.

Element 1.29 - Final Quantities - As-Constructed Plans

The CONSULTANT will compute final pay quantities, prepare as-constructed plans, and update all plan sheets of the current Airport Layout Plan (ALP) that shows work constructed under the project. The As-Constructed Plans will be submitted to the SPONSOR and AERO for approval in an electronic pdf file. The updated ALP will be submitted in paper (22"x 34") and in an electronic pdf file to the SPONSOR and AERO.

Element 1.30 - Equipment

The CONSULTANT will furnish all necessary surveying and field testing equipment to accomplish the above named work.

SUBCONSULTANT SERVICES (3)

Element 1.31 - Subconsultant Service

Any services to be provided by subconsultants will be provided for in a subconsultant agreement, which will meet the written approval of the SPONSOR. Costs of subconsultant services will be included in Element 3.1 - Fee. The CONSULTANT will not apply a fixed fee on any of the costs for subconsultant services.

ARTICLE 2 - TIME OF BEGINNING AND COMPLETION

DESIGN PHASE (1)

Element 2.11 - Time of Beginning

Upon acceptance of this Contract by both the SPONSOR and the CONSULTANT, the CONSULTANT will have seven (7) days from the date of notification to proceed in which to

organize and actually commence work.

Element 2.12 - Time for Completion

The estimated time for the CONSULTANT to complete the work named in Element 1.11 through Element 1.18 of this Contract, and to submit final plans to the SPONSOR for the SPONSOR's approval is Sixty (60) calendar days from the date the CONSULTANT actually starts work. The CONSULTANT will report his progress to the SPONSOR at the monthly progress meetings, as required under Element 1.18, to keep the SPONSOR informed of progress and any adjustments to the estimated time schedule which may be necessary because of information supplied to the CONSULTANT by the SPONSOR or AERO, as provided under Element 1.17, or any other reasons beyond the control of either the SPONSOR or the CONSULTANT. Changes in time for completion will be in accordance with Element 4.4.

CONSTRUCTION PHASE (2)

Element 2.21 - Time of Beginning

Provided the Notice to Proceed is issued sufficiently in advance of the start of construction, the CONSULTANT will begin work seven (7) days prior to the effective date of the Notice to Proceed to the Contractor. If not, the CONSULTANT will coordinate the beginning of work with the work of the construction contractor.

Element 2.22 - Time for Completion

The CONSULTANT will finish all work under this Contract within thirty (30) days after final acceptance of the construction work by the SPONSOR.

ARTICLE 3 - PAYMENT

Element 3.1 - Fee

The SPONSOR agrees to pay the CONSULTANT as full compensation for services rendered as set forth in this Contract as follows:

Phase 1 Design

Elements 1.11, 1.12, 1.13, 1.14, 1.15, 1.16, 1.18 and 1.31 a firm fixed fee of \$83,500.00. A breakdown of the cost is included as Attachment C.

The SPONSOR will compensate the CONSULTANT for requested printed materials in excess of those identified, in accordance with the following:

Black Print Plan sheets (22" x 34")	\$2.50 /sheet
Black Print on White Paper (11" x 17")	\$0.50 /sheet
Black Print on White Paper (8.5" x 11")	\$0.25 /sheet

Phase (2) Construction

Elements 1.20, 1.21, 1.22, 1.23, 1.24, 1.25, 1.26, 1.27, 1.28, 1.29, 1.30, and 1.31 a firm fixed fee of _____ (to be negotiated as an Amendment to this Contract, upon completion of design and advertising for bids).

The fee described above will be considered payment in full by the SPONSOR to the CONSULTANT for all services rendered except as hereinafter provided under Article 4 - Element 4.3 - Changes in Work and Element 4.4 - Delays and Extensions. Phase (2) Construction may not be needed if it is determined by the SPONSOR to terminate this Contract at the completion of Phase (1) Design.

Element 3.2 - Progress Payments

Phase (1) Design/Phase (2) Construction

Progress payments for completed work will be based on the following schedule of payments:

All charges for service will be due and payable upon receipt of invoice by SPONSOR. In the event Phase (1) Design is completed but bids are not received, final payment will be due and payable sixty (60) days after completion of Phase (1) Design.

The CONSULTANT will submit periodic invoices for services rendered. Each invoice will be based upon the proportion of the total service actually completed at the time of billing. The final invoice will be a minimum of 10% of the total contract amount. Payment on this invoice will be retained by AERO until all Contract requirements have been completed. The SPONSOR will make prompt payments in response to the CONSULTANT's periodic statements.

The CONSULTANT agrees to pay each subconsultant for the satisfactory completion of work associated with the subcontract no later than ten (10) calendar days from the receipt of each payment the CONSULTANT receives from the State of Michigan or SPONSOR. The CONSULTANT agrees further to return retainage payments to each subconsultant within ten (10) calendar days after the subconsultant's work is satisfactorily completed. Any delay or postponement of payment from these time frames may occur only upon receipt of written approval from the SPONSOR or AERO. These requirements are also applicable to all sub-tier subconsultants and will be made a part of all subconsultant agreements.

This prompt payment provision is a requirement of 49 CFR, Part 26, as amended, and does not confer third-party beneficiary right or other direct right to a subconsultant against the SPONSOR or the State of Michigan. This provision applies to both Disadvantaged Business Enterprise (DBE) and non-DBE subconsultants.

The CONSULTANT further agrees that it will comply with 49 CFR, Part 26, as amended, and will report any and all DBE subconsultant payments to AERO semi-annually in the format set forth in AttachmentG, dated June 1, 2001, attached hereto and made a part hereof, or any other format acceptable to the SPONSOR or AERO.

At the end of the State of Michigan fiscal year, the CONSULTANT will submit estimated payment amounts for both the CONSULTANT and contractors working on projects the CONSULTANT is supervising. These amounts will be submitted to the State of Michigan to establish a payable account.

ARTICLE 4 - MISCELLANEOUS PROVISIONS

Element 4.1 - Miscellaneous Provisions

The CONSULTANT will follow, insofar as applicable and reasonable and as approved by the SPONSOR, current design standards set forth by the SPONSOR, AERO and other participating governmental agencies in effect at the time the work herein provided is started. In the event design standards change after the CONSULTANT has completed that portion of the work to which a particular standard may apply, and in the event the CONSULTANT is required by the SPONSOR to make revisions to completed work to meet revised standards and certification requirements, the CONSULTANT will be entitled to additional compensation as provided under Element 4.3 - Changes in Work.

Design standards, standard plans, specifications, special conditions, contract documents, and requirements developed by the SPONSOR, AERO, or other participating governmental agency and required to be incorporated in the final plans and documents will not be the responsibility of the CONSULTANT. All liability to third parties, for loss or damage as a result of claims, demands, costs, or judgments arising out of activities, to be carried out by the SPONSOR in the performance of this contract will be the responsibility of the SPONSOR, and not the responsibility of the CONSULTANT, if the liability, loss, or damage is caused by or arises out of, the action or failure to act on the part of the SPONSOR, or any elected or appointed officer, employee or agent of the SPONSOR, provided that nothing herein will be construed as a waiver of any governmental immunity that has been provided to the SPONSOR, or any elected or appointed officer, employee or agent of the SPONSOR by statute or court decision.

Element 4.2 - Ownership of Documents

Completed original documents, such as final contract plans, maps and specifications prepared or obtained by the CONSULTANT as provided under the terms of this Contract will be submitted in final form. The final form of the originals will be delivered to and become the property of the SPONSOR. Original basic survey notes, sketches, charts, drawings, partially completed drawings, computations, quantities and other data will remain in the possession of the CONSULTANT as instruments of service but will be made available, upon request, to the SPONSOR without restriction or limitation on their use.

In the event any of the above documents are revised by the SPONSOR, the nameplates of the CONSULTANT will be removed and the SPONSOR will assume full responsibility for the reuse of these documents.

The original signed and sealed title sheet for projects bid through MDOT will be retained in AERO files. The CONSULTANT will be provided a scanned .tif electronic file for use in completing the as-constructed plan sheets.

Element 4.3 - Changes in Work

By mutual acceptance of both the SPONSOR and the CONSULTANT, changes in work from that work described in this Contract, including changes in original design standards and changes in previously completed final plans may be accomplished by amendment to this Contract. Each amendment will describe the revision or addition of work in detail. The associated cost of the revised or additional work will be defined in a fixed dollar amount, and an adjustment to the payment schedule (if applicable) contained in this Contract will be provided. Any change to the

contract time will also be defined in each amendment. Each amendment must be signed and dated by both the SPONSOR and the CONSULTANT.

Element 4.4 - Delays and Extensions

Changes in the estimated time schedule as may be required by the SPONSOR or the CONSULTANT will be in writing, setting forth the reason for delay or extension, and the estimated time adjustment necessary or as provided in Element 4.3 - Changes in Work.

Element 4.5 - Insurance and Liability

The CONSULTANT will maintain worker's compensation and public liability insurance as required by law and will, upon request, show proof of compliance with this requirement.

Element 4.6 - General Compliance with Laws

Unless otherwise specified, this Contract will be governed by the laws of the principal address of the SPONSOR. The CONSULTANT agrees to comply with all federal, state and local laws applicable to the work.

Element 4.7 - Subletting, Assignment and Transfer

The SPONSOR and the CONSULTANT each binds themselves, their partners, successors, assignees and legal representatives to the other party to this Contract and to the partners, successors, assignees, and legal representatives of such other party with respect to all covenants of this Contract. Neither the SPONSOR nor the CONSULTANT will assign, sublet, or transfer their interest in this Contract without the written consent of the other.

Element 4.8 - CONSULTANT's Endorsement

The CONSULTANT will seal and sign all final plans and specifications furnished to the SPONSOR.

Element 4.9 - Disputes

All disputes concerning a question of fact in connection with work not disposed of by agreement between the SPONSOR and the CONSULTANT will be settled through standard court actions.

Element 4.10 - Responsibility for Claims and Liability

The CONSULTANT will save harmless the SPONSOR, AERO, FAA, or other governmental agencies from all claims and liability due to negligence of the CONSULTANT or its subcontractors, except as provided in Element 4.1.

Element 4.11 - Assignment of Antitrust Rights

With regard to claims based on goods or services that were used to meet the CONSULTANT's obligation to the SPONSOR or AERO under this Contract, the CONSULTANT hereby irrevocably assigns its right to pursue any claims for relief or causes of action for damages sustained by the State of Michigan or the MDOT due to any violation of 15 USC, Sections 1 - 15, and/or 1984 PA 274, MCL 445.771 - .788, excluding Section 4a, to the State of Michigan or MDOT.

The CONSULTANT will require any subcontractors to irrevocably assign their rights to pursue any claims for relief or causes of action for damages sustained by the State of Michigan or the MDOT with regard to claims based on goods or services that were used to meet the

CONSULTANT's obligation to the MDOT under this Contract due to any violation of 15 USC, Sections 1 - 15 and/or 1984 PA 274, MCL 445.771 - .788, excluding Section 4a, to the State of Michigan or MDOT as a third-party beneficiary.

The CONSULTANT will notify the SPONSOR if it becomes aware that an antitrust violation with regard to claims based on goods or services that were used to meet the CONSULTANT's obligation to the SPONSOR or AERO under this Contract may have occurred or is threatened to occur. The CONSULTANT will also notify the SPONSOR or AERO if it becomes aware of any persons intent to commence, or of commencement of, an antitrust action with regard to claims based on goods or services that were used to meet the CONSULTANT's obligation to the SPONSOR or AERO under this Contract.

Element 4.12 - Prohibition of Discrimination in State Contracts

The CONSULTANT hereby agrees to comply with the requirements of Appendix A, attached hereto and made a part hereof.

Element 4.13 – Additional Provisions

Additional provisions of this Contract are included as Attachment B.

Element 4.14 – Non-Construction Requirements

The CONSULTANT hereby agrees to comply with the requirements of the Non-construction requirements of Attachment F, attached hereto and made a part hereof.

IN WITNESS WHEREOF the parties hereto have fixed their hand this day and date first written above.

ACCEPTED BY THE SPONSOR

Witness: _____

City of Hillsdale

SPONSOR

97 Broad Street

Street Address

Hillsdale, Michigan 49242

City, State & Zip Code

BY: _____

Authorized Representative of SPONSOR

.....
ACCEPTED BY THE CONSULTANT

Witness: _____



RS&H Michigan, Inc.

CONSULTANT

827 Willow Run Airport, 2nd Floor

Street Address

Ypsilanti Michigan 48198

City, State & Zip Code

BY: _____

Paul J. Horne
Authorized Representative

INCLUDE THIS PAGE IN ALL CONTRACTS!!

Consultants are advised to use the following attachment schedule. Any additional clauses or requirements should be included in Attachment B. The preceding is the base contract; no changes may be made to the wordage or numbering without the written approval of the Airports Division, Bureau of Aeronautics and Freight Services.

SCHEDULE OF ATTACHMENTS

Attachment A	Prohibition of Discrimination in State Contracts
Attachment B	Additional Provisions
Attachment C	Cost Breakdown
Attachment D	Sketches
Attachment E	Scope of Work/Services
Attachment F	Non-construction contract requirements
Attachment G	Prime CONSULTANT Statement of DBE Subconsultant Payments

APPENDIX A
PROHIBITION OF DISCRIMINATION IN STATE CONTRACTS

In connection with the performance of work under this contract; the Contractor agrees as follows:

1. In accordance with Act No. 453, Public Acts of 1976, the Contractor hereby agrees not to discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions, or privileges of employment, or a matter directly or indirectly related to employment, because of race, color, religion, national origin, age, sex, height, weight, or marital status. Further, in accordance with Act No. 220, Public Acts of 1976 as amended by Act No. 478, Public Acts of 1980, the Contractor hereby agrees not to discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions, or privileges of employment, or a matter directly or indirectly related to employment, because of a handicap that is unrelated to the individual's ability to perform the duties of a particular job or position. A breach of the above covenants will be regarded as a material breach of this contract.
2. The Contractor hereby agrees that any and all subcontracts to this contract, whereby a portion of the work set forth in this contract is to be performed, will contain a covenant the same as hereinbefore set forth in Section 1 of this Appendix.
3. The Contractor will take affirmative action to insure that applicants for employment and employees are treated without regard to their race, color, religion, national origin, age, sex, height, weight, marital status or a disability that is unrelated to the individual's ability to perform the duties of a particular job or position. Such action will include, but not be limited to, the following: employment, upgrading, demotion or transfer, recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship.
4. The Contractor will, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, national origin, age, sex, height, weight, marital status or disability that is unrelated to the individual's ability to perform the duties of a particular job or position.
5. The Contractor or his collective bargaining representative will send to each labor union or representative of workers with which he has a collective bargaining agreement or other contract or understanding, a notice advising the said labor union or workers' representative of the Contractor's commitments under this appendix.
6. The Contractor will comply with all relevant published rules, regulations, directives, and orders of the Michigan Civil Rights Commission which may be in effect prior to the taking of bids for any individual state project.
7. The Contractor will furnish and file compliance reports within such time and upon such forms as provided by the Michigan Civil Rights Commission, said forms may also elicit information as to the practices, policies, program, and employment statistics of each

subcontractor as well as the Contractor himself, and said Contractor will permit access to his books, records, and accounts by the Michigan Civil Rights Commission, and/or its agent, for purposes of investigation to ascertain compliance with this contract and relevant with rules, regulations, and orders of the Michigan Civil Rights Commission.

8. In the event that the Civil Rights Commission finds, after a hearing held pursuant to its rules, that a contractor has not complied with the contractual obligations under this Contract, the Civil Rights Commission may, as part of its order based upon such findings, certify said findings to the Administrative Board of the State of Michigan, which Administrative Board may order the cancellation of the contract found to have been violated, and/or declare the Contractor ineligible for future contracts with the state and its political and civil subdivisions, departments, and officers, and including the governing boards of institutions of higher education, until the contractor complies with said order of the Civil Rights Commission. Notice of said declaration of future ineligibility may be given to any or all of the persons with whom the Contractor is declared ineligible to contract as a contracting party in future contracts. In any case before the Civil Rights Commission in which cancellation of an existing contract is a possibility, the contracting agency will be notified of such possible remedy and will be given the option by the Civil Rights Commission to participate in such proceedings.
9. The Contractor will include, or incorporate by reference, the provisions of the foregoing paragraphs (1) through (8) in every subcontract or purchase order unless exempted by the rules, regulations or orders of the Michigan Civil Rights Commission, and will provide in every subcontract or purchase order that said provisions will be binding upon each subcontractor or seller.

March 1998

ATTACHMENT B
Additional Provisions

**ATTACHMENT B
ADDITIONAL PROVISIONS**

PARALLEL TAXIWAY AND ENTRANCE ROAD DESIGN

**CITY OF HILLSDALE
HILLSDALE MUNICIPAL AIRPORT
HILLSDALE, MICHIGAN**

1. WHEREAS, pursuant to SPONSOR's airport expansion contract with MDOT dated _____, this Agreement was submitted for MDOT's review, and approved by MDOT on March 3, 2014.
2. In addition, any subconsultant agreement will be submitted to MDOT for approval.
3. CONSULTANT acknowledges and agrees that all documents that it has provided or hereafter provides to SPONSOR in connection with or regarding its proposal, this contract, its performance and compensation are public records. Accordingly, CONSULTANT hereby expressly consents to SPONSOR'S reproduction and release of such documents, in whole or in part, in response to a Freedom of Information Act request, court order or as SPONSOR otherwise determines in its sole discretion to be appropriate.

ATTACHMENT C

Cost Breakdown



Hillsdale Municipal Airport
Attachment C - Costs Breakdown

PARALLEL TAXIWAY AND ENTRANCE ROAD DESIGN

SCOPE / TASK TITLE	PROJ OFCY DIRECTORS	PROJ MGRV A/E	STAFF A/E	A/E	SENIOR TECHN	TECHN	ADMIN ASSIST	TOTAL
BASIC SERVICES (LUMP SUM)								
Task 1: Preliminary Design								
Task 1.1 Pre-Design Meeting w/Airport & AERO		8		8				16
Task 1.2 Data Collection		8		8				16
Task 1.3 Coordinate Surveying Needs		8		4				12
Task 1.4 Coordinate Geotechnical Testing Needs		8						8
Task 1.5 Drainage Study & Master Plan								
Drainage Alternatives & Analysis	1	4	8	16		12		41
Task 1.6 Prepare Preliminary Design								
Cover Sheet				4		2		6
Contract Layout Plan	1	4	2	8		2		17
Demolition Plans		2		6		4		12
Geometry Plans	1	4	4			6		17
Pavement Marking Plans		2		6		6		14
Construction Cost Estimate	1	2		8		8		19
Specifications		1		2			2	5
Task 1.7 Preliminary Design In-House Q.C. Review	1	2		4				7
Task 1.8 Preliminary Design Submittal							2	2
Task 1.9 Preliminary Design Review Meeting		8		8				16
TOTAL HOURS	5	61	14	82	0	42	4	208
RATE	\$66.57	\$39.44	\$38.71	\$27.50	\$36.25	\$26.85	\$21.18	\$32.44
TOTAL DIRECT LABOR \$	\$333	\$2,406	\$542	\$2,255	\$0	\$1,128	\$85	\$6,748
OVERHEAD @ 178.83%								\$12,068
PROFIT @ 11%								\$2,070
TOTAL BURDENED LABOR @ 3.10								\$20,885
OTHER DIRECT NON-SALARY COSTS								
REPRODUCTION	# DWGS	# PAGES						
	@	@						
	\$1.60	\$0.10		#SETS				
Drawings	25			3				\$120
Reports/Specifications		100		3				\$30
TOTAL REPRODUCTION								\$150
POSTAGE/DELIVERY	# PCKGS	# PCKGS						
	@	@						
	\$15.00	\$3.00						
Drawings and Specifications	1	2						\$21
TOTAL POSTAGE/DELIVERY								\$21
SPECIALTY SUBCONSULTANTS								
Geotechnical Design Testing								\$9,500
Surveying								\$17,500
TOTAL SPECIALTY SUBCONSULTANTS								\$27,000
TRAVEL								
	# People	# Days	Airfare @	Car @	Lodging @	Per Diem @	No. of	
			\$500	\$100	\$125	\$25	Times	
Data Collection	2	1	\$0	\$100	\$0	\$50	1	\$150
Design Review Meeting	2	1	\$0	\$100	\$0	\$50	1	\$150
								\$300
TOTAL ODC's								\$27,471
Total Proposed Fee for:	Task 1: Preliminary Design							\$48,356

SCOPE / TASK TITLE	PROJ/OCFR/ DIRECTORS	PROJ/MGR/ AE	STAFF AE	AE	SENIOR TECH/N	TECH/N	ADMIN ASSIST	TOTAL
Task 2: 60% Design				8				10
Task 2.1 Incorporate Prelim. Design Review Comments		2						
Task 2.2 Prepare 60% Design Documents				4				6
Summary of Quantities		1		4				5
Safety & Security Notes & Details		1		4		2		8
Phasing Plan		2		4		2		13
Typical Pavement Sections & Details	1	2	4	4		2		8
Erosion & Sediment Control Plans		2		4		2		8
Pavement Marking Details		1		2		1		4
Electrical Plans		4	4	8		2		18
Electrical Details		2		8		2		12
Engineer's Report		2		6		2	2	12
Construction Cost Estimate	1	2	4	8				15
Specifications		2		2			2	6
Task 2.3 60% Design In-House Q.C. Review	1	4	4	8			2	17
Task 2.4 60% Design Submittal								2
Task 2.5 60% Design Review Meeting		8		8				16
TOTAL HOURS	3	35	16	78	0	13	6	151
RATE	\$66.57	\$39.44	\$38.71	\$27.50	\$36.25	\$28.85	\$21.18	\$31.92
TOTAL DIRECT LABOR \$	\$200	\$1,380	\$619	\$2,145	\$0	\$349	\$127	\$4,821
OVERHEAD @ 178.83%								\$8,621
PROFIT @ 11%								\$1,479
TOTAL BURDENED LABOR @ 3.10								\$14,920
OTHER DIRECT NON-SALARY COSTS								
REPRODUCTION	# DWGS	# PAGES						
	@	@						
	\$1.60	\$0.10		#SETS				
Drawings	40			3				\$192
Reports/Specifications		100		3				\$30
TOTAL REPRODUCTION								\$222
POSTAGE/DELIVERY	# PCKGS	# PCKGS						
	@	@						
	\$15.00	\$3.00						
Drawings and Specifications	1	2						\$21
TOTAL POSTAGE/DELIVERY								\$21
TRAVEL	# People	# Days	Airfare @	Car @	Lodging @	Per Diem @	No. of	
			\$500	\$100	\$125	\$25	Times	
Design Review Meeting	2	1	\$0	\$100	\$0	\$50	1	\$150
								\$150
TOTAL ODC's								\$393
Total Proposed Fee for:								\$15,313
								Task 2: 60% Design

SCOPE / TASK TITLE	PROJ MGR/DIRECTORS	PROJ MGR/ AE	STAFF AE	AE	SENIOR TECHN	TECHN	ADMIN ASSIST	TOTAL
Task 3: 100% (Bid Set) Design								
Task 3.1 Incorporate 60% Design Review Comments		2		8				10
Task 3.2 Prepare 100% Design Documents								
Cover Sheet		1		2				3
Summary of Quantities				4				4
Safety & Security Notes & Details		1		2				3
Contract Layout Plan		1	2	4		2		9
Phasing Plan		1		2		2		5
Horizontal and Vertical Control Plan		1		2		1		4
Demolition Plans		1	2	4		2		9
Geometry Plans		1		2		2		5
Typical Pavement Sections & Details				4				4
Plan and Profiles	1	2		8		4		15
Spot Elevation Plans		2	2	2		4		10
Erosion & Sediment Control Plans				4				4
Pavement Marking Plans				4				4
Pavement Marking Details						2		2
Final Specifications		2		4				6
Final Engineer's Report	1	2	2	4				9
Final Construction Cost Estimate	1	2	4	12				19
Task 3.3 Road Permitting and ROW Abandonment		8		8		4		20
Task 3.4 Prepare Safety Phasing Plan Submittal to FAA		2		8				10
Task 3.5 100% Design In-House Q.C. Review	1	4		8				13
Task 3.6 100% Design Submittal							2	2
TOTAL HOURS	4	33	12	98	0	23	2	170
RATE	\$66.57	\$39.44	\$38.71	\$27.50	\$36.25	\$26.85	\$21.18	\$31.37
TOTAL DIRECT LABOR \$	\$266	\$1,302	\$465	\$2,640	\$0	\$618	\$42	\$5,332
OVERHEAD @ 178.83%								\$9,536
PROFIT @ 11%								\$1,635
TOTAL BURDENED LABOR @ 3.10								\$16,503
OTHER DIRECT NON-SALARY COSTS								
REPRODUCTION	# DWGS	# PAGES						
	@	@						
	\$1.60	\$0.10		#SETS				
Drawings	40			3				\$182
Reports/Specifications		100		3				\$30
TOTAL REPRODUCTION								\$222
POSTAGE/DELIVERY	# PCKGS	# PCKGS						
	@	@						
	\$15.00	\$3.00						
Drawings and Specifications	1	2						\$21
TOTAL POSTAGE/DELIVERY								\$21
TRAVEL	# People	# Days	Airfare @	Car @	Lodging @	Per Diem @	No. of	
			\$500	\$100	\$125	\$25	Times	
								\$0
								\$0
TOTAL ODC's								\$243
Total Proposed Fee for:	Task 3: 100% (Bid Set) Design							\$16,746

SCOPE / TASK TITLE	PROJ/DCRY DIRECTORS	PROJ MGRS/ AE	STAFF AE	AE	SENIOR TECHN	TECHN	ADMIN ASSIST	TOTAL
Task 4: Bid/Award Services								
Task 4.1 Pre-Bid Conference		8		8				16
Task 4.2 Addenda		4		8				12
TOTAL HOURS	0	12	0	16	0	0	0	28
RATE	\$66.57	\$39.44	\$38.71	\$27.50	\$36.25	\$26.85	\$21.18	\$32.62
TOTAL DIRECT LABOR \$	\$0	\$473	\$0	\$440	\$0	\$0	\$0	\$913
OVERHEAD @	178.83%							\$1,633
PROFIT @	11%							\$280
TOTAL BURDENED LABOR @	3.10							\$2,827
OTHER DIRECT NON-SALARY COSTS								
REPRODUCTION	# DWGS	# PAGES						
	@	@						
	\$1.60	\$0.10		#SETS				
Drawings	10			3				\$48
Reports/Specifications		10		3				\$3
TOTAL REPRODUCTION								\$51
POSTAGE/DELIVERY	# PCKGS	# PCKGS						
	@	@						
	\$15.00	\$3.00						
Drawings and Specifications	1	2						\$21
TOTAL POSTAGE/DELIVERY								\$21
TRAVEL				Airfare @	Car @	Lodging @	Per Diem @	No. of
	# People	# Days		\$500	\$100	\$125	\$25	Times
Pre-Bid Conference	2	1		\$0	\$100	\$0	\$50	1
								\$150
TOTAL ODC's								\$222
Total Proposed Fee for:	Task 4: Bid/Award Services							\$3,049
TOTAL PROPOSED FEE FOR:	Parallel Taxway and Entrance Road Deslgn							\$83,500



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January 24, 2014

Mr. Michael D. Holdwick, PE
RS&H Michigan, Inc.
827 Willow Run Airport
Ypsilanti, Michigan 48198

Re: Hillsdale Municipal Airport
Parallel Taxiway and Entrance Road
Request for Proposal – Design Survey

Dear Mr. Holdwick,

We are quoting the design survey work for the above referenced project based on information obtained from our discussions, conversations with Hillsdale County, and the scope of services that has been provided by your office on January 16, 2014. With the exception of some minor changes, the work scope that is attached to this letter has been completed to closely follow the scope of services you have provided for the project. The purpose of this scope is to clarify or amend any portions of the scope that have changed based upon our discussions and input from the County.

Our lump sum quote for the entire project is \$17,750. We will invoice upon completion of the project or at agreed upon milestones of our project completion. This quote includes all normal material and equipment expenses necessary to complete the project. Any work outside of our scope will be performed at our standard hourly rates which are attached to this quotation. With weather as a consideration, we are committed to performing this project within two weeks of notice to proceed, which is anticipated to be the spring of 2014.

If you have any questions, comments, or concerns with this quotation please do not hesitate to call me on my mobile (989) 737-2756. We appreciate your confidence in our firm and look forward to working with you on this project and other projects in the future.

Sincerely,

SURVEYING SOLUTIONS, INC.

A handwritten signature in cursive script that reads 'Tony Thelen'.

Tony D Thelen, P.S.
Project Surveyor

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Survey Work Plan Hillsdale Municipal Airport Parallel Taxiway and Entrance Road

As project surveyors, Surveying Solutions, Inc. (SSI) understands we will be providing design surveying services for the engineering of a parallel taxiway and entrance Road at the Hillsdale Municipal Airport. Our team realizes that RS&H Michigan considers safety, efficiency, accuracy, and ability to minimize affects to an operational airport key elements to a successful project. Therefore, SSI will rely on one of the largest professional and technical survey staffs in the state that is equipped with the latest in surveying technology. SSI staff is very familiar with the area having recently completed work for the runway reconstruction project and will call upon this knowledge and experience to provide a safe and efficient survey plan that will meet or exceed the expectations of the project.

Work Tasks

Our work will consist of the following tasks:

1. SSI will develop a three dimensional coordinate system throughout the project based on the Michigan State Plane Coordinate System (MCS 83), NAD1983 (NSRS2012), Michigan South Zone. We will establish approximately 5 control points for the project and will provide witnesses and coordinates for each of these control points. The coordinate values for these points will be established with RTK GPS techniques utilizing existing control points located on the airport.
2. A cross-sectional survey will be completed at 50-foot intervals within the area indicated on the exhibit provided on January 16, 2014. Spot elevations at 50-foot intervals within the cross hatched area will be collected. Spot elevations along any pavement shall be left, centerline and right edges within the survey limits.
3. Any inlets, manholes, ditch lines, utilities, edge lights, signs, nav aids, edges of pavement, underground conduits, etc. which are within the survey limits will be accurately located. In addition, we will collect top, bottom and invert elevations for each drainage structure with pipe sizes entering and exiting all structures. If drainage structures are outside the envelope of the survey, we will collect one structure beyond the survey limits. Since runway construction was completed a few years ago, we do plan to collect drainage structure information for structures associated with that project.
4. Fillets at all pavement intersections will be supplemented with sufficient intermediate locations and elevations to allow accurate contouring of the intersections.
5. There are no facilities within the project limits or appurtenant structures adjacent to or near the limits that will be surveyed as part of this scope.
6. SSI will stake the airport property line on the north side of the airport to approximately 800' west of Airport Road. Along this line, SSI will place 18"x1/2" rebar at all corners and wooden stakes on line every 100'.
7. All pavement grades will be measured to the nearest hundredth of a foot and ground shots to the nearest tenth of a foot. All foot contours will be interpolated and shown on the survey drawings and electronic files. The contours will take into account all faults, break lines, etc.

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8. The vertical component of this project will be established from the two USGS marks located on the airport to be certain that all work is being designed on the same vertical network. In addition to these marks, approximately two benchmarks will be set for the project and will be established using closed loops from the existing airport control. We will provide descriptions, witnesses, and coordinates for all site benchmarks and this information will be clearly recorded.
9. All field notes will be reduced and checked for allowable survey tolerances before being transmitted to the engineer for design.
10. Approximately twenty (20) boring locations will be provided by RS&H Michigan, Inc. and staked by SSI, where applicable.
11. All survey information will be provided in an ASCII format indicating X, Y, and Z coordinates (Coordinates will conform to the Michigan State Plane Coordinate System), point numbers and point descriptions and as a computer drawing in AutoCad Civil 3D 2012 or higher on diskette in surface format with contours, edges of pavement, pavement joints, edge lights, signs, nav aids, utilities, etc. The drawings will be made to a scale of 1"=50'. The computer generated reference points for this survey will be identical to those of previous surveys so that previous surveys can be referenced into this survey file and the surveys match.
12. SSI will conduct research and contact the county to determine the existing limits of the county right of way for Airport Road. However, we have not included any costs to perform title work for the project. We do not think title work will be necessary, but if title work is needed it will be an additional cost. We will create no more than three (3) legal descriptions and three (3) corresponding sketches for the project based upon coordination with the Hillsdale County Road Commission for the Airport Road right of way abandonment on the project. The legal descriptions and sketches will be developed as follows: one for the existing road ROW (if needed), one for the proposed road ROW, and one for the proposed cul-de-sac area. We will also update the Exhibit A property map with revised property limits.
13. Field crews will be provided to accurately locate and provide elevation data of the key existing drainage site features to facilitate the development of a drainage master plan. This work will be completed based upon the direction of the Project Engineer and will most likely require site high points, site low points, existing ditches, site flow lines, streams, and areas of standing water. The plan will be used as a guide during the design process of all future airport projects. We have allowed two (2) survey crew days. This information will be provided in a point file.

Deliverables

SSI will provide an electronic file of the survey, printout of all points and one set of PDF reproducibles to the engineer. SSI will seal and sign the set of PDF reproducibles.

A professional land surveyor licensed in the State of Michigan will be responsible for all surveying services. Services will begin immediately following Notice to Proceed. Final submittal information will be delivered two (2) weeks following Notice to Proceed barring any weather or other unexpected delays. The actual date of notice to proceed is to be determined, but it is anticipated to be the spring 2014.

The limits of the survey are subject to change based on the results of a study of roadway layout alternatives. SSI will be provided with the final limits prior to issuance of the notice to proceed. If the changes are substantial, cost and scope will be reviewed prior to the start of work.



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STANDARD HOURLY RATES

Survey Technician	\$50.00
Testing Technician	\$55.00
Drafting Technician/CADD Operator	\$60.00
Research Technician	\$60.00
Project Inspector	\$65.00
LiDAR Extractor	\$75.00
Crew Chief	\$75.00
Sr. Crew Chief	\$85.00
Staff Surveyor	\$95.00
Staff Engineer	\$95.00
Project Manager (P.S.)	\$110.00
Project Manager (P.E.)	\$110.00
Survey Crew (2-Man)	\$125.00
Mobile Scanning	Project Specific Quote

* These rates are effective 1/1/13

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www.ssi-mi.com



Somat Engineering,
INCORPORATED

January 22, 2014
P140013

Mr. Michael Holdwick, P.E.
RS&H Michigan, Inc.
827 Willow Run Airport
Ypsilanti, Michigan 48198

RE: Proposal to Perform Geotechnical Investigation
Parallel Taxiway and Entrance Road
Hillsdale Municipal Airport
Hillsdale, Michigan

Dear Mr. Holdwick:

We are pleased to provide this proposal to perform a geotechnical investigation for the design of a new parallel taxiway and entrance road at the Hillsdale Municipal Airport. This proposal is based on the project information contained in your RFP (dated January 16, 2014), our experience with similar projects, and our knowledge of the soils in this vicinity. The following sections outline our understanding of the project, a detailed scope of work, project budget, and time frame to complete the work.

PROJECT INFORMATION

We understand this project consists of the design and construction of a new parallel taxiway to Runway 10-28 as well as a new airport entrance road in preparation for a future terminal complex. Approximately 2,600 lineal feet of new taxiway (and taxiway connector) is proposed, extending from the west end of the runway connector, east to about the existing terminal parking area. The alignment of the new taxiway will cross through (existing) Airport Road. In order to accommodate this taxiway, Airport Road will be dead-ended in a cul-de-sac just north of the proposed taxiway. Further, a new airport entrance road will be constructed, about 600 feet south of State Road. This new road will be about 2,200 feet in length.

As we understand, a total of twenty one (21) soil borings are requested, with five (5) borings drilled along the proposed entrance road, one (1) boring in the proposed cul-de-sac, and the remaining fifteen (15) drilled along the proposed taxiway and connector. These locations are specified in the Boring Location Plan included in the RFP. Each of these borings will extend to a depth of 10 feet below existing grade.

In order to determine CBR values of the in-situ subgrade soils, we propose to perform Dual Mass Dynamic Cone Penetrometers (DCP) Tests along the alignments of the new taxiway and entrance road. A total of two (2) DCP tests will be performed along the entrance road alignment

and four (4) DCP tests along the taxiway alignment. Each of these tests will extend to a depth of about 3 to 4 feet below existing grade. These will supplement the two laboratory California Bearing Ratio (CBR) tests requested.

Our proposal is based on the following assumptions:

- We anticipate formal badging will not be required at this airport, however close coordination with RS&H and airport personnel will be required. We have not included any time for badging or safety training.
- We have presumed the airport currently owns the property in which this project will be constructed. As such, we have assumed no permits will be required from any local agencies or private owners.
- This site is mainly existing open existing farmland. We presume our drilling will be coordinated at a time that will not negatively impact the growing of crops (if it is still farmed). Generally we estimate this will occur during March and April, after the frost and before the planting season.
- We anticipate the use of an all-terrain vehicle (ATV) mounted drill rig, since the majority of the borings will be drilled off the roadways.
- Pavement coring will be required at the three (3) borings located in existing pavement.
- No specific traffic control will be required at the soil boring locations drilled in the road, as Airport Road serves only the airport and traffic volumes are minimal. However, we will set up orange warning cones around our work site for visibility.
- Brush and tree clearing will not be required for access to any soil boring locations.
- Because of a lack of physical features to stake and location our borings, we request that the centerlines of the road and taxiway alignments be staked prior to beginning our fieldwork. We also anticipate the project surveyor will obtain ground surface elevations at our soil boring locations (for inclusion on the logs), or the elevations will be estimated from existing topographical maps.
- If this fieldwork is proposed to be performed relatively soon, it should be noted that with the presence of frost (i.e. frozen soil), accurate strength information cannot be obtained in the surface soils. If possible, consideration should be given to performing this work after the spring thaw.
- We anticipate a total of two (2) days to complete the fieldwork.

PROPOSED SCOPE OF WORK

Preparatory Work

- Coordinate access to the project site through RS&H and/or airport personnel.
- Coordinate for the staking of the centerlines of the alignments.
- Stake the soil boring locations.
- Arrange for underground utility clearances through the MISSDIG system and airport personnel or RS&H.



Fieldwork

- Mobilize an ATV drill rig and crew to the site.
- Provide a full time field engineer to supervise the drilling operations.
- Perform a total of three (3) pavement cores. Cores will be measured, recorded, and photographed for reference.
- Perform a total of twenty one (21) soil borings, each to a depth of 10 feet below existing grade.
- Obtain samples at 2.5 foot intervals for the full depth of the borings. Samples will be obtained through split-barrel SPT testing (ASTM D1586).
- Perform in-situ Dual Mass DCP tests at a total of six (6) locations.
- Obtain bulk samples of the subgrade soils at two taxiway boring locations.
- Record groundwater level readings in each borehole during and upon completion of drilling.
- Backfill each of the soil borings with soil cuttings to the surface. Remaining soil cuttings will be spread evenly at the ground surface around the site. For borings drilled in existing pavement, the borehole will be patched with an asphalt cold patch at the surface.

Laboratory Testing:

- Visually classify soil samples in general accordance with the Unified Soil Classification System.
- Perform moisture content and hand penetrometer tests on any cohesive soil samples.
- Perform Atterberg Limits tests on representative cohesive soils obtained during the investigation (a maximum of four).
- Perform LOI tests to determine the organic content of any samples suspected of containing excessive organic material.
- Perform CBR tests on the two bulk samples collected, both only in a soaked condition at 95% of the maximum dry unit weight as determined by a Modified Proctor test.

Logs, Engineering and Report:

- Analyze field and lab data, and prepare a geotechnical report, including the following:
 - A description of the field and laboratory investigation procedures,
 - Logs of soil borings and soil boring location diagram,
 - A description of the prevailing subsurface characteristics of the site, including the soils stratigraphy and consistency, groundwater conditions, any unusual conditions, and summary of the existing pavement conditions with photographs,
 - Tabulated pavement thickness, base, and subbase data obtained from the field exploration,
 - Pavement subgrade preparation recommendations,
 - Geotechnical design recommendations for construction of new pavement, including CBR and k-values determined from the in-situ testing.
 - Engineered fill recommendations,
 - Construction considerations based on the subsurface conditions encountered (i.e. undercutting of unsuitable material, settlement of soft/weak soils, groundwater issues, etc.)



- Construction considerations related to the soil and groundwater conditions,

LIMITATIONS

Our scope of work is strictly geotechnical. It will not include any environmental exploration for the presence or absence of wetlands, contamination, hazardous or toxic materials in the air, surface water, groundwater or soil, in or around the site area. Should the observations of our field crew indicate the presence or likelihood of contamination, we will notify your office as soon as practically possible. We will also take necessary measures to protect human health and safety and the environment.

PROFESSIONAL FEE

- We propose to perform the above scope of work for a **lump sum fee of \$9,500.**
- This fee is valid for 60 days from the date of this proposal.
- We will not perform any additional work without prior authorization.

SCHEDULE

Once we receive authorization to proceed, we estimate the following schedule for our work (which accommodates the requested 6 week turnaround time):

Prep Work:	1 to 2 weeks
Fieldwork:	2 days
Lab Testing & Report:	2 weeks

GENERAL

We appreciate the opportunity to submit our proposal for your review and consideration and we look forward to providing engineering services to you on this project. Upon your review, should you have any questions or require additional information, please do not hesitate to call.

Sincerely yours,
Somat Engineering, Inc.



Jennifer S. Schmitzer
Assistant Project Engineer

Jonathan D. Zaremski, P.E.
Project Manager



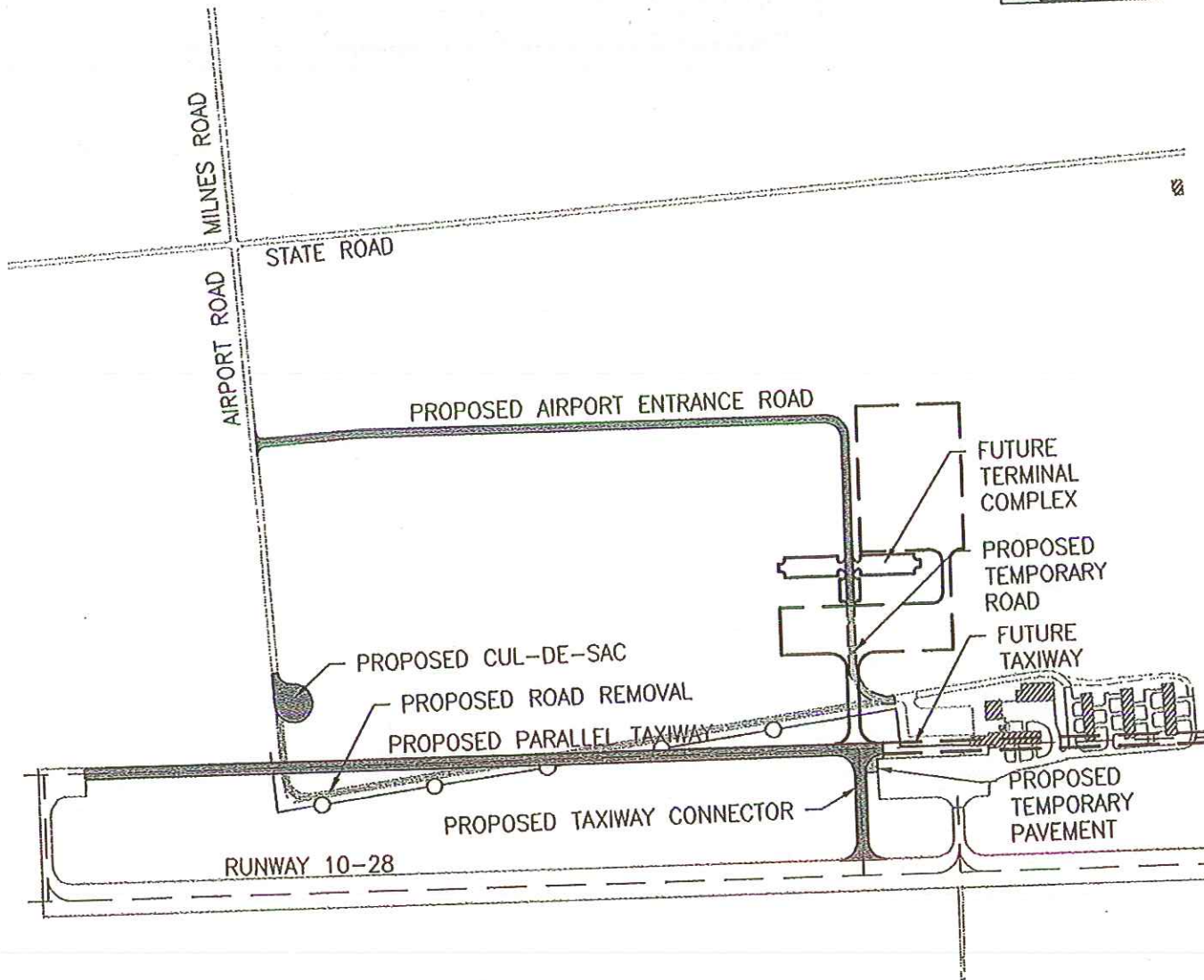
ATTACHMENT D

**Sketch Showing Location of Work to be
Performed as Part of this Contract**

NORTH



SCALE: 1" = 500'



<p>RS & H MICHIGAN, INC. 827 Willow Run Airport Second Floor Ypsilanti, Michigan 48198 (734) 484-0692 FAX (734) 484-0871 www.rsandh.com</p>	<p>HILLSDALE MUNICIPAL AIRPORT HILLSDALE, MICHIGAN</p>	ATTACHMENT D			
		PARALLEL TAXIWAY AND ENTRANCE ROAD DESIGN - SITE PLAN		<p>DRAWN BY MOH</p>	<p>PROJECT NO.</p>
				<p>REVIEWED BY MDH</p>	<p>SHEET IMPACTED</p>
		<p>DATE ISSUED 1/8/14</p>	<p>SKETCH NO.</p>		

ATTACHMENT E

Scope of Work/Services

**ATTACHMENT E
SCOPE OF SERVICES**

PARALLEL TAXIWAY AND ENTRANCE ROAD DESIGN

**CITY OF HILLSDALE
HILLSDALE MUNICIPAL AIRPORT
HILLSDALE, MICHIGAN**

I. PROJECT DESCRIPTION

This project consists of a site drainage study & master plan, project design engineering and bid phase services for Parallel Taxiway and Entrance Road Design at Hillsdale Municipal Airport, in accordance with FAA and MDOT Bureau of Aeronautics (AERO) standards. Specific elements of work include:

- Airport drainage study and master plan;
- Demolition of existing entrance road including right-of-way abandonment;
- Taxiway and roadway pavement section design;
- Drainage design and permitting;
- Electrical design, including taxiway lighting and signage;
- Taxiway and entrance road pavement markings;
- Safety/Phasing and security design;

Construction Administration (CA) and Resident Project Representation (RPR) services will be negotiated at a later date.

II. PROJECT TASKS

TASK 1: PRELIMINARY DESIGN

Task 1.1

The Consultant shall coordinate and attend one (1) pre-design meeting with the Hillsdale Municipal Airport (HMA) staff at the Airport to establish the preliminary design goals and methods. Site visits and investigations shall be as necessary.

Task 1.2

The Consultant shall collect, review, compile, and summarize available data related to the project. The Consultant will review the HMA files and records to determine relevant information for the Airport to provide, such as survey data, previous design plans and as-built plans, specifications, and geotechnical investigation reports.

Task 1.3

The Consultant shall perform necessary field survey for the project. All survey will be coordinated with HMA prior to surveying. The Consultant shall coordinate and review specific geometric criteria required for topography, profile and cross-sectional survey of existing

drainage areas, above and below ground utilities, existing site improvements, and definition of any obvious topographic depressions.

The survey work shall include the following tasks:

- All survey work shall be performed in the Michigan State Plane coordinate system.
- Cross sectional surveying shall be performed at 50-foot intervals within the area indicated on the attached exhibit. Spot elevations at 50-foot intervals within the cross hatched area shown in the attached exhibit. Spot elevations along any pavement shall be left, centerline and right edges within the survey limits.
- Accurately locate any inlets, manholes, ditch lines, utilities, edge lights, signs, nav aids, edges of pavement, underground conduits, etc. which are within the survey limits and provide top, bottom and invert elevation for each structure. Pipe sizes entering and exiting all structures shall be accurately noted. If drainage structures are outside the envelope of the survey, the Surveyor shall move outside the survey limits and obtain all necessary data on the drainage system.
- Fillets at all pavement intersections shall be supplemented with sufficient intermediate locations and elevations to allow accurate contouring of the intersections.
- An accurate plan of all facilities within the project limits shall be provided, as well as all appurtenant structures adjacent to or near the limits.
- Locate and stake airport property lines adjacent to the limits of work.
- All pavement grades shall be measured to the nearest hundredth of a foot and ground shots to the nearest tenth of a foot. All foot contours shall be interpolated and shown on the survey drawings and electronic files. The contours shall take into account all faults, break lines, etc.
- Show and site benchmark locations and elevations. Benchmarks shall be set using closed loop from an established USGS benchmark on the airport. All level runs, benchmark descriptions and USGS benchmark descriptions shall be clearly recorded.
- All field notes shall be reduced and checked for allowable survey tolerances before being transmitted to the engineer for design.
- Approximately twenty (21) boring locations will be provided by RS&H Michigan, Inc. and staked by the surveyor, where applicable.
- Provide all the survey information in an ASCII format indicating X, Y, and Z coordinates (Coordinates shall conform to the Michigan State Plane Coordinate System), point numbers and point descriptions and as a computer drawing in AutoCad Civil 3D 2012 or higher on diskette in surface format with contours, edges of pavement, pavement joints, edge lights, signs, nav aids, utilities, etc. The drawings shall be made to a scale of 1"=50'. The computer generated reference points for this survey shall be identical to those of previous surveys so that previous surveys can be referenced into this survey file and the surveys match.
- Conduct research to determine the existing limits of the county right of way for Airport Road. Provide legal descriptions, sketches and coordination with the Hillsdale County Road Commission for the Airport Road right of way abandonment on the project. Update the Exhibit A property map with revised property limits.
- Accurately locate and provide elevation data of the key existing drainage site features to facilitate the development of a drainage master plan. Required features include site high points, site low points, existing ditches, site flow lines, streams, and areas of standing water.

All survey data will be provided to the HMA, if requested, in an acceptable format.

Task 1.4

The Consultant shall perform a Geotechnical Investigation and prepare a Geotechnical Report, in accordance with FAA Advisory Circular 150/5320-6E, "Airport Pavement Design and Evaluation". All geotechnical activities are to be coordinated with HMA.

The Geotechnical Investigation shall include the following items:

- Mobilization.
- Approximately fifteen (15) borings in the areas of proposed taxiway pavements.
- Approximately five (6) borings in the areas of proposed roadway pavements.
- Each boring shall be to a depth of at least 10 feet.
- Standard boring logs which will include material types, thickness and specifics of any materials present.
- Determination of groundwater table level and the associated seasonal high and/or low groundwater levels.
- Calculation of California Bearing Ratio (CBR) for each material found.
- Perform up to a maximum of four (4) Modified Proctor tests to determine maximum soil densities.

The Geotechnical Report shall include the following items:

- A description of the site and subsurface conditions, design recommendations, and a discussion of any special considerations (i.e. removal of unsuitable material, recompaction of weak soils, estimated settlement, groundwater control, etc.).
- Stratified soil boring profiles, laboratory test data sheets, design CBR calculations and graphs, and any other pertinent information.

All geotechnical reports and data will be provided to HMA, if requested, in an acceptable format.

Task 1.5

The Consultant shall perform an investigation of the existing site drainage and prepare a project alternatives study and master plan report for the following:

- A study of the existing site drainage patterns and preparation of a drainage master plan detailing the preferred alternative for proposed drainage infrastructure as development occurs.
- The report shall include schematic geometric layout, analysis of alternative benefits, and rough order of magnitude cost estimates.

Task 1.6

The Consultant shall prepare preliminary plans, specifications, and estimate of probable construction cost. The development of the preliminary design documents will be coordinated with HMA authorized representative(s).

Task 1.7

The Consultant shall conduct in-house quality control review of the preliminary design plans, specifications, and estimate of probable construction cost prior to submittal to HMA authorized representative(s).

Task 1.8

The Consultant shall submit three (3) sets of the project alternatives report, preliminary plans, and estimate of probable construction cost to HMA for review, comment, and approval to proceed to 60% design.

Task 1.9

The Consultant shall coordinate and attend one (1) meeting at HMA to review the preliminary design submittal. The Consultant will provide written minutes of the meeting and distribute to all attendees within five (5) working days of the meeting. HMA authorized representative(s) will provide any additional written comments to the Consultant within two weeks of receipt of the design review meeting minutes.

TASK 2: 60% DESIGN

Task 2.1

The Consultant shall review all comments received from HMA authorized representative(s) from the preliminary design submittal review and incorporate applicable comments into the plans, specifications, estimate of probable construction cost, and Engineer's Report.

Task 2.2

The Consultant shall prepare 60% plans, specifications, estimate of probable construction cost, and preliminary Engineer's Report. The development of the 60% design documents will be coordinated with HMA authorized representative(s).

Task 2.3

The Consultant shall conduct an in-house quality control review of the 60% design plans, specifications, estimate of probable construction cost, and Final Engineer's Report prior to submittal to HMA authorized representative(s).

Task 2.4

The Consultant shall submit three (3) sets of the plans, specifications, estimate of probable construction cost, and Engineer's Report to HMA for review, comment, and approval to proceed to 100% design.

Task 2.5

The Consultant shall coordinate and attend one (1) meeting at HMA to review the 60% design submittal. The Consultant will provide written minutes of the meeting and distribute to all attendees within five (5) working days of the meeting. HMA authorized representative(s) will provide any additional written comments to the Consultant within two weeks of receipt of the design review meeting minutes.

TASK 3: 100% (BID SET) DESIGN

Task 3.1

The Consultant shall review all comments received from HMA authorized representative(s) from the 60% design submittal review and incorporate applicable comments into the plans, specifications, estimate of probable construction cost, and Engineer's Report.

Task 3.2

The Consultant shall prepare 100% (bid set) plans, specifications, estimate of probable construction cost, and Final Engineer's Report. The development of the 100% design documents will be coordinated with HMA authorized representative(s).

Task 3.3

The Consultant shall provide legal descriptions for the right of way abandonment for the project and coordination with the Hillsdale County Road Commission necessary to complete the right of way abandonment process and update to the exhibit A.

Task 3.4

The Consultant shall prepare Safety and Phasing plans for the project. Plans to be developed for this task include:

- Contract Layout Plans
- Safety/Phasing Plans
- Safety Notes and Details

The Consultant shall submit the Safety/Phasing plans to HMA.

The Consultant shall prepare FAA Form 7460-1 and other appropriate documentation for FAA airspace review for the project, and submit to HMA for submittal to the FAA for review and comment.

Task 3.5

The Consultant shall conduct an in-house quality control review of the 100% design plans, specifications, estimate of probable construction cost, and Final Engineer's Report prior to submittal to HMA authorized representative(s).

Task 3.6

The Consultant shall submit three (3) sets of the plans, specifications, estimate of probable construction cost, and Engineer's Report to HMA for review, comment, and approval to proceed to 100% design.

TASK 4: BID/AWARD SERVICES

Task 4.1

The Consultant shall attend a pre-bid conference at the Airport, receive comments, record the minutes of the conference and distribute to HMA authorized representative(s), AERO, and prospective contractors.

Task 4.2

The Consultant shall issue to HMA and AERO, for use by AERO in issuing addenda, all required information to revise plans, specifications and other contract documents prepared by the Consultant in order to (1) provide clarifications, (2) correct discrepancies, or (3) correct errors and/or omissions.

III. PRESENTATIONS AND/OR MEETINGS

The Consultant will prepare for and attend the following meetings:

- 1) Project Pre-design or Kick-off Meeting
- 2) Preliminary Design Review Meeting
- 3) Project 60% Design Review Meeting
- 4) Pre-Bid Conference at Airport

IV. DELIVERABLES

The Consultant will provide the following deliverables:

- 1) 3 Sets of the Drainage Study & Master Plan
- 2) 3 Sets of Preliminary Plans, Specifications, and Cost Estimate
- 2) 3 Sets of 60% Plans, Specifications, Cost Estimate, and preliminary Engineer's Report
- 3) 3 Sets of 100% (Bid Set) Plans, Specifications, Cost Estimate and Final Engineers Report
- 4) 8 sets of Safety & Phasing Plans, 7460-1 Forms, and other documentation as necessary for FAA airspace and safety/phasing reviews

V. SCHEDULE

Project Pre-Design or Kick-Off Meeting	April 2014
Project Preliminary Design Review Meeting	June 2014
Project 60% Design Review Meeting	August 2014
Bid Set due to AERO	October 2014
Pre-Bid Conference	December 2014
Bid Opening	January 2015

PARALLEL TAXIWAY AND ENTRANCE ROAD DESIGN

SCOPE OF SERVICES - SURVEY

The scope of services consist of Survey work from the Parallel Taxiway and Entrance Road Design as detailed in the attached exhibit.

The work shall consist of the following tasks:

1. All survey work shall be performed in the Michigan State Plane coordinate system.
2. Cross sectional surveying shall be performed at 50-foot intervals within the area indicated on the attached exhibit. Spot elevations at 50-foot intervals within the cross hatched area shown in the attached exhibit. Spot elevations along any pavement shall be left, centerline and right edges within the survey limits.
3. Accurately locate any inlets, manholes, ditch lines, utilities, edge lights, signs, nav aids, edges of pavement, underground conduits, etc. which are within the survey limits and provide top, bottom and invert elevation for each structure. Pipe sizes entering and exiting all structures shall be accurately noted. If drainage structures are outside the envelope of the survey, the Surveyor shall move outside the survey limits and obtain all necessary data on the drainage system.
4. Fillets at all pavement intersections shall be supplemented with sufficient intermediate locations and elevations to allow accurate contouring of the intersections.
5. An accurate plan of all facilities within the project limits shall be provided, as well as all appurtenant structures adjacent to or near the limits.
6. Locate and stake airport property lines adjacent to the limits of work.
7. All pavement grades shall be measured to the nearest hundredth of a foot and ground shots to the nearest tenth of a foot. All foot contours shall be interpolated and shown on the survey drawings and electronic files. The contours shall take into account all faults, break lines, etc.
8. Show and site benchmark locations and elevations. Benchmarks shall be set using closed loop from an established USGS benchmark on the airport. All level runs, benchmark descriptions and USGS benchmark descriptions shall be clearly recorded.
9. All field notes shall be reduced and checked for allowable survey tolerances before being transmitted to the engineer for design.
10. Approximately twenty (20) boring locations will be provided by RS&H Michigan, Inc. and staked by the surveyor, where applicable.
11. Provide all the survey information in an ASCII format indicating X, Y, and Z coordinates (Coordinates shall conform to the Michigan State Plane Coordinate System), point numbers and point descriptions and as a computer drawing in AutoCad Civil 3D 2012 or higher on diskette in surface format with contours, edges of pavement, pavement joints, edge lights, signs, nav aids, utilities, etc. The drawings shall be made to a scale of 1"=50'. The computer generated reference points for this survey shall be identical to those of previous surveys so that previous surveys can be referenced into this survey file and the surveys match.

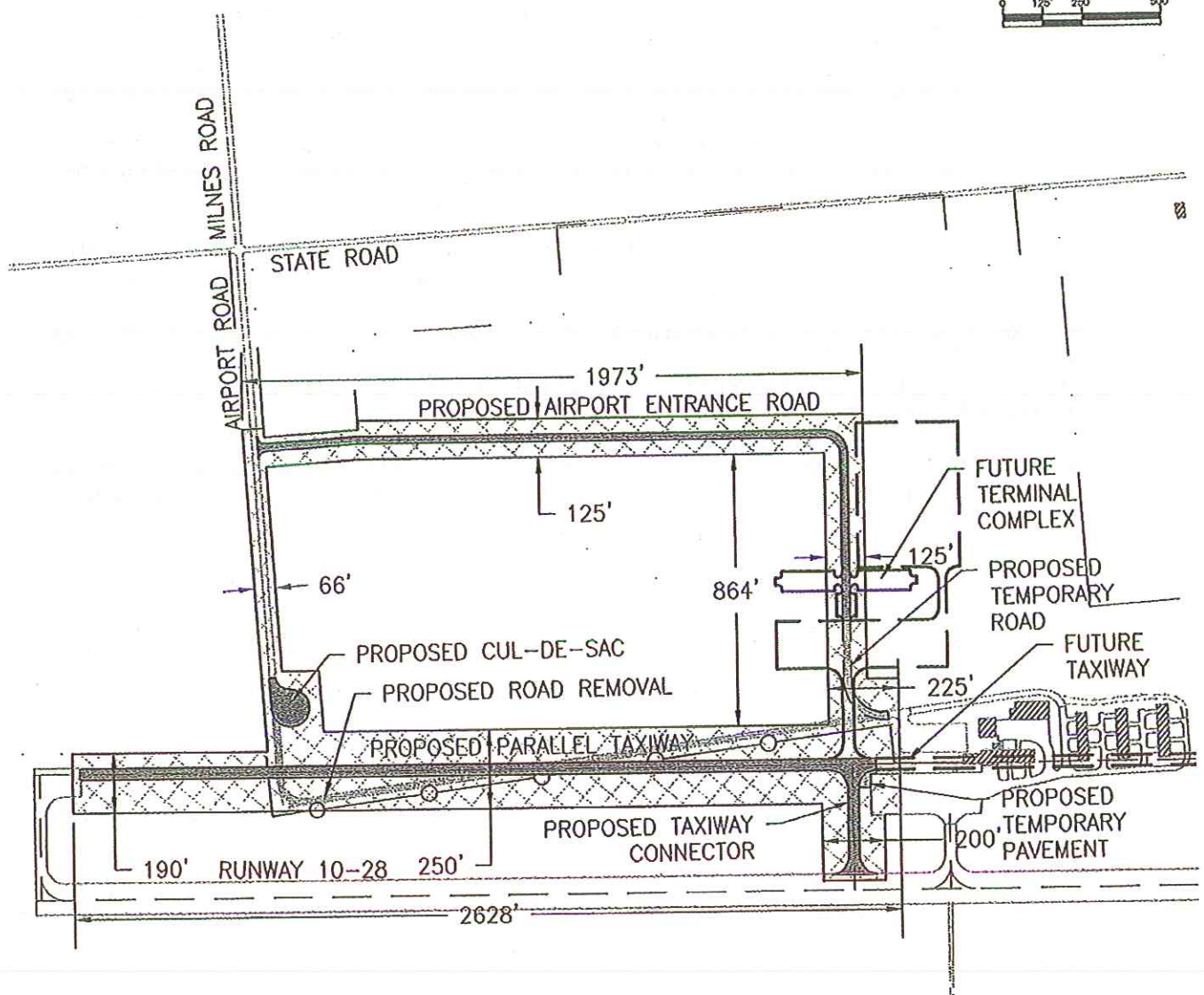
12. Conduct research to determine the existing limits of the county right of way for Airport Road. Provide legal descriptions, sketches and coordination with the Hillsdale County Road Commission for the Airport Road right of way abandonment on the project. Update the Exhibit A property map with revised property limits.
13. Accurately locate and provide elevation data of the key existing drainage site features to facilitate the development of a drainage master plan. Required features include site high points, site low points, existing ditches, site flow lines, streams, and areas of standing water. The plan will be used as a guide during the design process of all future airport projects. Anticipated effort includes two (2) survey crew days.

Surveyor shall provide an electronic file of the survey, printout of all points and one set of PDF reproducibles to the engineer. The surveyor shall seal and sign the set of PDF reproducibles.

A professional land surveyor licensed in the State of Michigan shall be responsible for all surveying services. Services shall begin immediately following Notice to Proceed. Final submittal shall be delivered two (2) weeks following Notice to Proceed. Actual date of notice to proceed is to be determined, anticipated spring 2014.

The limits of the survey are subject to change based on the results of a study of roadway layout alternatives. The surveyor will be provided with the final limits prior to issuance of the notice to proceed.

NORTH



LEGEND



PROPOSED SURVEY LIMITS (25.5 ACRES)

<p>RS & H MICHIGAN, INC. 627 Willow Run Airport Second Floor Ypsilanti, Michigan 48198 (734) 484-0692 FAX (734) 484-0971 www.rsandh.com</p>	<p>HILLSDALE MUNICIPAL AIRPORT HILLSDALE, MICHIGAN</p>	EXHIBIT 1					
		<p>PARALLEL TAXIWAY AND ENTRANCE ROAD DESIGN - SURVEY PLAN</p>	<table border="1"> <tr> <td>DRAWN BY MDH</td> <td>PROJECT NO.</td> </tr> <tr> <td>REVIEWED BY MDH</td> <td>SHEET IMPACTED</td> </tr> <tr> <td>DATE ISSUED 1/16/14</td> <td>SKETCH NO.</td> </tr> </table>	DRAWN BY MDH	PROJECT NO.	REVIEWED BY MDH	SHEET IMPACTED
DRAWN BY MDH	PROJECT NO.						
REVIEWED BY MDH	SHEET IMPACTED						
DATE ISSUED 1/16/14	SKETCH NO.						

PARALLEL TAXIWAY AND ENTRANCE ROAD DESIGN

SCOPE OF SERVICES – GEOTECHNICAL

The scope of services consists of geotechnical investigation work for the Parallel Taxiway and Entrance Road design at Hillsdale Municipal Airport as shown on the attached drawing (Boring Location Plan).

The geotechnical investigation shall consist of the following:

1. Soil borings performed to a depth of 10 feet below existing pavement or below ground elevation at the locations shown on the attached boring location plan.
2. Determine the properties of the existing pavement which should include the thickness and condition of each layer, the classification of the soils encountered in each boring in accordance with the Unified Classification System, natural moisture, plastic and liquid limit.
3. The foundation strength (CBR, k). Two (2) CBR values and two (2) k-value calculations are required. Additional cores may be needed in areas of particular interest.
4. Determine the groundwater table level and the associated seasonal high and/or low groundwater levels.
5. A report of tests sheet which summarizes the laboratory test results, the soil stratification.
6. A description of the site and subsoil conditions, design recommendations and a discussion of any special considerations (i.e. removal of unsuitable material, recompression of weak soils, estimated settlement time/amount, groundwater control etc.).
7. An appendix which contains stratified soil boring profiles, laboratory test data sheets, design CBR calculation/graphs, and any other pertinent information.

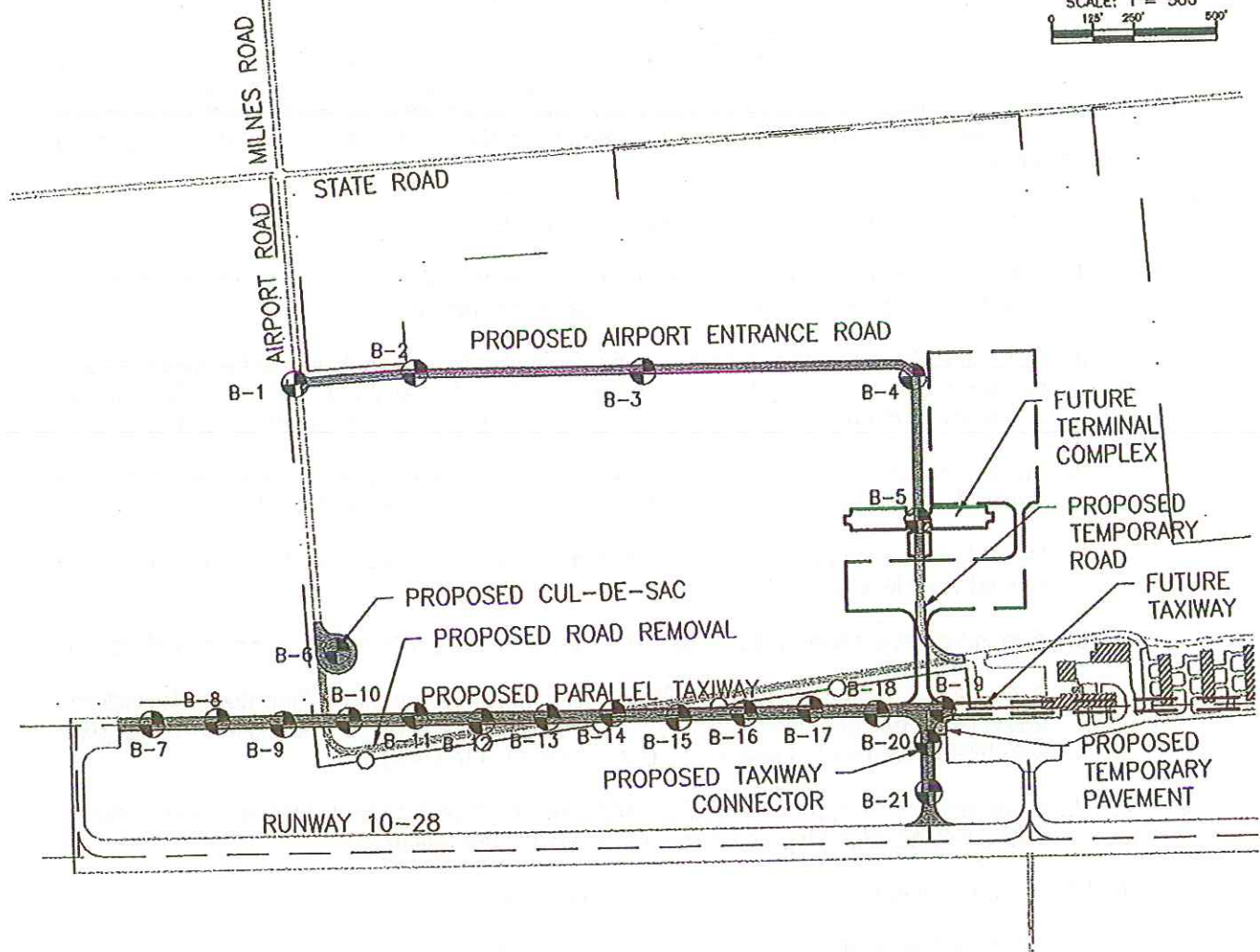
Anticipated number of borings: 18 in turf; 3 in pavement.

A registered Professional Engineer in the State of Michigan shall be responsible for services. Services shall begin immediately following Notice to Proceed. Final report shall be delivered six (6) weeks following Notice to Proceed.


NORTH



SCALE: 1" = 500'
0 125' 250' 500'



LEGEND

 B-1 PROPOSED SOIL BORING (10' DEPTH)

RS&H
IMPROVING YOUR WORLD®

RS & H MICHIGAN, INC.
827 Willow Run Airport
Second Floor
Ypsilanti, Michigan 48198
(734) 484-0692 FAX (734) 484-0971
www.rsandh.com

HILLSDALE MUNICIPAL AIRPORT
HILLSDALE, MICHIGAN

EXHIBIT 1

PARALLEL TAXIWAY
AND ENTRANCE ROAD
DESIGN - BORING PLAN

DRAWN BY MDH	PROJECT NO.
REVIEWED BY MDH	SHEET #IMPACTED
DATE ISSUED 1/16/14	SKETCH NO.

Attachment F

NON-CONSTRUCTION CONTRACT

Appendix B

(Aeronautics)

CIVIL RIGHTS ACT OF 1964, TITLE VI – 49 CFR PART 21 CONTRACTUAL REQUIREMENTS

During the performance of this contract, the contractor, for itself, its assignees and successors in interest (hereinafter referred to as the "contractor") agrees as follows:

1. **Compliance with Regulations.** The contractor will comply with the Regulations relative to nondiscrimination in federally assisted programs of the Department of Transportation (hereinafter, "DOT") Title 49, Code of Federal Regulations, Part 21, as they may be amended from time to time (hereinafter referred to as the Regulations), which are herein incorporated by reference and made a part of this contract.
2. **Nondiscrimination.** The contractor, with regard to the work performed by it during the contract, will not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurements of materials and leases of equipment. The contractor will not participate either directly or indirectly in the discrimination prohibited by section 21.5 of the Regulations, including employment practices when the contract covers a program set forth in Appendix B of the Regulations.
3. **Solicitations for Subcontracts, Including Procurements of Materials and Equipment.** In all solicitations either by competitive bidding or negotiation made by the contractor for work to be performed under a subcontract, including procurements of materials or leases of equipment, each potential subcontractor or supplier will be notified by the contractor of the contractor's obligations under this contract and the Regulations relative to nondiscrimination on the grounds of race, color, or national origin.
4. **Information and Reports.** The contractor will provide all information and reports required by the Regulations or directives issued pursuant thereto and will permit access to its books, records, accounts, other sources of information, and its facilities as may be determined by the SPONSOR or the Federal Aviation Administration (FAA) to be pertinent to ascertain compliance with such Regulations, orders, and instructions. Where any information required of a contractor is in the exclusive possession of another who fails or refuses to furnish this information, the contractor will so certify to the SPONSOR or the FAA, as appropriate, and will set forth what efforts it has made to obtain the information.
5. **Sanctions for Noncompliance.** In the event of the contractor's noncompliance with the nondiscrimination provisions of this contract, the SPONSOR will impose such contract sanctions as it or the FAA may determine to be appropriate, including, but not limited to:
 - a. Withholding of payments to the contractor under the contract until the contractor complies, and/or

- b. Cancellation, termination, or suspension of the contract, in whole or in part.
6. **Incorporation of Provisions.** The contractor will include the provisions of paragraphs 1 through 5 in every subcontract, including procurements of materials and leases of equipment, unless exempt by the Regulations or directives issued pursuant thereto. The contractor will take such action with respect to any subcontract or procurement as the SPONSOR or the FAA may direct as a means of enforcing such provisions including sanctions for noncompliance. Provided, however, that in the event a contractor becomes involved in, or is threatened with, litigation with a subcontractor or supplier as a result of such direction, the contractor may request the SPONSOR to enter into such litigation to protect the interests of the SPONSOR and, in addition, the contractor may request the United States to enter into such litigation to protect the interests of the United States.

AIRPORT AND AIRWAY IMPROVEMENT ACT OF 1982, SECTION 520
GENERAL CIVIL RIGHTS PROVISIONS
49 U.S.C. 47123

The contractor assures that it will comply with pertinent statutes, Executive orders and such rules as are promulgated to assure that no person will, on the grounds of race, creed, color, national origin, sex, age, or handicap be excluded from participating in any activity conducted with or benefiting from Federal assistance. This provision obligates the tenant/concessionaire/lessee or its transferee for the period during which Federal assistance is extended to the airport a program, except where Federal assistance is to provide, or is in the form of personal property or real property or interest therein or structures or improvements thereon. In these cases the provision obligates the party or any transferee for the longer of the following periods: (a) the period during which the property is used by the airport SPONSOR or any transferee for a purpose for which Federal assistance is extended, or for another purpose involving the provision of similar services or benefits or (b) the period during which the airport SPONSOR or any transferee retains ownership or possession of the property. In the case of contractors, this provision binds the contractors from the bid solicitation period through the completion of the contract. This provision is in addition to that required of Title VI of the Civil Rights Act of 1964.

ACCESS TO RECORDS AND REPORTS
49 CFR PART 18.36(i)

The Contractor will maintain an acceptable cost accounting system. The Contractor agrees to provide the SPONSOR, the Federal Aviation Administration and the Comptroller General of the United States or any of their duly authorized representative's access to any books, documents, papers, and records of the contractor which are directly pertinent to the specific contract for the purpose of making audit, examination, excerpts and transcriptions. The Contractor agrees to maintain all books, records and reports required under this Contract for a period of not less than three years after final payment is made and all pending matters are closed.

RIGHTS TO INVENTIONS
49 CFR Part 18.36(i)(8)

All rights to inventions and materials generated under this contract are subject to regulations issued by the FAA and the SPONSOR of the Federal grant under which this contract is executed.

Appendix C
Assurances that Recipients and Contractors Must Make
(Excerpts from US DOT Regulation 49 CFR § 26.13)
(Revised October 1, 2005)

- A. Each financial assistance agreement signed with a DOT operating administration (or a primary recipient) must include the following assurance:

The recipient shall not discriminate on the basis of race, color, national origin, or sex in the award and performance of any US DOT-assisted contract or in the administration of its DBE program or the requirements of 49 CFR Part 26. The recipient shall take all necessary and reasonable steps under 49 CFR Part 26 to ensure nondiscrimination in the award and administration of US DOT-assisted contracts. The recipient's DBE program, as required by 49 CFR Part 26 and as approved by US DOT, is incorporated by reference in this agreement. Implementation of this program is a legal obligation and failure to carry out its terms shall be treated as a violation of this agreement. Upon notification to the recipient of its failure to carry out its approved program, the department may impose sanctions as provided for under Part 26 and may, in appropriate cases, refer the matter for enforcement under 18 U.S.C. 1001 and/or the Program Fraud Civil Remedies Act of 1986 (31 U.S.C. 3801 et seq.).

- B. Each contract MDOT signs with a contractor (and each subcontract the prime contractor signs with a subcontractor) must include the following assurance:

The contractor, subrecipient or subcontractor shall not discriminate on the basis of race, color, national origin, or sex in the performance of this contract. The contractor shall carry out applicable requirements of 49 CFR Part 26 in the award and administration of US DOT-assisted contracts. Failure by the contractor to carry out these requirements is a material breach of this contract, which may result in the termination of this contract or such other remedy as the recipient deems appropriate.

LOBBYING AND INFLUENCING FEDERAL EMPLOYEES
49 CFR Part 20, Appendix A

(1) No Federal appropriated funds will be paid, by or on behalf of the contractor, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the making of any Federal grant and the amendment or modification of any Federal grant.

(2) If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a

Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with any Federal grant, the contractor will complete and submit Standard Form-LLL, "Disclosure of Lobby Activities," in accordance with its instructions.

TRADE RESTRICTION CLAUSE
49 CFR PART 30

The contractor or subcontractor, by submission of an offer and/or execution of a contract, certifies that it:

- a. is not owned or controlled by one or more citizens of a foreign country included in the list of countries that discriminate against U.S. firms published by the Office of the United States Trade Representative (USTR);
- b. has not knowingly entered into any contract or subcontract for this project with a person that is a citizen or national of a foreign country on said list, or is owned or controlled directly or indirectly by one or more citizens or nationals of a foreign country on said list;
- c. has not procured any product nor subcontracted for the supply of any product for use on the project that is produced in a foreign country on said list.

Unless the restrictions of this clause are waived by the Secretary of Transportation in accordance with 49 CFR 30.17, no contract will be awarded to a contractor or subcontractor who is unable to certify to the above. If the contractor knowingly procures or subcontracts for the supply of any product or service of a foreign country on said list for use on the project, the Federal Aviation Administration may direct through the SPONSOR cancellation of the contract at no cost to the Government.

Further, the contractor agrees that, if awarded a contract resulting from this solicitation, it will incorporate this provision for certification without modification in each contract and in all lower tier subcontracts. The contractor may rely on the certification of a prospective subcontractor unless it has knowledge that the certification is erroneous.

The contractor will provide immediate written notice to the SPONSOR if the contractor learns that its certification or that of a subcontractor was erroneous when submitted or has become erroneous by reason of changed circumstances. The subcontractor agrees to provide written notice to the contractor if at any time it learns that its certification was erroneous by reason of changed circumstances.

This certification is a material representation of fact upon which reliance was placed when making the award. If it is later determined that the contractor or subcontractor knowingly rendered an erroneous certification, the Federal Aviation Administration may direct through the SPONSOR cancellation of the contract or subcontract for default at no cost to the Government.

Nothing contained in the foregoing will be construed to require establishment of a system of records in order to render, in good faith, the certification required by this provision. The knowledge and information of a contractor is not required to exceed that which is normally possessed by a prudent person in the ordinary course of business dealings.

This certification concerns a matter within the jurisdiction of an agency of the United States of America and the making of a false, fictitious, or fraudulent certification may render the maker subject to prosecution under Title 18, United States Code, Section 1001.

TERMINATION OF CONTRACT
49 CFR Part 18.36(i)(2)

For all contracts in excess of \$10,000:

- a. The SPONSOR may, by written notice, terminate this contract in whole or in part at any time, either for the SPONSOR's convenience or because of failure to fulfill the contract obligations. Upon receipt of such notice services will be immediately discontinued (unless the notice directs otherwise) and all materials as may have been accumulated in performing this contract, whether completed or in progress, delivered to the SPONSOR.
- b. If the termination is for the convenience of the SPONSOR, an equitable adjustment in the contract price will be made, but no amount will be allowed for anticipated profit on unperformed services.
- c. If the termination is due to failure to fulfill the contractor's obligations, the SPONSOR may take over the work and prosecute the same to completion by contract or otherwise. In such case, the contractor will be liable to the SPONSOR for any additional cost occasioned to the SPONSOR thereby.
- d. If, after notice of termination for failure to fulfill contract obligations, it is determined that the contractor had not so failed, the termination will be deemed to have been effected for the convenience of the SPONSOR. In such event, adjustment in the contract price will be made as provided in paragraph 2 of this clause.
- e. The rights and remedies of the SPONSOR provided in this clause are in addition to any other rights and remedies provided by law or under this contract.

**CERTIFICATION REGARDING DEBARMENT, SUSPENSION,
INELIGIBILITY AND VOLUNTARY EXCLUSION**
49 CFR Part 29

For all contracts in excess of \$25,000:

The bidder/offeror certifies, by submission of this proposal or acceptance of this contract, that neither it nor its principals is presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in this transaction by any Federal department or agency. It further agrees by submitting this proposal that it will include this clause without modification in all lower tier transactions, solicitations, proposals, contracts, and subcontracts. Where the bidder/offeror/contractor or any lower tier participant is unable to certify to this statement, it will attach an explanation to this solicitation/proposal.

BREACH OF CONTRACT TERMS
49 CFR Part 18.36

For all contracts in excess of \$100,000:

Any violation or breach of terms of this contract on the part of the contractor or their subcontractors may result in the suspension or termination of this contract or such other action that may be necessary to enforce the rights of the parties of this Contract. The duties and obligations imposed by the Contract Documents and the rights and remedies available there under will be in addition to and not a limitation of any duties, obligations, rights and remedies otherwise imposed or available by law.

CLEAN AIR AND WATER POLLUTION CONTROL
49 CFR Part 18.36(i)(12)
(April 14, 2008)

Contractors and subcontractors agree for all contracts in excess of \$100,000:

- a. That any facility to be used in the performance of the contract or subcontract or to benefit from the contract is not listed on the Environmental Protection Agency (EPA) List of Violating Facilities;
- b. To comply with all the requirements of Section 114 of the Clean Air Act, as amended, 42 U.S.C. 1857 et seq. and Section 308 of the Federal Water Pollution Control Act, as amended, 33 U.S.C. 1251 et seq. relating to inspection, monitoring, entry, reports, and information, as well as all other requirements specified in Section 114 and Section 308 of the Acts, respectively, and all other regulations and guidelines issued there under;
- c. That, as a condition for the award of this contract, the contractor or subcontractor will notify the awarding official of the receipt of any communication from the EPA indicating that a facility to be used for the performance of or benefit from the contract is under consideration to be listed on the EPA List of Violating Facilities;
- d. To include or cause to be included in any construction contract or subcontract which exceeds \$100,000 the aforementioned criteria and requirements.

Prime CONSULTANT Statement of DBE Sub-CONSULTANT Payments

Information required in accordance with 49 CFR §26.37 to monitor progress of the prime CONSULTANT in meeting contractual obligations to DBEs.

PRIME CONSULTANT: CHECK IF PRIME IS MDOT-DBE CERTIFIED AUTHORIZATION NO. _____ CONTRACT NO. _____

BILLING PERIOD: Check if Final Payment

CERTIFIED DBE SUBCONSULTANT	SERVICES WORK PERFORMED	TOTAL CONTRACT AMOUNT	CUMULATIVE DOLLAR VALUE OF SERVICES COMPLETED	DEDUCTIONS	ACTUAL AMOUNT PAID TO DATE	ACTUAL AMOUNT PAID DURING THIS REPORTING PERIOD	DBE AUTHORIZED SIGNATURE (Final Payment Report Only)	DATE

As the authorized representative of the above prime CONSULTANT, I state that, to the best of my knowledge, this information is true and accurate.
 PRIME CONSULTANT'S AUTHORIZED REPRESENTATIVE (SIGNATURE) _____ TITLE _____ DATE _____

FOR MDOT USE ONLY

COMMENTS: _____

CONTRACT ADMINISTRATOR (SIGNATURE) _____ DATE _____

INSTRUCTIONS

PRIME CONSULTANT OR AUTHORIZED REPRESENTATIVE:

This statement reports the actual dollar amounts of the project cost earned by and paid to DBE subCONSULTANTS. Complete and submit to the Contract Administrator with each billing and within 20 days of receipt of final payment. Some forms may be blank if no payment was made since the previous billing.

For "Contract No., Authorization No.," and "Job No.," as appropriate, use the numbers assigned by MDOT.

For "Period Covered," report the calendar days covered by the billing.

For "Services Work Performed" report the main service performed by the subCONSULTANT during the reporting period.

For "Total Contract Amount" report the total amount of the contract between the prime CONSULTANT and the subCONSULTANT.

For "Cumulative Dollar Value of Services Completed" report the total amount the subCONSULTANT has earned since beginning this project.

For "Deductions," report deductions made by the prime CONSULTANT to the subCONSULTANT's "Cumulative Dollar Value of Services Completed" for retainage, bond or other fees, materials, services or equipment provided to the subCONSULTANT according to mutual, prior agreement (documentation of such agreement may be required by MDOT).

For "Actual Amount Paid to Date," report cumulative actual payments made to the subCONSULTANT for services completed.

For "Actual Amount Paid During this Reporting Period" report actual payments made to the subcontractor for services during this reporting period.

Provide "DBE Authorized Signature" for final payment only.

Be sure to sign, title and date this statement.

MDOT CONTRACT ADMINISTRATOR:

Complete "Comments" if necessary, sign, date and forward to the Office of Business Development within seven (7) days of receipt.

MDOT Office of Business Development

P.O. Box 30050

Lansing, Michigan 48909

Questions about this form? call Toll-free, 1-866-DBE-1264

City of Hillsdale Agenda Item Summary

Meeting Date: June 16, 2014

Agenda Item #10: New Business C – Granicus

BACKGROUND:

During the budget discussions, the topic of Granicus came up. The fee for the service is approximately \$12,000.

RECOMMENDATION:

I recommend that Council discontinue the service at the next opportunity.

City of Hillsdale Agenda Item Summary

Meeting Date: June 16, 2014

Agenda Item #10: New Business D – City of Hillsdale Clean Water State Revolving Fund Project Plan (Resolution)

BACKGROUND:

As many of you were here on Tuesday, June 10, 2014, you are aware of the presentation made by Fleis & Vandenbrink during which time five (5) proposals were presented regarding how the required improvements must be made at the wastewater treatment plant. Following explanations and the public hearing, the Board of Public Utilities chose Alternative #4 as the adopted plan and asked that Council do so as well by adopting the attached Resolution. The resolution also names Nate Rusk, BPU System Manager, as the authorized representative for all activities associated with the referenced project.

I have also attached a memo from BPU Director, Rick Rose.

RECOMMENDATION:

I recommend that Council pass the enclosed resolution.

Hillsdale Board of Public Utilities
45 Monroe Street • P.O. Box 279
Hillsdale, Michigan 49242-0279
Telephone: 517/437-3387
Fax: 517/437-3388



June 11, 2014

City Council and Mayor:

The Hillsdale Board of Public Utilities at its regular meeting of Tuesday June 10, 2014 was held at the City Hall in the third floor Council Chambers. At this time a Public Hearing was held for the purpose of presentation of the City of Hillsdale Clean Water State Revolving Fund (SRF) Project Plan.

The meeting was opened at 7:00 PM with representatives, Jeff Pugh and others, from Fliess & Vandenbrink, our project engineers. They laid out the alternatives considered for the WWTP and at the conclusion of their presentation anyone in attendance was allowed to comment upon the presented plans.

When all Public Comments concluded the Board closed out the Public Hearing and considered the projects and comments received and choose a course of action by picking one of the presented alternatives. They further passed the attached; A Resolution Adopting a Final Project Plan for Wastewater System Improvements and Designating an Authorized Project Representative. The Board requests Councils approval of same so that the plan can be submitted to the DEQ by the July 1, 2014 deadline.

Rick J. Rose

Director
Hillsdale BPU

**A RESOLUTION ADOPTING A FINAL PROJECT PLAN
FOR WASTEWATER SYSTEM IMPROVEMENTS AND
DESIGNATING AN AUTHORIZED PROJECT REPRESENTATIVE**

WHEREAS, the City of Hillsdale (*legal name of applicant*) recognizes the need to make improvements to its existing wastewater treatment and collection system; and

WHEREAS, the City of Hillsdale (*legal name of applicant*) authorized Fleis & VandenBrink Engineering, Inc. (*name of consulting engineering firm*) to prepare a Project Plan, which recommends the construction of improvements at the existing Hillsdale Wastewater Treatment Plant; and

WHEREAS, said Project Plan was presented at a Public Hearing held on June 10, 2014 and all public comments have been considered and addressed;

NOW THEREFORE BE IT RESOLVED, that the City of Hillsdale (*legal name of applicant*) formally adopts said Project Plan and agrees to implement the selected alternative (Alternative No. 4 – Optimize Existing Facilities with CHP).

BE IT FURTHER RESOLVED, that the Board of Public Utilities System Manager (*title of the designee's position*), a position currently held by Nate Rusk (*name of the designee*), is designated as the authorized representative for all activities associated with the project referenced above, including the submittal of said Project Plan as the first step in applying to the State of Michigan for a revolving fund loan to assist in the implementation of the selected alternative.

Yeas:

Nays:

Abstain:

Absent:

I certify that the above Resolution was adopted by the City of Hillsdale (*the governing body of the applicant*) on June 16, 2014

BY:

Name and Title (*please print or type*) Signature Date

Name and Title (*please print or type*) Signature Date

City of Hillsdale

Agenda Item Summary

Meeting Date: June 16, 2014

Agenda Item #10: New Business E– Contract for Brush Grinding and Removal

BACKGROUND:

DPS recently went out to bid for brush grinding and removal. I have attached a Standard Bid Information Form that identifies the bidders contacted, how and where the project was advertised and the bidders. As you can see, the low bidder for Option A (recommended by the Director) was \$11,650.00.

I am enclosing proposed contract for your consideration in awarding the bid.

RECOMMENDATION:

I recommend Council award the bid to the low bidder, Van Brunt Transport, Inc. in the amount of \$11,650 and authorize signatures on the contract.

CITY OF HILLSDALE

STANDARD BID INFORMATION FORM

DEPARTMENT: Department of Public Services

PROJECT: 2014 Brush Grinding and/or Removal

DESCRIPTION: Brush Grinding and/or Removal

DATE OF BID OPENING: June 6, 2014

BID EXPIRATION DATE:

NUMBER OF BIDDERS: 4

LOW BID AMOUNT: \$11,650

LIST OF BIDDERS

	BID AMOUNT	
	Option "A"	Option "B"
Van Brunt Transport, Inc.	\$11,650	\$9,400
TDE Enterprises, Inc.	\$13,000	\$13,000
Hacker Services, LLC	\$15,000	\$12,500
E.T. MacKenzie Co.	\$19,990	\$14,650

HOW AND WHERE ADVERTISED: Hillsdale Daily News, City Web Site

LIST OF BIDDERS CONTACTED DIRECTLY:

Brink Wood Products, Inc.
1175 76 Street SW
Byron Center, MI 49315
Attn: Shelly

Mid-Michigan Recycling
G 5310 N. Dort Hwy
Flint, MI 48505
Attn: Aaron Hess

Hacker Services
7868 Chubb Rd
Northville, MI 48168

TDE Enterprises
4784 Halfpenny Ct
Commerce Township, MI 48382
Attn: Shawn

Kamps
2900 Peach Ridge NW
Grand Rapids, MI 49534
Attn: Mitchell Kamps

Van Brunt Transport, Inc.
6053 Springville Hwy
Onsted, MI 49265
Attn: David Van Brunt

DEPARTMENT RECOMMENDATION: Over the last 20 years the City of Hillsdale has made the transition from burning brush and limbs, to recycling this wood waste by way of the process called 'tub grinding'. The woody material that is collected curbside by City Crews, as well as the materials dropped-off by residents at the Compost Recycling Site is now disposed of in this manner due to State and Federal air quality restrictions in place since 2008. We last performed the tub grinding operation in 2012 at the cost of \$13,000. Therefore, I recommend that the bid for Brush Grinding and Removal (Option "A") be awarded to the low bidder, Van Brunt Transport Inc. of Onsted MI. in the amount of \$11,650.

BUDGETED AMOUNT: Although this specific line item was not budgeted in the 2013/14 budget, there is currently \$11,700 available for this operation under the Public Services - Contractual Services line item, which is the account that supports this activity.

CITY OF HILLSDALE
Brush Grinding Removal Contract

Preamble

The City of Hillsdale, Michigan, a Michigan municipal corporation, (Hillsdale), has as a part of its services to the general public, the responsibility of brush collection. Hillsdale's efforts in this regard include, but are not limited to, the collection, grinding and or removal of brush and related woody material from within certain public areas of the City of Hillsdale. In an effort to reduce its operational costs and to improve its services to the general public, Hillsdale has solicited and received sealed, competitive bids from contractors who provide brush grinding and or removal services on a commercial basis. As a result of said solicitation **Van Brunt Transport, Inc.** of **6053 Springville Hwy Onsted, MI 49265** (the "Contractor") has submitted and been awarded a contract to perform brush grinding at the City of Hillsdale's Public Services compost yard as identified in accordance with the terms and provisions of the bid specifications contained therein and this agreement.

A. General Terms

(1) In consideration of the payments to be made to the Contractor pursuant to this contract, Contractor agrees to and shall provide brush grinding services to Hillsdale, as hereinafter identified and provided.

(2) The brush grinding service to be provided by Contractor to Hillsdale shall, in addition to actual brush grinding and/or removal services include all labor, materials, supplies and services as are necessary to provide and complete the services contemplated by this agreement, all of which shall be provided and maintained at Contractor's sole expense. **Contractor must perform this work using either a tub grinder or a horizontal grinder.**

(3) All work performed by Contractor under this contract shall be performed in a timely and workmanlike manner with minimal disturbance to persons or property.

(4) Contractor shall be solely responsible and liable for the repair and restoration of any damage caused by it and/or its employees, servants or agents to private or public property, whether real or personal, at its sole expense. In the event Contractor fails to make such repair and/or restoration, Hillsdale may perform such repair and/or restoration and the cost thereof shall be charged to and paid by Contractor or deducted from the payment due under this contract to Contractor.

(6) Contractor shall notify Hillsdale's Department of Public Services at the beginning of every day that they are performing any work on Hillsdale's property.

(7) It shall be the sole responsibility of Contractor to notify the appropriate utility companies of any potential hazard encountered.

(8) Work shall commence within fifteen (15) calendar days after execution of the contract by the last party to sign. Grinding of all brush material shall be completed within ten (10) business days of the date Contractor begins grinding it. If the Contractor has bid and been awarded this contract under Option A, the Contractor shall remove all ground brush material within fifteen (15) business days of the date Contractor completes grinding operations.

B. Qualifications

(1) Contractor represents that it is a valid Michigan corporation that is and has consistently been actively engaged in the field of brush grinding through the present time. Contractor further represents that it possesses the skill, experience, competence and financial ability to carry out and fulfill all of its duties and obligations under this contract in a timely and workmanlike manner.

(2) Contractor further represents and covenants that it shall not discriminate against any employee or applicant for employment with respect to hiring, tenure, terms, conditions, or privileges of employment, or any matter directly or indirectly related to employment, because of race, color, religion, national origin, age, height, weight, marital status or other legally protected status. It is understood and agreed by and between the parties that breach of this covenant may be regarded as a material breach of this contract.

(3) All persons employed by Contractor during the term of this contract who are assigned to perform any of the services to Hillsdale as are contemplated herein shall be properly trained in brush grinding and/or removal and shall be properly supervised by the Contractor to assure that their work is performed in a professional and workmanlike manner.

(4) All work performed under this contract by Contractor shall be performed with minimal disturbance to or interference with the general public and/or the use and enjoyment of public and private property in the area.

C. Insurance and Indemnity

(1) Contractor shall carry public liability and property damage insurance with limits of liability of not less than Five Hundred Thousand and 00/100 (\$500,000.00) Dollars, with Hillsdale designated therein as a named insured; and provide proof thereof to Hillsdale prior to the commencement of any work under this contract.

(2) Contractor shall carry and provide all workers compensation insurance coverage for its employees as is required by the laws of the State of Michigan and provide proof thereof to Hillsdale prior to the commencement of any work under this contract.

(3) Contractor further agrees to and shall defend, indemnify and hold Hillsdale harmless from any and all damages, claims, demands, causes of action,

lawsuits, attorney fees and related expenses, as a result of actual or claimed personal injury, including death, property damage or other damage or loss of any kind or nature which are or are claimed to be a proximate result of the negligence, gross negligence or intentional acts or omissions of the Contractor, its agents, servants and/or employees, or any other person, or which otherwise arise or are claimed to have arisen out of the use of any equipment or the performance of any work under this contract by or at the direction of Contractor, its agents, servants and/or employees, or any other person, whether or not such damages or injuries, including death, are caused in part by the negligence of Hillsdale, its employees, agents, servants, or representatives; provided, however, that Contractor shall not be obligated to indemnify Hillsdale for any damages or injuries, including death, caused by or resulting from the sole negligence of Hillsdale.

D. Payment

(1) Hillsdale agrees to and shall pay Contractor for its services under this contract, subject to and dependent on Contractor's compliance with and fulfillment of all of its covenants and promises to Hillsdale hereunder, the total contract price of **\$11,700 Dollars**, which the parties agree includes all Michigan sales and use taxes currently imposed by legislative enactment and as administered by the Michigan Department of Revenue each of which such taxes Contractor shall pay when and as due and from which Contractor shall defend, indemnify, and hold Hillsdale harmless.

(2) Upon receipt Hillsdale Department of Public Services staff shall inspect the work and, if determined to be satisfactory, shall authorize payment of the invoice in the ordinary course of business.

E. Independent Contractor

(1) It is further agreed and acknowledged by the parties that Contractor is an independent contractor and that neither it nor any of its employees, agents, servants or representatives are employees of Hillsdale.

(2) It is further agreed that Contractor is solely responsible for the management, direction, scheduling, oversight, discipline, training and compensation of its employees and the work they perform, as well as for the provision of all tools, equipment and supplies required to fulfill the Contractor obligations under this contract.

F. Entire Agreement

(1) This contract, together with the bid specifications and bidding instructions, and bid submitted by Contractor, constitutes the entire agreement between the parties and supersedes and merges all prior representations into its terms.

(2) The parties acknowledge that there are no other representations, inducements, promises or agreements between them, whether oral or written.

(3) In case of conflict between this contract and the bid specifications, bidding

instructions and/or brush grinding and or removal bid submitted by Contractor or any other claimed agreement, representation, inducement, promise or agreement, the terms and provisions of this contract shall control and be binding upon the parties.

(4) Contractor acknowledges and agrees that all documents that it has provided or hereafter provides to Hillsdale in connection with or regarding its bid, this contract, its performance and compensation are subject to disclosure under the Freedom of Information Act and Contractor hereby expressly consents to the City's reproduction and release of such documents, in whole or in part, in response to a Freedom of Information Act request.

G. Termination

(1) Hillsdale may terminate this contract without further obligation or liability to Contractor at its option and without prejudice to any other remedies to which it might be entitled, whether in law, in equity, under this contract, or otherwise, by giving written notice of termination to Contractor if the latter should:

- (a) be adjudged bankrupt;
- (b) become insolvent or have a receiver of its assets appointed;
- (c) make a general assignment for the benefit of creditors;
- (d) default in the performance of any obligation under this contract;
- (e) breach any covenant under this contract;
- (f) institute or suffer to be instituted any procedures for reorganization of its affairs;
- (g) fail to perform any of its obligations to Hillsdale under this contract to Hillsdale's satisfaction.

Notice of termination pursuant to the forgoing provisions shall be provided to Contractor in writing and shall be delivered by ordinary first class mail or personal service.

If Contractor fails to complete this contract within the specified time or due to any of the reasons listed above and Hillsdale terminates the contract and retains a new contractor to complete the work that this contract contemplates, Contractor shall be liable to and shall reimburse Hillsdale for the difference in the price between the newly acquired contractor's bid price and the Contractor bid price.

IN WITNESS WHEREOF the parties have set their hands and seals this ____ day of June 2014.

Signed in the presence of:

CONTRACTOR: Van Brunt Transport, Inc.

By _____

Signed in the presence of:

CITY OF HILLSDALE

By _____
Scott Session, Its Mayor

By _____
Michelle Loren, Its Deputy Clerk

CITY OF HILLSDALE, MICHIGAN
ADVERTISEMENT FOR BIDS
For
Brush Grinding and or Removal

The City of Hillsdale will receive sealed proposals at the Office of the City Clerk, Hillsdale City Hall, 97 N. Broad Street, Hillsdale, Michigan 49242 until 10:00 a.m. on Friday, June 6, 2014 for the grinding and/or removal of all brush, tree tops, limbs and other associated woody material.

Information regarding the project, a copy of the specifications applicable to this project and the form of the contract that is to be entered pursuant to this advertisement is available at the Office of the Hillsdale City Clerk, Hillsdale City Hall, 97 N. Broad Street, Hillsdale, Michigan 49242. The proposal, when submitted, shall have attached to it a copy of the specifications applicable to this project and the form of the contract that is to be entered, which shall be deemed to have been read and approved and made a part of the bidder's proposal.

No proposal will be accepted after the time designated for the receipt of proposals set forth above. Each bidder shall and will be fully and solely responsible for delivery of the proposal prior to the appointed date and hour designated for the receipt of all proposals, and shall assume the risk of late delivery or non-delivery regardless of the manner the bidder employs for the proposal's delivery or the reason for such late delivery or non-delivery.

The City of Hillsdale reserves the right to reject any and all proposals and to waive any defects or informalities in proposals, to accept the bid that it determines to be the lowest competitive bid from a competent bidder meeting specifications and to contract with the bidder or bidders who, in the judgment of the Hillsdale City Manager, are deemed the most advantageous for the public and the City.

The City of Hillsdale hereby notifies all bidders that it will affirmatively ensure that in any contract entered into pursuant to this advertisement, disadvantaged business enterprises will be afforded full opportunity to submit bids to this invitation and will not be discriminated against on grounds of sex, race, color, age, weight, height, marital status, religion or national origin in the consideration for an award.

Date: 5/19/2014


Michelle Loren – Deputy City Clerk

DESCRIPTION OF PROJECT AND PROJECT SPECIFICATIONS

GENERAL

This is a request for bids. The project for which bids are sought is for the grinding and/or hauling of approximately 2,000 to 2,500 cubic yards of accumulated brush that is located at the City of Hillsdale's (Hillsdale) compost site, 149 Waterworks Ave. Grinding of the material shall be done using either a "Tub Grinder" or "Horizontal Grinder" which at a **minimum** must be capable of grinding brush and wood products at the rate of **50 cubic yards** per hour.

Two *contract* options will be considered. **Option "A"** will be for the grinding of all brush and related woody material as well as the **removal** of the resulting chips, whereas **Option "B"** will be for the grinding of brush and related woody material only (**no removal of the chipped material**). **In addition to the above two options, the city is asking for quotes for the grinding of each additional cubic yard of brush that may be brought in to the yard after all bids have been received.** The successful bidder shall grind and/or remove all brush, tree tops, limbs, and other associated woody debris. The successful bidder shall restore the Hillsdale's real estate to a condition that is at least as good as existed prior to the commencement of work.

A copy of the Advertisement for Bids and a copy of the contract that the successful bidder will be required to enter with Hillsdale are furnished with these specifications. All bids shall be submitted in a sealed envelope on the attached form to which shall be attached copies of the Advertisement for Bids, these specifications, and referenced contract form containing the terms and conditions of the contract to be entered, which the bidder shall be deemed to have read and approved and made a part of the bidder's proposal.

The bid, if personally delivered, shall be submitted in a sealed envelope. The outside of the envelope shall be plainly marked with the words "**Bid for Brush Grinding**". The outside of the envelope shall also set forth the name and address of the bidder. If sent by mail, the bid shall be enclosed in a separate sealed envelope, marked as above. Not more than one bid for the same project from an individual, partnership or corporation will be considered.

SPECIFICATION – References

As a prerequisite to the consideration and award of a bid, the bidder shall provide in its bid proposal at least three (3) references to municipalities wherein the bidder has performed work of a similar scope and nature together with the name, title, address, and telephone number of the contact person at each that can verify satisfactory performance.

SPECIFICATION - Grinding of all brush, tree tops, limbs and associated woody debris; Restoration of Property

The work contemplated shall consist of the grinding and/or removal of all accumulated brush and related woody material that is located at the City of Hillsdale's compost site, 149 Waterworks Ave. depending on which option (A or B) that has been entered into. The successful bidder shall grind the material using either a "Tub Grinder" or "Horizontal Grinder" which at a **minimum** must be capable of grinding **50 cubic yards** per hour of brush and woody material. The successful bidder shall restore the City's real estate to a condition that is at least as good as existed prior to the commencement of work.

SPECIFICATION- Sequence of Work; Completion Time

The work contemplated shall be accomplished in the following sequence, which shall be strictly adhered to as a material condition of the proper performance of the contract between the parties.

- A. Work shall be commenced within **fifteen (15)** calendar days after execution of the contract.
- B. Grinding of all material shall be completed within **ten (10)** business days from the time contractor begins grinding the material. In the event Option "A" is entered into, the successful bidder shall be required to remove all processed material from the site within **fifteen (15)** business days from the time the contractor has completed grinding the material.

SPECIFICATION-Permits and Codes

The successful bidder shall be responsible for obtaining all necessary permits and licenses at the bidder's sole expense, and to fully comply with all applicable statutes, ordinances, rules and regulations.

SPECIFICATION-Taxes

The successful bidder shall be deemed to have included in his, hers or its bid proposal and contract price all Michigan sales and use taxes currently imposed by legislative enactment and as administered by the Michigan Department of Revenue each of which such taxes the successful bidder shall pay when and as due and from which Contractor shall defend, indemnify, and hold Hillsdale harmless.

SPECIFICATION- Insurance and Indemnity

- (1) The successful bidder shall carry public liability and property damage insurance with limits of liability of not less than Five Hundred Thousand and 00/100 (\$500,000.00) Dollars first dollar coverage, with Hillsdale designated therein as a named insured; and provide proof thereof to Hillsdale prior to the commencement of any of the contemplated work;
- (2) The successful bidder shall carry and provide all workers compensation insurance coverage for its employees and is required by the laws of the State of Michigan and provide proof thereof to Hillsdale prior to the commencement of any work under this contract and provide proof thereof to Hillsdale prior to commencement of any of the contemplated work;
- (3) The successful bidder shall defend, indemnify and hold Hillsdale harmless from any and all damages, claims, demands, causes of action, lawsuits, attorney fees and related expenses, as a result of actual or claimed personal injury, including death, property damage or other damage or loss of any kind or nature which are or are claimed to be a proximate result of the negligence, gross negligence or intentional acts or omissions of the successful bidder, his, her, or its agents, servants and /or employees, or any other person, or which otherwise arise or are claimed to have arisen out of the use of any equipment or the performance of any work under this contract by or at the direction of the successful bidder, his, her or its agents, servants and/or employees, or any other person, whether or not such damages or injuries, including death, are caused in part by the negligence of Hillsdale, its employees, agents, servants, or representatives; provided, however, that contractor shall not be obligated to indemnify Hillsdale for any damages or injuries, including death, caused by or resulting from the sole negligence of Hillsdale.

SPECIFICATION-Contract

The successful bidder shall be required to execute the attached contract before commencing any work and to thereafter fully comply with all of its terms and conditions, whether referenced specifically herein or not, it being understood that each of the contract's terms and conditions is incorporated herein by reference.

City of Hillsdale

Agenda Item Summary

Meeting Date: June 16, 2014

Agenda Item #10: New Business F – Great American Parade/July 3rd Fireworks Display

BACKGROUND:

As you know, for several years now the Great American Parade has been scheduled and held in conjunction with the All American Celebration held at the fairgrounds on July 3. This year the parade is scheduled to commence at 5:30 p.m. on July 3, 2014. The parade representative has met with Chief Gutowski, Sgt. Hephner and other staff regarding the event. I have been advised by Chief Gutowski that the route has been established and the required Temporary Traffic Control Order has been prepared.

The DPS Director has issued right-of-way permit and has authorized the barricades to be dropped off and picked up. The event will not create an overtime situation for the department.

The All American Celebration Committee is once again requesting permission to conduct its annual July 3 fireworks display at the Hillsdale County Fairgrounds. The display will commence at dusk on July 3, 2014. The Committee has provided a copy of the Agreement with the company conducting the display and I have included that document. In addition, a proof of insurance has been provided which names the City as an additional injured on the company's policy. Finally, I have included a copy of the permit issued by the State's Department of Licensing & Regulatory Affairs which Council will need to act upon.

RECOMMENDATION:

I recommend Council approve the Great American Parade and the fireworks display and authorize the Mayor and Clerk's signatures on all required documents. I am advised by Chief Gutowski that fire department personnel will stand by to provide fire protection if need.

NIGHT MAGIC DISPLAYS

P.O. Box 294 Kingsbury IN 46345

800-998-3900 Toll Free

Fax 574-272-6042

AGREEMENT

AGREEMENT made this 28th day of May 2014, by Night Magic Displays, by its authorized agent hereinafter referred to as "Seller," and the Hillsdale All-American Celebration, hereinafter referred to as "Buyer."

1. SALE OF GOODS: The Seller shall sell to the Buyer certain Fireworks Display(s) in accordance with the program (Bid) attached hereto which shall be incorporated herein. This Display will be given on the evening of July 3, 2014, weather permitting, it being understood that should inclement weather prevent the giving of any Display on the date mentioned herein, it will be given on the next clear agreed upon date in 2014.

2. PURCHASE PRICE and PAYMENT: Purchase price shall be \$ 8,860.00 Payment shall be made within 10 days after display is shot. A finance charge of one and one half percent per month will be assessed on all accounts overdue. If inclement weather should prevent the giving of this display on the alternate agreed upon date, the Buyer will have the option of fulfilling this contract with a buyout of 40% of the display amount to the Seller.

3. CLAIMS: Any claims for loss or damage, defective materials and / or product or shortages in count, or for any other cause is waived by Buyer unless made within Three (3) days after delivery.

WARRANTIES: The Seller warrants that the displays and their contents are in conformity with the specifications set forth in the Bid. No other representations or warranties have been made by the Seller or relied upon by the Buyer. This warranty is expressly in lieu of any and all warranties expressed or implied.

4. LIABILITY: The Buyer further agrees to provide the following:

- a) Sufficient area for the Displays in accordance with the N.F.P.A. code of distances.
- b) Adequate Security Staff protection to prevent spectators from entering Display Area.
- c) Protection of the Display area by roping off or similar facility.
- d) Fire Truck at Display site.
- e) Daylight inspection of Display site the day following the Display.
- f) State Permit for Fireworks Display.

MAILED
6/10/14

5. ADDITIONAL COVENANTS:

- a) Seller agrees to furnish Pyrotechnicians for this Display. This includes labor for setup, firing, tear down of display and initial inspection and cleanup of Display area.
- b) Seller shall purchase insurance for the benefit of Seller and Buyer in the amount of \$5,000,000.00 for each display. Such insurance shall cover damage and personal injury resulting from any aspect of this contract.

6. BENEFIT: This agreement shall be binding upon and inure to the benefit of the parties, their successors, and assigns.

IN WITNESS, WHEREOF THE PARTIES HERETO HAVE EXECUTED THIS AGREEMENT

THIS _____ DAY OF _____, 2014.

NIGHT MAGIC DISPLAYS

By _____
Authorized Agent of SELLER


Authorized Agent of BUYER

A. Brett Boyd
Printed Name

210 W. CARLTON MI 49242
Billing Address City State Zip

Hillsdale
boyd@dmcibb.net
email address

Insurance certificate will be emailed to
address provided here by buyer.

Please sign and return both originals to NIGHT MAGIC DISPLAYS. An executed original will be returned for your records.

2014

Permit for Fireworks Other Than Consumer or Low Impact
Michigan Department of Licensing & Regulatory Affairs
Bureau of Fire Services
P.O. Box 30700
Lansing, MI 48909
(517) 241-8847

Authority 2011 PA 256 The Department of Licensing & Regulatory Affairs will not discriminate against any individual or group because of race, sex, religion, age, national origin, color, marital status, Compliance Required Permit will not be issued. disability, or political beliefs. If you need assistance with reading, writing, hearing, etc., under the Americans with Disabilities Act, you may make your needs known to this agency/ Penalty

This permit is not transferable. Possession of this permit authorizes the herein named person to possess, transport and display fireworks in the amounts, for the purpose of and at the place listed below only.

Public Display		
ISSUED TO <i>Night Magic Displays // Randy Pratt</i>	AGE (18 or over) <i>53</i>	
ADDRESS <i>28133 Wellington Farmington Hills, MI</i>		
NAME OF ORGANIZATION, GROUP, FIRM OR CORPORATION <i>Hillsdale All-American Celebrations</i>		
ADDRESS <i>210 W. Carlton Hillsdale, MI 49242</i>		
NUMBER AND TYPES OF FIREWORKS		
<i>1148</i>	<i>assorted aerial shells shot from 11 multi-shot boxes</i>	
<i>68</i>	<i>2.5" Aerial Shells</i>	
<i>350</i>	<i>3" Aerial Shells</i>	
<i>65</i>	<i>4" Aerial Shells</i>	
EXACT LOCATION OF DISPLAY OR USE <i>Hillsdale County Fairgrounds</i>		
CITY, VILLAGE, TOWNSHIP <i>Hillsdale, MI 49242</i>	DATE <i>July 3, 2014</i>	TIME <i>dusk</i>
BOND OR INSURANCE FILED <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		AMOUNT <i>\$5,000,000</i>

Issued by action of the Legislative Body of a

city village township of _____ on the _____ day of _____ 20__.

(Signature and Title of Legislative Body Representative)

FORM IS VALID FOR YEAR SHOWN ONLY

City of Hillsdale

Agenda Item Summary

Meeting Date: June 16, 2014

Agenda Item #10: New Business G– HBA Cruise-In – Agreement for Use
Portion of Street

BACKGROUND:

The Hillsdale Business Association has requested permission to use certain streets in connection with its annual cruise-in. The event is scheduled for June 20, 2014 from 3:00 p.m. to 10:00 p.m. They would like to use Howell Street between North and Waldron Street, East Bacon Street from just west of the CNB parking lot to the alley at Coneys & Swirls and McCollum Street from Broad Street to the alley at the former Hillsdale Daily News building.

I have attached a copy of a proposed Agreement for use in connection with the event. The Agreement requires, among other things, insurance coverage, addresses repair and restoration of any damage caused, and indemnification for injuries or property damage as a result of the event and the organization's use of those portions of City streets. HBA agrees that it has created appropriate regulations and policies to regulate participants in the event and that participation in the event is and will be open to all on a nondiscriminatory basis.

The event will require a Temporary Traffic Control Order has been issued per Chief Gutowski. A right-of-way permit has been issued by DPS Director, Keith Richard. HBA has requested that the City's DPS provide barricades with appropriate signage, cones and trash cans for the event. These items are addressed in the right-of-way permit.

RECOMMENDATION:

I recommend approval of the event and authorization of the Mayor and Deputy Clerk's signatures on the attached contract subject to the approval of the City Attorney.

AGREEMENT FOR USE PORTION OF STREET

This Agreement is made and entered between the City of Hillsdale, a Michigan municipal corporation, of Hillsdale, Michigan (Hillsdale) and Hillsdale Business Association, a not-for-profit, 501(C)3 Michigan corporation, P.O. Box 98, Hillsdale, Michigan 49242.

Preamble

Hillsdale controls the usage of local streets within its jurisdiction. Among other governmental functions, Hillsdale seeks to promote the use of its streets for the use and benefit of its citizens and the general public.

At various times, functions are proposed that involve the use of a portion of a public street to which Hillsdale's citizens, as well as the public at large, are invited and encouraged to attend. In such instances, when Hillsdale determines that the proposed activity will inure to the economic, cultural and general benefit of its citizens and of the community at large, it has endeavored to cooperate with the activity's sponsor/promoter. In doing so, Hillsdale is concerned with regulating the use of its streets so as to reasonably assure that they are not used in a manner that exposes persons attending activities as are allowed to take place in or on any portion of its public streets to unreasonable risks of harm, as well as to assure that no damage is done to its street facilities.

Hillsdale Business Association desires to sponsor and promote an event to which the general public is invited that will provide food and non-alcoholic drink concessions as well as other activities. The event is proposed to take place on Howell Street between North and Waldron Street; on East Bacon Street from the alley at the Coney's & Swirls to just west of the County National Bank (CNB) exit; and on McCollum St. from Broad St. to the alley at Current Office Solutions on June 20, 2014 from 3:00 PM to 10:00 PM, with the cleanup activities to be conducted and finalized within a specified period following the end of the event.

Hillsdale Business Association has represented that it is a responsible organization and that it has created appropriate regulations and policies by which it will regulate participants in the event it proposes to promote and sponsor. Hillsdale Business Association also represents that participation in its event is and will be open to all on a nondiscriminatory basis.

Hillsdale has determined that it is in its best interests and the interests of the general public to allow Hillsdale Business Association to use Howell Street between North and Waldron Street, East Bacon Street from the alley at the Coney's & Swirls to just west of the CNB exit, and McCollum St. from Broad St. to the alley at Current Office Solutions as the site from which it may conduct its proposed event, and Hillsdale Business Association has agreed to do so, all in accordance with the following terms and conditions.

Agreement

1. In consideration of and reliance on Hillsdale Business Association's promises and its full compliance with all of the terms and conditions contained in this agreement, Hillsdale agrees to allow Hillsdale Business Association to use the following portions of its streets during specified periods on June 20, 2014 and June 21, 2014 for the purpose of preparing for and conducting its proposed event and related activities for the use, benefit and enjoyment of the general public during the stated hours and to thereafter restore said streets

and surrounding area to a condition fit for public travel that is at least as good as when taken, all as hereinafter provided:

Howell Street between North and Waldron Street, East Bacon Street from the alley at the Coney's & Swirls to just west of the CNB exit, and McCollum St. from Broad St. to the alley at the Current Office Solutions beginning at 3:00 p.m. and ending at or before 10:00 p.m. on June 20, 2014

2. It is agreed and understood between the parties that the Hillsdale Business Association shall use the closed streets solely for and in connection with the holding of a classic car cruise-in and related activities; to provide parking for classic cars; to transport, place, erect, and install barricades, tents, signs, tables, chairs, port-a-johns; and to provide food, beverages, provisions, supplies, goods, concessions and other facilities for the use and benefit of vendors, participants and members of the general public.

3. Hillsdale further agrees that it shall close Howell Street between North and Waldron Street, East Bacon Street from the alley at the Coney's & Swirls to just west of the CNB exit, and McCollum St. from Broad St. to the alley at the Current Office Solutions to vehicular traffic between the hours of 3:00 p.m. and 10:00 p.m. on June 20, 2014 by resolution or Traffic Control Order, whichever is applicable.

4. Hillsdale Business Association agrees to and shall be solely responsible for obtaining, posting and paying the fees for all applicable and necessary permits, including but not limited to those that might be required by the health department, the posting of signs, as well as any rule, regulations and requirements that might be required by any state, county or local statute, ordinance, rule or regulation.

5. Hillsdale Business Association further agrees that it shall be solely responsible for obtaining, arranging for and providing all barricades, staff, equipment, tents, signs, tables, chairs, port-a-johns, roll-offs, food, beverages, provisions, supplies, goods, entertainment, concessions and other facilities as it or an applicable governmental agency determines necessary to provide for and to the general public in connection with its proposed event, all at its sole expense.

6. Hillsdale Business Association agrees that immediately following the end of the event and at its sole expense, it shall promptly remove or cause the removal all equipment, tents, signs, tables, chairs, port-a-johns, roll-offs, trash, litter and other items from Howell Street, East Bacon Street and McCollum Street no later than 10:00 p.m. on June 20, 2014. Hillsdale Business Association shall notify the Hillsdale City Police and secure its permission to open the street to vehicular traffic before removing the barricades Hillsdale's Police Department placed to block the described portions of Howell Street, East Bacon Street and McCollum Street from the public's vehicular use. Hillsdale's barricades, when removed, shall be placed out of the main traveled portion of the street adjacent to the curbs for pick up by Hillsdale.

7. Hillsdale Business Association further agrees that any removal and cleanup activities necessary to the restoration of the entire area occupied or used by it that remain undone as of 10:00 p.m. on June 20, 2014 shall thereupon cease and be completed between

8:00 a.m. and noon on June 21, 2014, with the entire area to be left in a swept and tidy condition.

8. Hillsdale Business Association agrees to abide by all applicable statutes, ordinances, rules and regulations pertaining to it and to all provisions of this agreement during its occupancy and use of the described portions of Howell Street, East Bacon Street, and McCollum Street.

9. Hillsdale Business Association acknowledges that there are no public restroom facilities at the site during the time of the scheduled event. Accordingly Hillsdale Business Association represents and agrees that, at its sole expense and as a condition precedent to the commencement of its event, it will provide and have in place portable restroom facilities that comply with all applicable health and sanitation codes for its scheduled event in full working order and sufficient quantity to accommodate the needs of its participants and the general public.

10. Hillsdale Business Association agrees that no attachments for tents or any other facilities will be made to any paved surfaces within any portion of the Howell Street, East Bacon Street or McCollum Street rights of way that would cause holes or other damage to the pavement without the prior written consent of the Director of Hillsdale's Department of Public Streets.

11. Hillsdale Business Association agrees that it shall not permit any street other than the described portions of Howell Street, East Bacon Street or McCollum Street to be blocked or obstructed. Further, Hillsdale Business Association agrees to and shall confine its proposed event activities solely to Howell Street between North and Waldron Street, East Bacon Street from the alley at the Coney's & Swirls to just west of the CNB exit, and McCollum St. from Broad St. to the alley at Current Office Solutions.

12. Hillsdale Business Association agrees and understands that it, at its sole expense, is and shall be solely responsible for the repair and restoration of all damage to private or public property that results from or because of Hillsdale Business Association's proposed event, whether real or personal, and to leave the premises in a condition equal to or better than existed prior to its use, free from all garbage, trash or other items.

13. Hillsdale Business Association represents that it is a valid Michigan not-for-profit, 501(C)3 corporation and further represents that it possesses or will obtain and provide persons with the skill, experience, competence and financial ability to carry out and fulfill all of its duties and obligations under this contract in a timely and professional manner.

14. Hillsdale Business Association further represents and covenants that it does not discriminate against any employee, applicant for employment, and shall not discriminate against any general public that will participate in the event it is staging under this agreement or any other member of the public because of race, color, religion, national origin, age, height, weight, marital status or other legally protected class. It is understood and agreed by and between the parties that breach of this covenant may be regarded as a material breach of this agreement.

15. Hillsdale Business Association shall provide City with proof of public liability and property damage insurance with coverage that is satisfactory to Hillsdale and limits of liability of not less than a single limit of Five Hundred Thousand and 00/100 (\$500,000.00) Dollars, with City designated therein as a named insured to be and remain in force for the duration of Hillsdale Business Association's presence on and use of Hillsdale's street such proof to be provided at the time of execution of this Agreement.

16. Hillsdale Business Association shall carry and provide all workers' compensation insurance coverage at its sole expense for its employees as is required by the laws of the State of Michigan and provide proof thereof to Hillsdale prior to the commencement of any work under this contract, if applicable.

17. Hillsdale Business Association represents to Hillsdale that it intends to use the described area for the purpose of providing classic cars and Cruise-In events, food, non-alcoholic beverages, and other similar activities, and that the consumption or possession of alcoholic beverages within the described area will not be permitted. In reliance on Hillsdale Business Association's representations and its other promises, as contained in this agreement, Hillsdale hereby grants and Hillsdale Business Association hereby accepts the exclusive control over the described portions of Howell Street, East Bacon Street and McCollum Street and the activities therein, it being the intention of the parties that Hillsdale Business Association is and shall be solely responsible for maintaining the described areas and regulating all activities therein so as to keep them in reasonably safe condition, free of unreasonable risk of harm, for the use and benefit of the general public and others using or within said area or any of its facilities, products or activities.

18. Hillsdale Business Association further agrees to and shall defend, indemnify and hold Hillsdale harmless from any and all damages, claims, demands, causes of action, lawsuits, attorney fees and related expenses, as a result of actual or claimed personal injury, including death, property damage or other damage or loss of any kind or nature which are or are claimed to be a proximate result of:

a. The negligence, gross negligence or intentional acts or omissions of Hillsdale Business Association, its agents, servants, employees, guests, vendors, invitees, event participants or event attendees which arise or are claimed to have arisen as a result or because of Hillsdale Business Association proposed event, its associated activities and events; or

b. The negligence, gross negligence or intentional acts or omissions of Hillsdale Business Association, its agents, servants, employees, guests, vendors, invitees, event participants or event attendees in the use of or defects in the areas described in the attached Exhibit A, or the equipment, tents, signs, tables, chairs, port-a-johns, and roll-offs or other facilities placed or used by Hillsdale Business Association or any of its agents, servants, employees, guests, vendors, invitees, event participants or event attendees;

c. All such damages or injuries, including death, whether caused in part by the negligence of Hillsdale, its employees, agents, servants, or representatives; provided, however, that Hillsdale Business Association shall not be obligated to

indemnify Hillsdale for any damages or injuries, including death, caused by or resulting from the sole negligence of Hillsdale.

19. Hillsdale Business Association agrees that any and all documents provided to Hillsdale under this agreement are subject to disclosure and hereby expressly consents to Hillsdale's reproduction and release of such documents in response to a request under the Freedom of Information Act.

20. Hillsdale Business Association agrees that Hillsdale may immediately terminate this contract without further obligation or liability to Hillsdale Business Association at its option and without prejudice to any other remedies to which it might be entitled, whether in law, in equity or under this contract, by giving written notice of termination to Hillsdale Business Association if the latter should:

- (a) be adjudged bankrupt;
- (b) become insolvent or have a receiver of its assets appointed;
- (c) make a general assignment for the benefit of creditors;
- (d) default in the performance of any obligation under this contract;
- (e) breach any covenant under this contract;
- (f) institute or suffer to be instituted any procedures for reorganization of its affairs;
- (g) fail to perform any of its obligations to Hillsdale under this contract to Hillsdale's satisfaction.

Provided, however, that Hillsdale Business Association's indemnification, defense, hold harmless and insurance coverage agreements shall survive any such termination.

Notice of termination pursuant to the forgoing provisions shall be provided to Hillsdale Business Association in writing and shall be delivered by ordinary first class mail or personal service to the following person at the following address: Jane Stewart, President, P.O. Box 98, Hillsdale, Michigan 49242.

21. All notices from Hillsdale Business Association to Hillsdale shall be in writing and shall be delivered by ordinary first class mail or personal service to the following person at the following address: Linda Brown, Hillsdale City Manager, 97 N. Howell Street, Hillsdale, Michigan 49242.

22. The parties agree that there are no other representations, inducements, promises or agreements between them, whether oral or written.

23. This Agreement shall be governed and construed in accordance with the laws of the State of Michigan. Hillsdale and Hillsdale Business Association further agree that in the event of legal action arising from or as a result of this Agreement or its breach, venue and jurisdiction for such action shall be in the Hillsdale County Circuit Court or in the District

Court located within the County of Hillsdale, Michigan, whichever has subject matter jurisdiction over any such dispute.

[SIGNATURES ON FOLLOWING PAGE]

City of Hillsdale

Hillsdale Business Association

Scott Sessions, Mayor

Jane Stewart, President

Dated: June ____, 2014

Dated: June ____, 2014

Michelle Loren, Deputy City Clerk

Dated: June ____, 2014