



City Council Agenda

August 7, 2023
7:00 p.m.

City Council Chambers
97 N. Broad Street
Hillsdale, MI 49242

- I. Call to Order and Pledge of Allegiance**
- II. Roll Call**
- III. Approval of Agenda**
- IV. Public Comments on Agenda Items**
- V. Consent Agenda**
 - A. Approval of Bills
 - 1. City and BPU Claims of July 13, 2023: \$455,652.64
 - 2. Payroll of July 20, 2023: \$195,156.09
 - B. City Council Minutes of July 17, 2023
 - C. Finance Minutes of July 17, 2023
 - D. Workforce Housing Development Application Revised Fee Schedule
 - E. Hillsdale Business Association Summer in the City Street Closure
 - F. Hillsdale College Freshman Convocation
 - G. Hillsdale College Homecoming Right of Way/Noise Variance
 - H. Hillsdale College Noise Variance Request
 - I. Sozo Church Parking Lot Closure Request for Children's Event
 - J. July 2023 Board of Review
- VI. Communications/Petitions**
 - A. Hillsdale Senior Center Services
 - B. Airport Fly-in Event
 - C. Leaf Collection
 - D. BPU Customer Survey
 - E. TIFA Letter
 - F. Jansen Letter
- VII. Introduction and Adoption of Ordinances/Public Hearing**
- VIII. Old Business**
- IX. New Business**
 - A. NEZ Application- Commonwealth Developments
 - B. Willow-Oak Storm Water Project
 - C. City of Hillsdale Section 3 Policy
 - D. Set Public Hearing for Special Assessment District 2024-08 (St. Joe./Griswold)

X. Miscellaneous Reports

- A. Proclamation- None
- B. Appointments – John Condon – Brownfield Redevelopment
- C. Other- None

XI. General Public Comment

XII. City Manager’s Report

XIII. Council Comment

XIV. Adjournment

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
 EXP CHECK RUN DATES 07/13/2023 - 07/13/2023
 BOTH JOURNALIZED AND UNJOURNALIZED
 PAID

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 GENERAL FUND					
Dept 000.000					
101-000.000-229.001	EFTPS TAX PAYMENT	INTERNAL REVENUE SERVICE	EFTPS TAX PAYMENT	2,994.89	622
101-000.000-231.105	DUE TO MMERS-RETIREMENT CONT.	MERS	RETIREMENT CONTRIBUTIONS - 300101	12,314.39	610
101-000.000-263.000	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	1.13	624
101-000.000-692.000	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	(0.01)	624
Total For Dept 000.000				15,310.40	
Dept 172.000 CITY MANAGER					
101-172.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	6.50	611
101-172.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	831.78	610
101-172.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	15.39	611
Total For Dept 172.000 CITY MANAGER				853.67	
Dept 175.000 ADMINISTRATIVE SERVICES					
101-175.000-802.000	SONIT NET ADMIN JUN 2023	SONIT SYSTEMS, LLC	SONIT NET ADMIN JUN 2023	733.12	106707
101-175.000-806.000	LEGAL SERVICES	LOVINGER & THOMPSON, PC	LEGAL FEES	2,680.00	106674
101-175.000-810.000	ANNUAL MEMBERSHIP FEE	AMAZON CAPITAL SERVICES, I	ANNUAL MEMBERSHIP FEE	89.50	106622
Total For Dept 175.000 ADMINISTRATIVE SERVICES				3,502.62	
Dept 191.000 FINANCE DEPARTMENT					
101-191.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	6.50	611
101-191.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	8.66	611
101-191.000-801.000	ANNUAL AUDIT SERVICES FYE 2023	YEO & YEO	ANNUAL AUDIT SERVICES FYE 2023	2,000.00	106728
Total For Dept 191.000 FINANCE DEPARTMENT				2,015.16	
Dept 215.000 CITY CLERK DEPARTMENT					
101-215.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	16.24	611
101-215.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	1,307.15	610
101-215.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	16.53	611
101-215.000-726.000	CLERK PAPER, LABELS	CURRENT OFFICE SOLUTIONS	CITY HALL BLD SUPPLIES BATHROOM COPY P	104.38	106637
101-215.000-801.000	PAPER SHREDDING SERVICE	ACCUSHRED, LLC	PAPER SHREDDING SERVICE	67.95	106617
101-215.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	306.34	106637
Total For Dept 215.000 CITY CLERK DEPARTMENT				1,818.59	
Dept 253.000 CITY TREASURER					
101-253.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	161.00	610
101-253.000-801.000	SUMMER 2023 TAX BILLS	KCI	SUMMER 2023 TAX BILLS	2,106.00	106665
Total For Dept 253.000 CITY TREASURER				2,267.00	
Dept 257.000 ASSESSING DEPARTMENT					
101-257.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	32.48	611
101-257.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	2,035.86	610
101-257.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	47.26	611
101-257.000-726.000	SUPPLIES	CURRENT OFFICE SOLUTIONS	OFFICE SUPPLIES 2ND FL CITY HALL	72.81	106637
101-257.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	80.39	106637
101-257.000-956.200	LODGING & MEALS	TREETOPS RESORT	ROOM FOR ASSESSOR CON ED OLIVIA - 2023	279.90	106716
Total For Dept 257.000 ASSESSING DEPARTMENT				2,548.70	
Dept 265.000 BUILDING AND GROUNDS					
101-265.000-726.000	SOAP FOR BATHROOMS	CURRENT OFFICE SOLUTIONS	SOAP FOR BATHROOMS	13.84	106637
101-265.000-726.000	CITY HALL BLD SUPPLIES BATHROOM	CURRENT OFFICE SOLUTIONS	CITY HALL BLD SUPPLIES BATHROOM COPY P	196.45	106637
101-265.000-801.000	MOWING FOR JUNE 2023	BILL'S LAWN CARE, LLC	MOWING FOR JUNE 2023	460.00	106628
101-265.000-801.000	CH	CINTAS CORPORATION	CH	15.25	106633
101-265.000-801.000	CH	CINTAS CORPORATION	CH	15.25	106633

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
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GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 GENERAL FUND					
Dept 265.000 BUILDING AND GROUNDS					
101-265.000-801.000	CITY HALL CLEANING - JUNE 2023	EAST 2 WEST ENTERPRISES, I	CITY HALL CLEANING - JUNE 2023	650.00	106643
101-265.000-850.000	TELEPHONE - CITY HALL	ACD.NET	TELEPHONE - CITY HALL	192.88	106618
101-265.000-850.000	ETHERFAX JULY 2023	BSB COMMUNICATIONS INC	ETHERFAX JULY 2023	112.00	106632
101-265.000-930.000	SANDING SPONGES FOR PAINTING CM	GELZER HJ & SON INC	SANDING SPONGES FOR PAINTING CM OFFICE	9.18	106649
101-265.000-930.000	BLUE MASKING TAPE FOR PAINTING C	GELZER HJ & SON INC	BLUE MASKING TAPE FOR PAINTING CM OFFIC	15.98	106649
101-265.000-930.000	DROP CLOTH, TAPE AND JOINT COMPO	GELZER HJ & SON INC	DROP CLOTH, TAPE AND JOINT COMPOUND FOF	40.95	106649
101-265.000-930.000	ELEVATOR CERTIFICATE OF OPERATIO	STATE OF MICHIGAN	ELEVATOR CERTIFICATE OF OPERATION RENEW	185.00	106669
101-265.000-970.000	CITY HALL CHILLER REPLACEMENT	JC MECHANICAL SERVICES, I	CITY HALL CHILLER REPLACEMENT PAYMENT 2	65,160.00	106661
Total For Dept 265.000 BUILDING AND GROUNDS				67,066.78	
Dept 270.000 HUMAN RESOURCES					
101-270.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	6.50	611
101-270.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	12.89	611
Total For Dept 270.000 HUMAN RESOURCES				19.39	
Dept 301.000 POLICE DEPARTMENT					
101-301.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	251.72	611
101-301.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	27,517.66	610
101-301.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	333.86	611
101-301.000-740.301	PD	WATKINS OIL COMPANY	PD	2,925.35	106726
101-301.000-742.000	POLICE DEPT. EMBLEMS	NYE UNIFORM COMPANY	POLICE DEPT. EMBLEMS	256.50	106688
101-301.000-742.000	BRASS NAME PLATE OFFICER RATHBUN	SHELBY RATHBUN	BRASS NAME PLATE OFFICER RATHBUN	21.18	106697
101-301.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	22.00	106637
101-301.000-801.000	CITATION SUPPORT AND MAINTENANCE	LEXISNEXIS COPLOGIC SOLUT\	CITATION SUPPORT AND MAINTENANCE FOR 4	572.40	106673
101-301.000-801.000	TRU LOOKUP	TRANSUNION RISK AND ALTERN	TRU LOOKUP	75.00	106715
101-301.000-930.000	OIL CHANGE AND TIRE ROTATION FOR	PARNEY'S CAR CARE, LLC	OIL CHANGE AND TIRE ROTATION FOR UNIT 2	57.52	106690
101-301.000-930.000	UNIT 2-3 REAR BRAKES, ROTORS,WIP	STILLWELL FORD MERCURY, I	UNIT 2-3 REAR BRAKES, ROTORS,WIPERS, FI	692.71	106711
Total For Dept 301.000 POLICE DEPARTMENT				32,725.90	
Dept 336.000 FIRE DEPARTMENT					
101-336.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	73.08	611
101-336.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	6,164.20	610
101-336.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	93.56	611
101-336.000-726.000	PEDIATRIC AED DEFIBRILLATION PAD	EMERGENCY MEDICAL PRODUCT	PEDIATRIC AED DEFIBRILLATION PADS	107.38	106644
101-336.000-726.000	RTV CLR SILICONE	PERFORMANCE AUTOMOTIVE	RTV CLR SILICONE	9.29	106691
101-336.000-740.000	FD	WATKINS OIL COMPANY	FD	377.22	106726
101-336.000-801.000	ANNUAL FIRE MANUAL, SUPPLEMENTAL	LEXIPOL, LLC	ANNUAL FIRE MANUAL, SUPPLEMENTAL MANUA	3,504.55	106672
101-336.000-810.000	ALERTING SUBSCRIPTION	ACTIVE911, INC.	ALERTING SUBSCRIPTION	180.00	106619
101-336.000-810.000	ALERTING SUBSCRIPTION	ACTIVE911, INC.	ALERTING SUBSCRIPTION	15.04	106619
101-336.000-930.000	ZURN FLUSH VALVE AND SLOAN SPUD	AMERICAN COPPER AND BRASS,	ZURN FLUSH VALVE AND SLOAN SPUD FOR FIF	151.17	106623
101-336.000-930.000	ZURN FLUSH VALVE AND SLOAN SPUD	AMERICAN COPPER AND BRASS,	ZURN FLUSH VALVE AND SLOAN SPUD CREDIT	(151.17)	106623
101-336.000-930.000	ZURN URINAL FLUSH	AMERICAN COPPER AND BRASS,	ZURN URINAL FLUSH	133.00	106623
Total For Dept 336.000 FIRE DEPARTMENT				10,657.32	
Dept 441.000 PUBLIC SERVICES DEPARTMENT					
101-441.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	35.73	611
101-441.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	1,996.27	610
101-441.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	45.60	611
101-441.000-726.000	20 GALLON TREE WATERING BAGS	AMAZON CAPITAL SERVICES, I	RETURN 10 GALLON TREE WATERING BAGS	(102.00)	106622
101-441.000-726.000	20 GALLON TREE WATERING BAGS	AMAZON CAPITAL SERVICES, I	RETURN 10 GALLON TREE WATERING BAGS	(102.00)	106622
101-441.000-726.000	FVP BAR AND CHAIN OIL 2 CYCLE OI	FAMILY FARM & HOME	FVP BAR AND CHAIN OIL 2 CYCLE OIL	109.84	106645
101-441.000-726.000	WHITE PLASTIC S-TRAP	GELZER HJ & SON INC	WHITE PLASTIC S-TRAP	12.49	106649
101-441.000-726.000	800W PWR INVERTER	PERFORMANCE AUTOMOTIVE	800W PWR INVERTER	149.99	106691

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Fund 101 GENERAL FUND					
Dept 441.000 PUBLIC SERVICES DEPARTMENT					
101-441.000-742.000		CINTAS CORPORATION	DPS	19.40	106633
101-441.000-801.000	MOWING FOR JUNE 2023	BILL'S LAWN CARE, LLC	MOWING FOR JUNE 2023	120.00	106628
101-441.000-801.000		CINTAS CORPORATION	DPS	34.02	106633
101-441.000-801.000	DUST CONTROL	CORRIGAN ENVIRONMENTAL SOI	DUST CONTROL	204.00	106635
101-441.000-801.000	DUST CONTROL	CORRIGAN ENVIRONMENTAL SOI	DUST CONTROL	204.00	106635
101-441.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	167.21	106637
101-441.000-850.000	MONTHLY VERIZON BILL - JULY 23	VERIZON WIRELESS	MONTHLY VERIZON BILL - JULY 23	53.64	106724
Total For Dept 441.000 PUBLIC SERVICES DEPARTMENT				2,948.19	
Dept 447.000 ENGINEERING SERVICES					
101-447.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	32.48	611
101-447.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	66.47	611
101-447.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	80.41	106637
Total For Dept 447.000 ENGINEERING SERVICES				179.36	
Dept 567.000 CEMETERIES					
101-567.000-726.000	TREEKOTE AEROSOL	FORESTRY SUPPLIERS INC.	TREEKOTE AEROSOL	10.67	106646
101-567.000-801.000	JUNE MONTHLY PORTA JOHN RENTAL	LAPEW SANITATION - THOMAS	JUNE MONTHLY PORTA JOHN RENTAL	110.00	106668
Total For Dept 567.000 CEMETERIES				120.67	
Dept 571.000 PARKING LOTS					
101-571.000-801.000	MOWING FOR JUNE 2023	BILL'S LAWN CARE, LLC	MOWING FOR JUNE 2023	1,020.00	106628
Total For Dept 571.000 PARKING LOTS				1,020.00	
Dept 595.000 AIRPORT					
101-595.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	16.24	611
101-595.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	19.75	611
101-595.000-726.000	TONER, TAPE	CURRENT OFFICE SOLUTIONS	TONER, TAPE	113.19	106637
101-595.000-726.000	PIN	GREENMARK EQUIPMENT	LOCKING COLLAR, V-BELT, PIN, HOOD	4.58	106651
101-595.000-726.000	ICE, CHIPS, SOAP, TOILET PAPER,	MARKET HOUSE	ICE, CHIPS, SOAP, TOILET PAPER, CUPS	77.87	106677
101-595.000-740.000	DIESEL FUEL FOR TRACTOR	BRINER OIL CO, INC	DIESEL FUEL FOR TRACTOR	484.50	106631
101-595.000-740.000	DIESEL FUEL FOR TRACTOR	BRINER OIL CO, INC	DIESEL FUEL FOR TRACTOR	456.00	106631
101-595.000-850.000	TELEPHONE - AIRPORT	ACD.NET	TELEPHONE - AIRPORT	96.44	106618
101-595.000-920.000	PROPANE FOR AIRPORT	SPRATT'S	PROPANE FOR AIRPORT	1,008.30	106708
101-595.000-930.000	DRIVE KIT FOR JOHN DEERE	GREENMARK EQUIPMENT	DRIVE KIT FOR JOHN DEERE	582.45	106651
101-595.000-930.000	SERVICE LABOR FOR JOHN DEERE	GREENMARK EQUIPMENT	SERVICE LABOR FOR JOHN DEERE	459.32	106651
101-595.000-930.000	LOCKING COLLAR, V-BELT, HOOD	GREENMARK EQUIPMENT	LOCKING COLLAR, V-BELT, PIN, HOOD	451.93	106651
101-595.000-930.000	LABOR & TIRE TUBE	SPRATT'S	LABOR & TIRE TUBE	40.50	106708
Total For Dept 595.000 AIRPORT				3,811.07	
Dept 701.000 PLANNING DEPARTMENT					
101-701.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	16.24	611
101-701.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	1,396.54	610
101-701.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	19.23	611
101-701.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	80.39	106637
101-701.000-956.000	TRAINING & SEMINARS	MICH ASSOC OF PLANNING	MICHIGAN PLANNING CONFERENCE	435.00	106680
Total For Dept 701.000 PLANNING DEPARTMENT				1,947.40	
Dept 728.000 ECONOMIC DEVELOPMENT					
101-728.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	16.24	611
101-728.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	19.00	611
101-728.000-801.000	PORTA JOHN RENTAL 6-17-23/HANDI	LAPEW SANITATION - THOMAS	PORTA JOHN RENTAL 6-17-23/HANDI CAP ANI	245.00	106668
Total For Dept 728.000 ECONOMIC DEVELOPMENT				280.24	

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Fund 101 GENERAL FUND					
Dept 756.000 PARKS					
101-756.000-726.000	TREEKOTE AEROSOL	FORESTRY SUPPLIERS INC.	TREEKOTE AEROSOL	10.66	106646
101-756.000-801.000	MOWING FOR JUNE 2023	BILL'S LAWN CARE, LLC	MOWING FOR JUNE 2023	8,228.00	106628
101-756.000-801.000	DUST CONTROL	CORRIGAN ENVIRONMENTAL SOI	DUST CONTROL	408.00	106635
101-756.000-801.000	DUST CONTROL	CORRIGAN ENVIRONMENTAL SOI	DUST CONTROL	408.00	106635
101-756.000-801.000	JUNE MONTHLY PORTA JOHN RENTAL	LAPEW SANITATION - THOMAS	JUNE MONTHLY PORTA JOHN RENTAL	2,225.00	106668
101-756.000-930.000	CLOSET FLANGE AND WAX GASKET FOR	GELZER HJ & SON INC	CLOSET FLANGE AND WAX GASKET FOR FOD TC	12.98	106649
101-756.000-930.000	ALEX PLUS CAULK, TOILET BOLT SET	GELZER HJ & SON INC	ALEX PLUS CAULK, TOILET BOLT SET AND WF	9.47	106649
101-756.000-930.000	CONNECTOR AND FLANGED FOR FOD TO	GELZER HJ & SON INC	CONNECTOR AND FLANGED FOR FOD TOILET	18.57	106649
101-756.000-930.000	GAL MURIATIC ACID FOR FOD	GELZER HJ & SON INC	GAL MURIATIC ACID FOR FOD	11.79	106649
101-756.000-930.000	TOILET AUGER FOR FOD TOILET	GELZER HJ & SON INC	TOILET AUGER FOR FOD TOILET	19.99	106649
101-756.000-930.000	PAINT SUPPLIES FOR SANDY BEACH	GELZER HJ & SON INC	PAINT SUPPLIES FOR SANDY BEACH	72.76	106649
101-756.000-930.000	REPAIRS & MAINTENANCE	HOOP LAWN & SNOW, LLC	SERVIE CALL FOD IRRIGATION HEADS REPLAC	1,900.00	106657
101-756.000-930.000	PRESSURE TREATED 2X8 AND 2X6	JONESVILLE LUMBER	PRESSURE TREATED 2X8 AND 2X6	70.14	106663
101-756.000-930.000	2 WATER FILTERS FOR FOD	RYAN & BRADSHAW, INC.	2 WATER FILTERS FOR FOD	79.93	106703
101-756.000-930.000	PLUNGER ASSEMBLY FOR SANDY BEACH	MID-CITY SUPPLY CO. INC	PLUNGER ASSEMBLY FOR SANDY BEACH TOILET	66.55	31
Total For Dept 756.000 PARKS				13,541.84	
Total For Fund 101 GENERAL FUND				162,634.30	
Fund 202 MAJOR ST./TRUNKLINE FUND					
Dept 450.000 STREET SURFACE					
202-450.000-725.000	LIFE & DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	4.98	611
202-450.000-726.000	BPU MAJOR	GERKEN MATERIAL, INC	8.42 TON HOT PATCH FROM ADRIAN	126.00	106650
202-450.000-726.000	BPU MAJORS	GERKEN MATERIAL, INC	26.59 TON HOT PATCH FROM ADRIAN	1,016.01	106650
202-450.000-726.000	BPU MAJOR HOT PATCH	GERKEN MATERIAL, INC	HOT PATCH	40.32	106650
202-450.000-726.000	BPU MAJOR HOT PATCH	GERKEN MATERIAL, INC	HOT PATCH	537.41	106650
Total For Dept 450.000 STREET SURFACE				1,724.72	
Dept 450.500 TRUNKLINE SURFACE					
202-450.500-726.000	HWY HOT PATCH	GERKEN MATERIAL, INC	HOT PATCH	142.06	106650
Total For Dept 450.500 TRUNKLINE SURFACE				142.06	
Dept 460.000 R.O.W. MAINTENANCE					
202-460.000-725.000	LIFE & DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	4.98	611
202-460.000-801.000	MOWING FOR JUNE 2023	BILL'S LAWN CARE, LLC	MOWING FOR JUNE 2023	801.32	106628
Total For Dept 460.000 R.O.W. MAINTENANCE				806.30	
Dept 460.500 TRUNKLINE R.O.W. MAINTENANCE					
202-460.500-801.000	MOWING FOR JUNE 2023	BILL'S LAWN CARE, LLC	MOWING FOR JUNE 2023	306.68	106628
Total For Dept 460.500 TRUNKLINE R.O.W. MAINTENANCE				306.68	
Dept 470.000 TREES					
202-470.000-726.000	TREEKOTE AEROSOL	FORESTRY SUPPLIERS INC.	TREEKOTE AEROSOL	42.65	106646
202-470.000-801.000	TREE LIMB REMOVAL AT 340 SUMMIT	R.T. FARRELL ENTERPRISES,	TREE LIMB REMOVAL AT SUMMIT AND WEST ST	2,100.00	106695
Total For Dept 470.000 TREES				2,142.65	
Dept 480.000 DRAINAGE					
202-480.000-725.000	LIFE & DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	4.98	611
Total For Dept 480.000 DRAINAGE				4.98	
Dept 490.000 TRAFFIC					
202-490.000-725.000	LIFE & DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	4.97	611
202-490.000-726.000	SOLAR STOP SIGNS	DORNBOS SIGN & SAFETY INC	SOLAR STOP SIGNS	3,646.00	106641

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 BOTH JOURNALIZED AND UNJOURNALIZED
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GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 202 MAJOR ST./TRUNKLINE FUND					
Dept 490.000 TRAFFIC					
202-490.000-726.000	PAINT ROLLERS FOR CURB	GELZER HJ & SON INC	PAINT ROLLERS FOR CURB	14.98	106649
Total For Dept 490.000 TRAFFIC				3,665.95	
Total For Fund 202 MAJOR ST./TRUNKLINE FUND				8,793.34	
Fund 203 LOCAL STREET FUND					
Dept 450.000 STREET SURFACE					
203-450.000-725.000	LIFE & DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	5.17	611
203-450.000-726.000	LOCAL	GERKEN MATERIAL, INC	8.42 TON HOT PATCH FROM ADRIAN	480.24	106650
203-450.000-726.000	LOCALS	GERKEN MATERIAL, INC	26.59 TON HOT PATCH FROM ADRIAN	871.88	106650
203-450.000-726.000	LOCAL HOT PATCH	GERKEN MATERIAL, INC	HOT PATCH	72.00	106650
203-450.000-726.000	LOCAL HOT PATCH	GERKEN MATERIAL, INC	HOT PATCH	939.91	106650
203-450.000-801.000	DUST CONTROL	CORRIGAN ENVIRONMENTAL	SOI DUST CONTROL	1,496.00	106635
203-450.000-801.000	DUST CONTROL	CORRIGAN ENVIRONMENTAL	SOI DUST CONTROL	1,496.00	106635
Total For Dept 450.000 STREET SURFACE				5,361.20	
Dept 460.000 R.O.W. MAINTENANCE					
203-460.000-725.000	LIFE & DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	5.16	611
203-460.000-801.000	MOWING FOR JUNE 2023	BILL'S LAWN CARE, LLC	MOWING FOR JUNE 2023	664.00	106628
Total For Dept 460.000 R.O.W. MAINTENANCE				669.16	
Dept 470.000 TREES					
203-470.000-726.000	TREEKOTE AEROSOL	FORESTRY SUPPLIERS INC.	TREEKOTE AEROSOL	42.65	106646
203-470.000-801.000	97 N NORWOOD TREE/STUMP REMOVAL	CRAIG WICKHAM TREE SERVICE	97 N NORWOOD TREE/STUMP REMOVAL	1,300.00	106636
203-470.000-801.000	TREE LIMB REMOVAL AT 9 WEST ST	R.T. FARRELL ENTERPRISES,	TREE LIMB REMOVAL AT SUMMIT AND WEST ST	700.00	106695
Total For Dept 470.000 TREES				2,042.65	
Dept 480.000 DRAINAGE					
203-480.000-725.000	LIFE & DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	5.15	611
Total For Dept 480.000 DRAINAGE				5.15	
Total For Fund 203 LOCAL STREET FUND				8,078.16	
Fund 208 RECREATION FUND					
Dept 000.000					
208-000.000-263.000	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	151.89	624
208-000.000-692.000	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	(0.76)	624
Total For Dept 000.000				151.13	
Dept 751.000 RECREATION DEPARTMENT					
208-751.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	16.24	611
208-751.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	1,540.24	610
208-751.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	28.01	611
208-751.000-726.000	BOLTS FOR TEES	GELZER HJ & SON INC	BOLTS FOR T-BALL TEES	13.74	106649
208-751.000-726.000	BASEBALLS	GELZER HJ & SON INC	BASEBALLS	70.00	106649
208-751.000-726.000	SOFTBALL UNIFORMS	URBAN GRAFFITI	SOFTBALL UNIFORMS - 6 TEAMS	4,263.50	106719
208-751.000-726.006	SOFT SERVE MIX (ICE CREAM)	KUSTER'S DAIRY PRODUCTS	SOFT SERVE MIX - SANDY BEACH	93.64	106666
208-751.000-726.006	CONCESSION SUPPLIES	KUSTER'S DAIRY PRODUCTS	NAPKINS, SLUSH BASE, ICE CREAM MIX	303.61	106666
208-751.000-726.006	CONCESSION SUPPLIES	MARKET HOUSE	HOTDOG BUNS - SANDY BEACH	13.52	106677
208-751.000-726.006	HOTDOG BUNS	MARKET HOUSE	HOTDOG BUNS - SANDY BEACH	13.52	106677
208-751.000-726.006	CONCESSIONS SUPPLIES	MARKET HOUSE	CONDIMENTS, POP,WATER - SANDY BEACH	98.45	106677
208-751.000-726.006	DAY PASSES	STOCKHOUSE CORPORATION	DAY PASSES - SANDY BEACH	260.00	106712
208-751.000-801.000	6/20/2023 2 @ \$60	DANIEL TRUDELL	BASEBALL UMPIRING	120.00	106638

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Fund 208 RECREATION FUND					
Dept 751.000 RECREATION DEPARTMENT					
208-751.000-801.000	CONTRACTUAL SERVICES	TAYLOR FREEZER OF MICHIGAN	ICE CREAM MACHINE REPAIR	555.80	106713
208-751.000-801.008	6/28/2023 1 @ \$60	BRIAN DRAPER	BASEBALL IMPIRING	60.00	106630
208-751.000-801.008	6-28-2023 1 @ \$60	DEAN SHIPMAN	BASEBALL UMPIRING	120.00	106639
208-751.000-801.008	6/27/2023 1 @ \$60	GARY ALLAN FRANSON	BASEBALL UMPIRING	60.00	106648
208-751.000-801.008	6/15/2023 1 @ \$60	JACKSON MILLER	BASEBALL/SOFTBALL UMPIRING	480.00	106660
208-751.000-801.008	6/15/2023 2 @ \$60	JUSTIN EUGENE SNYDER	BASBEBALL/SOFTBALL UMPIRING	220.00	106664
208-751.000-801.008	6/19/2023 1 @ \$60	LANE PEARSON	BASEBALL UMPIRING	120.00	106667
208-751.000-801.008	6/5/2023 2 @ \$60	LARRY OWENS	BASEBALL UMPIRING	300.00	106671
208-751.000-801.008	6/16/2023 2 @ \$60	NICKOLAS SCOTT KOPIN	BASEBALL/SOFTBALL UMPIRING	460.00	106687
208-751.000-801.008	6/22/2023 2 @ \$60	RANDALL TRUDEL	BASEBALL UMPIRING	300.00	106696
208-751.000-801.008	6/20/2023 1 @ \$60	RICARDO JUAN LERMA	BASEBALL UMPIRING	120.00	106698
208-751.000-801.008	FIELD GROOMING 37 @ \$13	TYSON GEORG DUFF	FIELD GROOMING	455.00	106717
208-751.000-801.008	6/19/2023 1 @ \$60 (KENNY)	WILLIAM J. MULLALY	BASEBALL/SOFTBALL UMPIRING	240.00	106727
Total For Dept 751.000 RECREATION DEPARTMENT				10,325.27	
Total For Fund 208 RECREATION FUND				10,476.40	
Fund 271 LIBRARY FUND					
Dept 790.000 LIBRARY					
271-790.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	16.24	611
271-790.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	19.00	611
271-790.000-726.000	CARDSTOCK PAPER & TALLY COUNTER	AMAZON CAPITAL SERVICES, I	CARDSTOCK PAPER & TALLY COUNTER	19.96	106622
271-790.000-726.000	TOWLET BOWL CLEANER & PUTTY	AMAZON CAPITAL SERVICES, I	TOWLET BOWL CLEANER & PUTTY	27.90	106622
271-790.000-726.000	PRINTER PAPER, EASEL, TOILET PAP	AMAZON CAPITAL SERVICES, I	PRINTER PAPER, EASEL, TOILET PAPER, PA	367.73	106622
271-790.000-726.000	WATER DELIVERY SERVICE - LIBRARY	HEFFERNAN SOFT WATER SERV	WATER DELIVERY SERVICE - LIBRARY JUNE '	12.00	106653
271-790.000-750.000	HILLSDALE DAILY NEWS RENEWAL	GANNETT HOLDINGS LLC CENT	HILLSDALE DAILY NEWS RENEWAL	301.00	106656
271-790.000-801.000	ANNUAL TIME IT AGREEMENT	AVC TECHNOLOGY CORPORATION	ANNUAL TIME IT AGREEMENT	400.00	106625
271-790.000-801.000	LIBRARY EQUIP LEASE & PRINTS - J	CURRENT OFFICE SOLUTIONS	LIBRARY EQUIP LEASE & PRINTS - JUNE '2	225.72	106637
271-790.000-801.000	ANNUAL SERVICE FEE	JOHNSON CONTROLS FIRE PRO	ANNUAL SERVICE FEE	720.00	106662
271-790.000-801.000	ANNUAL FIRE ALARM INSPECTION	JOHNSON CONTROLS FIRE PRO	ANNUAL FIRE ALARM INSPECTION	897.45	106662
271-790.000-801.000	CARPET CLEANING	MAGIC CLEAN PLUS	CARPET CLEANING	1,876.00	106675
271-790.000-801.000	MCLS ANNUAL MEMBERSHIP FEE	MIDWEST COLLABORATIVE FOR	MCLS ANNUAL MEMBERSHIP FEE	125.00	106683
271-790.000-802.000	FIRE ALARM SYSTEM BATTERIES	AMAZON CAPITAL SERVICES, I	FIRE ALARM SYSTEM BATTERIES	79.18	106622
271-790.000-802.000	WATCHGUARD LICENSE - LIBRARY	SONIT SYSTEMS, LLC	WATCHGUARD LICENSE - LIBRARY	1,560.00	106707
271-790.000-802.000	SONIT NET ADMIN JUN 2023	SONIT SYSTEMS, LLC	SONIT NET ADMIN JUN 2023	230.00	106707
271-790.000-850.000	TELEPHONE - LIBRARY	ACD.NET	TELEPHONE - LIBRARY	48.22	106618
271-790.000-850.000	ETHERFAX JULY 2023	BSB COMMUNICATIONS INC	ETHERFAX JULY 2023	56.00	106632
271-790.000-880.000	LOUD IN THE LIBRARY FACKBOOK BOO	CARD SERVICES CENTER	J. SPANGLER CREDIT CARD	4.99	609
271-790.000-982.000	LOST MEL BOOK THAT BELONGS TO HA	HAMBURG TOWNSHIP LIBRARY	LOST MEL BOOK THAT BELONGS TO HAMBURG	15.00	106652
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	56.45	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	17.89	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	168.68	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	64.52	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	123.32	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	36.18	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	132.96	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	173.79	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	35.24	106659
271-790.000-982.000	BOOKS - ADULT	INGRAM INDUSTRIES INC.	BOOKS - ADULT	94.92	106659
Total For Dept 790.000 LIBRARY				7,905.34	
Dept 792.000 LIBRARY - CHILDREN'S AREA					
271-792.000-726.000	CHILDREN'S SUPPLIES - PAPER, SCI	AMAZON CAPITAL SERVICES, I	CHILDREN'S SUPPLIES - PAPER, SCISSORS,	236.59	106622

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Fund 271 LIBRARY FUND					
Dept 792.000 LIBRARY - CHILDREN'S AREA					
271-792.000-726.000	INK PADS	AMAZON CAPITAL SERVICES,	INK PADS & SUMMER READING PRIZES	11.99	106622
271-792.000-726.000	CHALK FOR CHILDRENS EVENTS	CARD SERVICES CENTER	J. SPANGLER CREDIT CARD	18.88	609
271-792.000-726.010	SUMMER READING PRIZES	AMAZON CAPITAL SERVICES,	SUMMER READING PRIZES	17.99	106622
271-792.000-726.010	SUMMER READING PRIZES	AMAZON CAPITAL SERVICES,	INK PADS & SUMMER READING PRIZES	60.89	106622
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	11.82	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	77.94	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	210.78	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	823.28	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	41.86	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	5.01	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	16.17	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	12.39	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	26.99	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	128.11	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	396.30	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	11.29	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	11.67	106659
271-792.000-982.000	BOOKS - CHILDREN	INGRAM INDUSTRIES INC.	BOOKS - CHILDREN	93.78	106659
Total For Dept 792.000 LIBRARY - CHILDREN'S AREA				2,213.73	
Total For Fund 271 LIBRARY FUND				10,119.07	
Fund 287 ARPA GRANT FUND					
Dept 447.000 ENGINEERING SERVICES					
287-447.000-801.000	WILLOW/OAK STORM DESIGN	TETRA TECH, INC	WILLOW/OAK STORM WATER DESIGN	990.00	106714
Total For Dept 447.000 ENGINEERING SERVICES				990.00	
Total For Fund 287 ARPA GRANT FUND				990.00	
Fund 409 STOCK'S PARK					
Dept 756.000 PARKS					
409-756.000-801.000	AUDIO SYSTEM SUPPORT-CONCERT IN	FORTRESS PRODUCTIONS	AUDIO SYSTEM SUPPORT-CONCERT IN THE PAF	1,080.00	106647
409-756.000-801.000	MRS. STOCK'S PARK CONCERT SERIES	MIKE BLANCHARD	MRS. STOCK'S PARK CONCERT SERIES	400.00	106684
409-756.000-801.000	MRS. STOCK'S PARK CONCERT SERIES	GINGER MOORE	MRS. STOCK'S PARK CONCERT SERIES	400.00	106686
409-756.000-801.000	MRS. STOCK'S PARK CONCERT SERIES	RUSS MARTIN	MRS. STOCK'S PARK CONCERT SERIES	400.00	106702
409-756.000-801.000	MRS. STOCK'S PARK CONCERT SERIES	VAN DYKE REVUE	MRS. STOCK'S PARK CONCERT SERIES	650.00	106723
Total For Dept 756.000 PARKS				2,930.00	
Total For Fund 409 STOCK'S PARK				2,930.00	
Fund 481 AIRPORT IMPROVEMENT FUND					
Dept 000.000					
481-000.000-263.000	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	644.51	624
481-000.000-687.300	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	(3.22)	624
Total For Dept 000.000				641.29	
Dept 900.000 CAPITAL OUTLAY					
481-900.000-740.295	FUEL & LUBRICANTS - AVIATION	AVFUEL CORP	JET-A FUEL	20,587.15	608
Total For Dept 900.000 CAPITAL OUTLAY				20,587.15	
Total For Fund 481 AIRPORT IMPROVEMENT FUND				21,228.44	
Fund 582 ELECTRIC FUND					
Dept 000.000					

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Fund 582 ELECTRIC FUND					
Dept 000.000					
582-000.000-110.000	FUSE LINK - 10 AMP T	POWERLINE SUPPLY	INVENTORY	507.40	106693
582-000.000-110.000	FUSE LINK - 80 AMP T	POWERLINE SUPPLY	INVENTORY	214.85	106693
582-000.000-158.000-215016	PHASE ONE UPGRADE ENG AND DESIGN	SSEO, INC.	PHASE ONE UPGRADE ENG AND DESIGN SERVIC	16,726.00	106709
582-000.000-202.100	4PCA	B & KD PROPERTIES LLC	UB refund for account: 022178	69.19	106626
582-000.000-202.100	4CCH	MAPLES, DANIEL D	UB refund for account: 011136	15.45	106676
582-000.000-202.100	4CCH	POLING, AUTUM R	UB refund for account: 026357	89.00	106692
582-000.000-202.100	4CCH	ROE, WILLIAM & DEBRA	UB refund for account: 021497	112.49	106700
582-000.000-202.100	4ENBK1	SMITH, KIRSTEN, MEGHAN E	UB refund for account: 021030	22.41	106706
582-000.000-202.100	4CCH	STEWART, CURTIS L	UB refund for account: 014405	9.00	106710
582-000.000-249.100	OPERATION ROUND-UP - JUNE 2023	COMMUNITY ACTION AGENCY	OPERATION ROUND-UP - JUNE 2023	2,649.28	106634
582-000.000-249.100	LIEAF-6099 JUNE 2023 P.A. 95	LARA - MI PUBLIC SERVICE (	LIEAF-6099 JUNE 2023 P.A. 95	5,444.98	106670
582-000.000-263.000	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	29,226.11	624
582-000.000-692.200	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	(184.46)	624
Total For Dept 000.000				54,901.70	
Dept 175.000 ADMINISTRATIVE SERVICES					
582-175.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	22.76	611
582-175.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	211.12	611
582-175.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	17,150.94	610
582-175.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	39.25	611
582-175.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPANY	LIFE & DISABILITY INSURANCE	330.21	611
582-175.000-726.000	TISSUE, SOAP, AIR FRESHENER, TOI	AMAZON CAPITAL SERVICES, I	TISSUE, SOAP, AIR FRESHENER, TOILET PAI	72.42	106622
582-175.000-726.000	SUPPLIES	CURRENT OFFICE SOLUTIONS	OFFICE SUPPLIES FOR BPU OFFICES	133.76	106637
582-175.000-726.000	COPIES/CONTRACT BILLING	CURRENT OFFICE SOLUTIONS	COPIES/CONTRACT BILLING	104.60	106637
582-175.000-726.000	WATER FOR BPU OFFICE	RUPERT'S CULLIGAN	WATER FOR BPU OFFICE	13.50	106701
582-175.000-801.000	TELEPHONE - FIBER 45 MONROE STRE	ACD.NET	TELEPHONE - FIBER 45 MONROE STREET	100.00	106618
582-175.000-801.000	COPIES/CONTRACT BILLING	CURRENT OFFICE SOLUTIONS	COPIES/CONTRACT BILLING	133.97	106637
582-175.000-801.000	PRINTING/INSTERTS/POSTAGE AND HA	DELAWARE SYSTEMS	PRINTING/INSTERTS/POSTAGE AND HANDLING	1,662.46	106640
582-175.000-801.000	BPU CLEANING - JUNE 2023	EAST 2 WEST ENTERPRISES, I	BPU CLEANING - JUNE 2023	130.00	106643
582-175.000-801.000	MONTHLY PROCESSING	ONLINE INFORMATION SERVICE	JUNE MONTHLY PROCESSING	77.17	106689
582-175.000-801.000	ELECTRIC 2023: EV FAST CHARGE RA	UTILITY FINANCIAL SOLUTION	ELECTRIC 2023: EV FAST CHARGE RATE DEVE	2,180.00	106721
582-175.000-801.000	ANNUAL AUDIT SERVICES FYE 2023	YEO & YEO	ANNUAL AUDIT SERVICES FYE 2023	1,000.00	106728
582-175.000-801.000	CREDIT CARD PROCESSING FEES - JU	INVOICE CLOUD	CREDIT CARD PROCESSING FEES - JUNE 2023	194.13	623
582-175.000-802.000	BLUETOOTH WIRELESS MOUSE X3	AMAZON CAPITAL SERVICES, I	BLUETOOTH WIRELESS MOUSE X3	19.03	106622
582-175.000-802.000	FIBER PATCH CABLES	AMAZON CAPITAL SERVICES, I	FIBER PATCH CABLES	24.00	106622
582-175.000-802.000	BROTHER PTOUCH LABEL TAPE	AMAZON CAPITAL SERVICES, I	BROTHER PTOUCH LABEL TAPE	7.45	106622
582-175.000-802.000	SONIT NET ADMIN JUN 2023	SONIT SYSTEMS, LLC	SONIT NET ADMIN JUN 2023	366.57	106707
582-175.000-802.000	MILSOFT DISSPATCH LICENSE AND UN	MILSOFT	MILSOFT DISSPATCH LICENSE AND UNPLUGGEI	350.00	106722
582-175.000-802.000	IVR POOLED MONTHLY OUTAGE SUBSCR	MILSOFT	IVR POOLED MONTHLY OUTAGE SUBSCRIPTION	252.03	106722
582-175.000-810.000	ANNUAL MEMBERSHIP FEE	AMAZON CAPITAL SERVICES, I	ANNUAL MEMBERSHIP FEE	44.75	106622
582-175.000-850.000	TELEPHONE - FIBER 45 MONROE STRE	ACD.NET	TELEPHONE - FIBER 45 MONROE STREET	24.11	106618
582-175.000-850.000	TELEPHONE - POWERPLANT ALARM	ACD.NET	TELEPHONE - POWERPLANT ALARM	144.66	106618
582-175.000-850.000	ETHERFAX JULY 2023	BSB COMMUNICATIONS INC	ETHERFAX JULY 2023	28.00	106632
582-175.000-850.000	MONTHLY VERIZON BILL - JULY 23	VERIZON WIRELESS	MONTHLY VERIZON BILL - JULY 23	587.39	106724
582-175.000-880.000	COMMUNITY PROMOTION - JUNE 2023	MCKIBBIN MEDIA GROUP, INC.	COMMUNITY PROMOTION - JUNE 2023	125.00	106678
582-175.000-880.000	SUMMER MICHIGAN PARENT - COMMUNI	SIMPLY HERS MAGAZINE	SUMMER MICHIGAN PARENT - COMMUNITY PROM	27.50	106704
582-175.000-920.400	503214966 - 45 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 45 MONROE ST	20.43	601
582-175.000-920.400	504504154 - 37 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 37 MONROE GEN SEI	19.24	602
582-175.000-920.400	504504154 - 37 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 37 MONROE	19.24	607
582-175.000-956.000	CUSTOMER SERVICE II TRAINING - K	AMERICAN WATER WORKS ASSOC	CUSTOMER SERVICE II TRAINING - KELLY LC	97.50	106624
Total For Dept 175.000 ADMINISTRATIVE SERVICES				25,713.19	

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GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 582 ELECTRIC FUND					
Dept 543.000 PRODUCTION					
582-543.000-726.000	HYDROSEP WATER TREATMENT ADDITIV	AMAZON CAPITAL SERVICES,	1HYDROSEP WATER TREATMENT ADDITIVE FOR E	65.99	106622
582-543.000-726.000	WATER DELIVERY SERVICE-201 WATER	HEFFERNAN SOFT WATER SERV	WATER DELIVERY SERVICE-201 WATERWORKS	12.00	106653
582-543.000-930.000	PTO LOCK PIN RD 5/16X2-1/4 2 PK	FAMILY FARM & HOME	PTO LOCK PIN RD 5/16X2-1/4 2 PK	6.98	106645
Total For Dept 543.000 PRODUCTION				84.97	
Dept 544.000 DISTRIBUTION					
582-544.000-726.800	2978-22BG CRIMPER	POWERLINE SUPPLY	CRIMPERS	2,247.04	106693
582-544.000-730.000	VEH./EQUIP. MAINT. SUPPLIES	FAMILY FARM & HOME	3/4 X .148 THICK WASHER GR8/1/2 X .134	10.88	106645
582-544.000-730.000	GRADE 8 NUTS/BOLTS/WASHERS/NYL L	FAMILY FARM & HOME	GRADE 8 NUTS/BOLTS/WASHERS/NYL LOCK NUI	22.60	106645
582-544.000-730.000	O RINGS	PERFORMANCE AUTOMOTIVE	O RINGS	1.78	106691
582-544.000-730.000	O RINGS	PERFORMANCE AUTOMOTIVE	O RINGS	4.18	106691
582-544.000-730.000	STIHL	SPRATT'S	STIHL	40.00	106708
582-544.000-730.000	MOVING TRAILER BRAKE CONNECTOR E	STILLWELL FORD MERCURY, I	MOVING TRAILER BRAKE CONNECTOR ERROR	356.00	106711
582-544.000-730.000	TRENCHER- ELECTRICAL LABOR, ETC.	VERMEER OF MICHIGAN, INC	TRENCHER- ELECTRICAL LABOR, ETC.	4,233.91	106725
582-544.000-740.000	APN PARTS KIT; CSN-3076 DERRICKS	ALTEC INDUSTRIES, INC.	APN PARTS KIT; CSN-3076 DERRICKS, KELLY	325.74	106621
582-544.000-740.000	2"X24" 10000# DELUX AXLE STRAP/2	FAMILY FARM & HOME	2"X24" 10000# DELUX AXLE STRAP/2"X15' 5	111.92	106645
582-544.000-740.000	FUEL & LUBRICANTS	WATKINS OIL COMPANY	FUEL	1,883.70	106726
582-544.000-742.000	SAFETY RAINSET	AMAZON CAPITAL SERVICES, I	SAFETY RAINSET	103.80	106622
582-544.000-801.000	PROFESSIONAL SERVICES RENDERED T	SSEE, INC.	PROFESSIONAL SERVICES RENDERED THROUGH	556.00	106709
582-544.000-801.300	MEASURING WHEEL 3 FT TELE HNDL/H	JONESVILLE LUMBER	MEASURING WHEEL 3 FT TELE HNDL/HAMMER F	461.58	106663
582-544.000-930.000	150W METAL HALIDE MEDIUM	AMERICAN COPPER AND BRASS,	150W METAL HALIDE MEDIUM	80.00	106623
582-544.000-930.000	1 PVC 90D ELBOW/1 PVC COUPLING	AMERICAN COPPER AND BRASS,	1 PVC 90D ELBOW/1 PVC COUPLING	4.94	106623
582-544.000-930.000	4 PVC 36"R ELBOW/4 PVC COUPLING	AMERICAN COPPER AND BRASS,	4 PVC 36"R ELBOW/4 PVC COUPLING	73.98	106623
582-544.000-930.000	12-10GA #8 SPADE TERM	AMERICAN COPPER AND BRASS,	12-10GA #8 SPADE TERM	14.56	106623
582-544.000-930.000	3 TO 2"REDUCING	AMERICAN COPPER AND BRASS,	3 TO 2"REDUCING	2.14	106623
582-544.000-930.000	2NS SAND	BECKER & SCRIVENS	2NS SAND	43.56	106627
582-544.000-930.000	6 BAG CONCRETE W/LIMESTONE/1/2"	BECKER & SCRIVENS	6 BAG CONCRETE W/LIMESTONE/1/2" REBAR	53.25	106627
582-544.000-930.000	INSTALL CONDUIT UNDER ROADWAY	DRY MAR TRUCKING & DIRTWO	INSTALL CONDUIT UNDER ROADWAY	3,500.00	106642
582-544.000-930.000	30 YRD OT - 401 HILLSDALE ST	MODERN WASTE SYSTEMS	30 YRD OT - 401 HILLSDALE ST	600.00	106685
Total For Dept 544.000 DISTRIBUTION				14,731.56	
Total For Fund 582 ELECTRIC FUND				95,431.42	
Fund 588 DIAL A RIDE					
Dept 596.000 DIAL-A-RIDE					
588-596.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	64.96	611
588-596.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	70.77	611
588-596.000-740.000	DART	WATKINS OIL COMPANY	DART	2,342.89	106726
588-596.000-801.000	MOWING FOR JUNE 2023	BILL'S LAWN CARE, LLC	MOWING FOR JUNE 2023	400.00	106628
588-596.000-801.000	DART	CINTAS CORPORATION	DART	15.95	106633
588-596.000-930.000	AC REPAIR ON DART 62	HILLSDALE COMMUNITY SCHOOI	AC REPAIR ON DART 62	1,027.70	106655
Total For Dept 596.000 DIAL-A-RIDE				3,922.27	
Total For Fund 588 DIAL A RIDE				3,922.27	
Fund 590 SEWER FUND					
Dept 175.000 ADMINISTRATIVE SERVICES					
590-175.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	11.35	611
590-175.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	89.34	611
590-175.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	4,540.79	610
590-175.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	19.61	611
590-175.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	121.43	611
590-175.000-726.000	TISSUE, SOAP, AIR FRESHENER, TOI	AMAZON CAPITAL SERVICES, I	TISSUE, SOAP, AIR FRESHENER, TOILET PAI	36.21	106622

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Fund 590 SEWER FUND					
Dept 175.000 ADMINISTRATIVE SERVICES					
590-175.000-726.000	SUPPLIES	CURRENT OFFICE SOLUTIONS	OFFICE SUPPLIES FOR BPU OFFICES	66.89	106637
590-175.000-726.000	COPIES/CONTRACT BILLING	CURRENT OFFICE SOLUTIONS	COPIES/CONTRACT BILLING	52.30	106637
590-175.000-726.000	WATER FOR BPU OFFICE	RUPERT'S CULLIGAN	WATER FOR BPU OFFICE	6.75	106701
590-175.000-801.000	TELEPHONE - FIBER 45 MONROE STRE	ACD.NET	TELEPHONE - FIBER 45 MONROE STREET	50.00	106618
590-175.000-801.000	COPIES/CONTRACT BILLING	CURRENT OFFICE SOLUTIONS	COPIES/CONTRACT BILLING	66.99	106637
590-175.000-801.000	PRINTING/INSTERTS/POSTAGE AND HA	DELAWARE SYSTEMS	PRINTING/INSTERTS/POSTAGE AND HANDLING	831.23	106640
590-175.000-801.000	BPU CLEANING - JUNE 2023	EAST 2 WEST ENTERPRISES, I	BPU CLEANING - JUNE 2023	65.00	106643
590-175.000-801.000	MONTHLY PROCESSING	ONLINE INFORMATION SERVICE	JUNE MONTHLY PROCESSING	38.58	106689
590-175.000-801.000	ANNUAL AUDIT SERVICES FYE 2023	YEO & YEO	ANNUAL AUDIT SERVICES FYE 2023	500.00	106728
590-175.000-801.000	CREDIT CARD PROCESSING FEES - JU	INVOICE CLOUD	CREDIT CARD PROCESSING FEES - JUNE 2023	97.06	623
590-175.000-802.000	BLUETOOTH WIRELESS MOUSE X3	AMAZON CAPITAL SERVICES, I	BLUETOOTH WIRELESS MOUSE X3	9.52	106622
590-175.000-802.000	FIBER PATCH CABLES	AMAZON CAPITAL SERVICES, I	FIBER PATCH CABLES	24.00	106622
590-175.000-802.000	BROTHER PTOUCH LABEL TAPE	AMAZON CAPITAL SERVICES, I	BROTHER PTOUCH LABEL TAPE	3.72	106622
590-175.000-802.000	SONIT NET ADMIN JUN 2023	SONIT SYSTEMS, LLC	SONIT NET ADMIN JUN 2023	183.28	106707
590-175.000-802.000	MILSOFT DISSPATCH LICENSE AND UN	MILSOFT	MILSOFT DISSPATCH LICENSE AND UNPLUGGEI	175.00	106722
590-175.000-802.000	IVR POOLED MONTHLY OUTAGE SUBSCR	MILSOFT	IVR POOLED MONTHLY OUTAGE SUBSCRIPTION	126.02	106722
590-175.000-810.000	ANNUAL MEMBERSHIP FEE	AMAZON CAPITAL SERVICES, I	ANNUAL MEMBERSHIP FEE	22.38	106622
590-175.000-850.000	TELEPHONE - FIBER 45 MONROE STRE	ACD.NET	TELEPHONE - FIBER 45 MONROE STREET	12.06	106618
590-175.000-850.000	TELEPHONE - WWTP	ACD.NET	TELEPHONE - WWTP	96.44	106618
590-175.000-850.000	ETHERFAX JULY 2023	BSB COMMUNICATIONS INC	ETHERFAX JULY 2023	14.00	106632
590-175.000-850.000	MONTHLY VERIZON BILL - JULY 23	VERIZON WIRELESS	MONTHLY VERIZON BILL - JULY 23	140.48	106724
590-175.000-880.000	COMMUNITY PROMOTION - JUNE 2023	MCKIBBIN MEDIA GROUP, INC.	COMMUNITY PROMOTION - JUNE 2023	62.50	106678
590-175.000-880.000	SUMMER MICHIGAN PARENT - COMMUNI	SIMPLY HERS MAGAZINE	SUMMER MICHIGAN PARENT - COMMUNITY PROM	13.75	106704
590-175.000-920.400	503214966 - 45 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 45 MONROE ST	10.22	601
590-175.000-920.400	504504154 - 37 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 37 MONROE GEN SEI	9.62	602
590-175.000-920.400	504504154 - 37 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 37 MONROE	9.62	607
590-175.000-956.000	CUSTOMER SERVICE II TRAINING - K	AMERICAN WATER WORKS ASSOC	CUSTOMER SERVICE II TRAINING - KELLY LC	48.75	106624
Total For Dept 175.000 ADMINISTRATIVE SERVICES				7,554.89	
Dept 546.000 OPERATIONS					
590-546.000-920.400	504504154 - 135 BARBER ST	MICH GAS UTILITIES	NATURAL GAS UTILITY - 135 BARBER ST	20.46	600
590-546.000-930.950	TREE LIMB REMOVAL	R.T. FARRELL ENTERPRISES,	TREE LIMB REMOVAL	1,200.00	106695
590-546.000-930.960	SEWER MAIN REPAIR - 86 S HOWELL	DRY MAR TRUCKING & DIRTWO	SEWER MAIN REPAIR - 86 S HOWELL ST & SC	4,000.00	106642
590-546.000-956.000	MEMBER REGISTRATION - AUG 17TH (	MICHIGAN RURAL WATER ASSOC	MEMBER REGISTRATION - AUG 17TH (SHAWN/E	225.00	106682
Total For Dept 546.000 OPERATIONS				5,445.46	
Dept 547.000 TREATMENT					
590-547.000-726.900	LEGIONELLA STERILE VESSEL LOT/ST	BIOLOGICAL RESEARCH SOLUTI	LEGIONELLA STERILE VESSEL LOT/STERILITY	150.00	106629
590-547.000-726.900	UPS PACKAGE	MARKET HOUSE	UPS PACKAGE	17.43	106677
590-547.000-727.600	FERROUS CHLORIDE	ALEXANDER CHEMICAL CORPOR	FERROUS CHLORIDE	13,913.42	106620
590-547.000-740.000	FUEL & LUBRICANTS	WATKINS OIL COMPANY	FUEL	672.34	106726
590-547.000-801.000	WSSN 03170 COPPER & LEAD SAMPLES	MERIT LABORATORIES		1,368.00	106679
590-547.000-801.000	BEEF COMPLIANCE SAMPLES	MERIT LABORATORIES	BEEF COMPLIANCE SAMPLES	6,154.00	106679
590-547.000-920.400	504756735 - W GALLOWAY GR	MICH GAS UTILITIES	NATURAL GAS UTILITY - W GALLOWAY GR	36.98	604
590-547.000-920.400	504904602 - 101 W GALLOWAY	MICH GAS UTILITIES	NATURAL GAS UTILITY - 101 W GALLOWAY	853.46	605
590-547.000-920.400	505161747 - 101 W GALLOWAY MN	MICH GAS UTILITIES	NATURAL GAS UTILITY - 101 W GALLOWAY MN	193.04	606
590-547.000-930.000	3 RIGID STRUT STRAP	AMERICAN COPPER AND BRASS,	3 RIGID STRUT STRAP	5.13	106623
590-547.000-930.000	2X2 FLEXIBLE COUPLING	GELZER HJ & SON INC	2X2 FLEXIBLE COUPLING	5.99	106649
590-547.000-930.000	12 OZ FOAM GAP FILL	GELZER HJ & SON INC	12 OZ FOAM GAP FILL	27.16	106649
Total For Dept 547.000 TREATMENT				23,396.95	
Total For Fund 590 SEWER FUND				36,397.30	

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Fund 591 WATER FUND					
Dept 000.000					
591-000.000-158.000-181005	M25 BADGER ENCODER	SLC METER LLC	WATER METER PARTS - APPROVED BY BOARD/C	26,568.75	106705
591-000.000-158.000-215006	CDBG SANITARY LIFT STATION DESIG	TETRA TECH, INC	CDBG SANITARY LIFT STATION DESIGN	420.00	106714
591-000.000-202.100	WBK1	B & KD PROPERTIES LLC	UB refund for account: 022178	42.00	106626
Total For Dept 000.000				27,030.75	
Dept 175.000 ADMINISTRATIVE SERVICES					
591-175.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	11.35	611
591-175.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	89.30	611
591-175.000-716.000	RETIREMENT	MERS	RETIREMENT CONTRIBUTIONS - 300101	4,409.93	610
591-175.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	19.61	611
591-175.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	124.54	611
591-175.000-726.000	TISSUE, SOAP, AIR FRESHENER, TOI	AMAZON CAPITAL SERVICES, 1	TISSUE, SOAP, AIR FRESHENER, TOILET PAI	36.21	106622
591-175.000-726.000	SUPPLIES	CURRENT OFFICE SOLUTIONS	OFFICE SUPPLIES FOR BPU OFFICES	66.88	106637
591-175.000-726.000	COPIES/CONTRACT BILLING	CURRENT OFFICE SOLUTIONS	COPIES/CONTRACT BILLING	52.30	106637
591-175.000-726.000	WATER FOR BPU OFFICE	RUPERT'S CULLIGAN	WATER FOR BPU OFFICE	6.75	106701
591-175.000-730.039	SPORD BEZEL	HILLSDALE BUICK GMC	SPORD BEZEL	40.21	106654
591-175.000-801.000	TELEPHONE - FIBER 45 MONROE STRE	ACD.NET	TELEPHONE - FIBER 45 MONROE STREET	50.00	106618
591-175.000-801.000	COPIES/CONTRACT BILLING	CURRENT OFFICE SOLUTIONS	COPIES/CONTRACT BILLING	66.99	106637
591-175.000-801.000	PRINTING/INSTERTS/POSTAGE AND HA	DELAWARE SYSTEMS	PRINTING/INSTERTS/POSTAGE AND HANDLING	831.22	106640
591-175.000-801.000	BPU CLEANING - JUNE 2023	EAST 2 WEST ENTERPRISES, 1	BPU CLEANING - JUNE 2023	65.00	106643
591-175.000-801.000	MONTHLY PROCESSING	ONLINE INFORMATION SERVICE	JUNE MONTHLY PROCESSING	38.58	106689
591-175.000-801.000	ANNUAL AUDIT SERVICES FYE 2023	YEO & YEO	ANNUAL AUDIT SERVICES FYE 2023	500.00	106728
591-175.000-801.000	CREDIT CARD PROCESSING FEES - JU	INVOICE CLOUD	CREDIT CARD PROCESSING FEES - JUNE 2023	97.06	623
591-175.000-802.000	BLUETOOTH WIRELESS MOUSE X3	AMAZON CAPITAL SERVICES, 1	BLUETOOTH WIRELESS MOUSE X3	9.52	106622
591-175.000-802.000	BROTHER PTOUCH LABEL TAPE	AMAZON CAPITAL SERVICES, 1	BROTHER PTOUCH LABEL TAPE	3.72	106622
591-175.000-802.000	SONIT NET ADMIN JUN 2023	SONIT SYSTEMS, LLC	SONIT NET ADMIN JUN 2023	183.28	106707
591-175.000-802.000	MILSOFT DISSPATCH LICENSE AND UN	MILSOFT	MILSOFT DISSPATCH LICENSE AND UNPLUGGEI	175.00	106722
591-175.000-802.000	IVR POOLED MONTHLY OUTAGE SUBSCR	MILSOFT	IVR POOLED MONTHLY OUTAGE SUBSCRIPTION	126.02	106722
591-175.000-810.000	ANNUAL MEMBERSHIP FEE	AMAZON CAPITAL SERVICES, 1	ANNUAL MEMBERSHIP FEE	22.37	106622
591-175.000-850.000	TELEPHONE - FIBER 45 MONROE STRE	ACD.NET	TELEPHONE - FIBER 45 MONROE STREET	12.05	106618
591-175.000-850.000	TELEPHONE - WTP	ACD.NET	TELEPHONE - WTP	96.44	106618
591-175.000-850.000	ETHERFAX JULY 2023	BSB COMMUNICATIONS INC	ETHERFAX JULY 2023	14.00	106632
591-175.000-850.000	MONTHLY VERIZON BILL - JULY 23	VERIZON WIRELESS	MONTHLY VERIZON BILL - JULY 23	140.48	106724
591-175.000-880.000	COMMUNITY PROMOTION - JUNE 2023	MCKIBBIN MEDIA GROUP, INC.	COMMUNITY PROMOTION - JUNE 2023	62.50	106678
591-175.000-880.000	SUMMER MICHIGAN PARENT - COMMUNI	SIMPLY HERS MAGAZINE	SUMMER MICHIGAN PARENT - COMMUNITY PROM	13.75	106704
591-175.000-920.400	503214966 - 45 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 45 MONROE ST	10.22	601
591-175.000-920.400	504504154 - 37 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 37 MONROE GEN SET	9.62	602
591-175.000-920.400	504504154 - 37 MONROE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 37 MONROE	9.62	607
591-175.000-956.000	CUSTOMER SERVICE II TRAINING - K	AMERICAN WATER WORKS ASSOC	CUSTOMER SERVICE II TRAINING - KELLY LC	48.75	106624
Total For Dept 175.000 ADMINISTRATIVE SERVICES				7,443.27	
Dept 543.000 PRODUCTION					
591-543.000-930.000	2G 2-1/2D MASONRY BOX/2G SS BLAN	AMERICAN COPPER AND BRASS,	2G 2-1/2D MASONRY BOX/2G SS BLANK PLATE	9.18	106623
591-543.000-956.000	MEMBER REGISTRATION - AUG 17TH (	MICHIGAN RURAL WATER ASSOC	MEMBER REGISTRATION - AUG 17TH (SHAWN/E	225.00	106682
Total For Dept 543.000 PRODUCTION				234.18	
Dept 544.000 DISTRIBUTION					
591-544.000-726.800	1-1/4X3 GALV NIPPLE	GELZER HJ & SON INC	1-1/4X3 GALV NIPPLE	6.79	106649
591-544.000-740.000	FUEL & LUBRICANTS	WATKINS OIL COMPANY	FUEL	672.38	106726
591-544.000-801.000	MCC 2 YRS 0721-0623	HYDROCOP	MCC 2 YRS 0721-0623	1,400.00	106658
591-544.000-801.000-213011	26.86 TON PEASTONE FOR BPU	DRY MAR TRUCKING & DIRTWOF	26.86 TON PEASTONE FOR BPU	671.50	106642
591-544.000-801.000-213011	PEASTONE FOR BPU	DRY MAR TRUCKING & DIRTWOF	PEASTONE FOR BPU	674.00	106642
591-544.000-930.000	3/8OD.,062WL 120PSI/1/2 OD..062W	AMERICAN COPPER AND BRASS,	3/8OD.,062WL 120PSI/1/2 OD..062WL90PSI	38.75	106623

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Fund 591 WATER FUND					
Dept 544.000 DISTRIBUTION					
591-544.000-930.990	11/4 FEMALE ADPT-PRESS	AMERICAN COPPER AND BRASS,	11/4 FEMALE ADPT-PRESS	21.84	106623
591-544.000-930.990	1 COMP CPLG CTS PJXCTS PJ C44-44	MICHIGAN PIPE & VALVE	1 COMP CPLG CTS PJXCTS PJ C44-44-NL FOF	4,353.96	106681
591-544.000-930.990	LEAD SERVICES THROUGH 7/7/2023	RJT CONSTRUCTION CO.	LEAD SERVICES THROUGH 7/7/2023	8,672.50	106699
591-544.000-930.990	LEAD WATER SERVICES COMPLETED TH	RJT CONSTRUCTION CO.	LEAD WATER SERVICES COMPLETED THROUGH €	9,022.50	106699
591-544.000-930.990	LEAD SERVICES THROUGH 6/30/2023	RJT CONSTRUCTION CO.	LEAD SERVICES THROUGH 6/30/2023	14,722.50	106699
591-544.000-930.990	LOW LEAD CORPORATION STOP AND NO	USABLUEBOOK	LOW LEAD CORPORATION STOP AND NOZZLE; €	487.15	106720
Total For Dept 544.000 DISTRIBUTION				40,743.87	
Dept 545.000 PURIFICATION					
591-545.000-727.200	SOD HYPO 12.5% LIQUICHLOR	UNIVAR SOLUTIONS USA INC	SOD HYPO 12.5% LIQUICHLOR	5,084.43	106718
591-545.000-920.400	504558065 - 401 HILLSDALE	MICH GAS UTILITIES	NATURAL GAS UTILITY - 401 HILLSDALE	37.37	603
591-545.000-930.000	2 BLK 90 ELBOW	AMERICAN COPPER AND BRASS,	2 BLK 90 ELBOW	7.94	106623
591-545.000-930.000	PLUMBING	GELZER HJ & SON INC	PLUMBING	63.96	106649
591-545.000-930.000	18 FLEX HANDLE/13/16 1/2DR SKT	PERFORMANCE AUTOMOTIVE	18 FLEX HANDLE/13/16 1/2DR SKT	30.38	106691
Total For Dept 545.000 PURIFICATION				5,224.08	
Total For Fund 591 WATER FUND				80,676.15	
Fund 633 PUBLIC SERVICES INV. FUND					
Dept 000.000					
633-000.000-101.000	GRAVEL - 22A	DRY MAR TRUCKING & DIRTWOF	18 YARDS OF 22A GRAVEL	522.00	106642
633-000.000-101.000	GRAVEL - 21 AA	DRY MAR TRUCKING & DIRTWOF	22.18 TON OF 21AA	754.12	106642
633-000.000-263.000	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	10.33	624
633-000.000-687.999	SALES TAX - JUNE 2023	STATE OF MICHIGAN	SALES TAX - JUNE 2023	(0.05)	624
Total For Dept 000.000				1,286.40	
Total For Fund 633 PUBLIC SERVICES INV. FUND				1,286.40	
Fund 640 REVOLVING MOBILE EQUIP. FUND					
Dept 443.000 MOBILE EQUIPMENT MAINTENANCE					
640-443.000-726.000	DEF FLUID	PERFORMANCE AUTOMOTIVE	DEF FLUID	41.38	106691
640-443.000-726.000	IND GAS, MED	PURITY CYLINDER GASES, INC	IND GAS, MED	76.11	106694
640-443.000-730.000	OIL FILTER AND AIR FILTER FOR #1	PERFORMANCE AUTOMOTIVE	OIL FILTER AND AIR FILTER FOR #13	101.60	106691
640-443.000-740.000	DPS	WATKINS OIL COMPANY	DPS	2,706.94	106726
640-443.000-801.000		CINTAS CORPORATION	DPS	5.00	106633
640-443.000-801.000	REPAIRS TO #4 AFTER BREAK IN	HILLSDALE BUICK GMC	REPAIRS TO #4 AFTER BREAK IN	9,557.62	106654
Total For Dept 443.000 MOBILE EQUIPMENT MAINTENANCE				12,488.65	
Total For Fund 640 REVOLVING MOBILE EQUIP. FUND				12,488.65	
Fund 699 DPS LEAVE AND BENEFITS FUND					
Dept 441.000 PUBLIC SERVICES DEPARTMENT					
699-441.000-715.000	LIFE INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	97.44	611
699-441.000-721.000	DISABILITY INSURANCE	SUN LIFE ASSURANCE COMPAN\	LIFE & DISABILITY INSURANCE	103.30	611
Total For Dept 441.000 PUBLIC SERVICES DEPARTMENT				200.74	
Total For Fund 699 DPS LEAVE AND BENEFITS FUND				200.74	

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
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Fund Totals:

Fund 101 GENERAL FUND	162,634.30
Fund 202 MAJOR ST./TRUNK	8,793.34
Fund 203 LOCAL STREET FUND	8,078.16
Fund 208 RECREATION FUND	10,476.40
Fund 271 LIBRARY FUND	10,119.07
Fund 287 ARPA GRANT FUND	990.00
Fund 409 STOCK'S PARK	2,930.00
Fund 481 AIRPORT IMPROVEMENT	21,228.44
Fund 582 ELECTRIC FUND	95,431.42
Fund 588 DIAL A RIDE	3,922.27
Fund 590 SEWER FUND	36,397.30
Fund 591 WATER FUND	80,676.15
Fund 633 PUBLIC SERVICES	1,286.40
Fund 640 REVOLVING MOBILITY	12,488.65
Fund 699 DPS LEAVE AND BENEFIT	200.74

Total For All Funds:	<u>455,652.64</u>
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CITY COUNCIL MINUTES

City of Hillsdale
July 17, 2023
7:00 P.M.

Regular Meeting

Call to Order and Pledge of Allegiance

Mayor Stockford opened the meeting with the Pledge of Allegiance.

Roll Call

Mayor Stockford called the meeting to order. Clerk Price took roll call.

Council Members present:	Adam Stockford, Mayor Greg Stuchell, Ward 1 William Morrissey, Ward 2 Cynthia Pratt, Ward 2 Bruce Sharp, Ward 3 Gary Wolfram, Ward 3 Robert Socha, Ward 4 Joshua Paladino, Ward 4
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Council Members absent:	Anthony Vear, Ward 1
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Also Present: David Mackie (City Manager), Attorney Tom Thomson, Katy Price (City Clerk), Jason Blake (DPS Director), Scott Hephner (HCPD/HCFD), Sam Fry (Marketing Coordinator), Kristin Bauer (City Engineer), Jake Hammel (Electric Director), Ginger Moore (Airport Manager), Troy Broccto, Brian Farkas, Mike Rudzinski, Bob Batt, Penny Myers, Eric Myers, Christian Winter, Rick Roth, Gary Barler, Lisa Schulz, Eric Schulz, Kent Heise, Stephanie Stockford, Mark Nichols, Chris Fund, Jeremiah Regan, Jacob Bruns, Lance Lashaway, Jennifer Weil, Jerry Wilhelm, Joseph Hendee.

Approval of Agenda

City Manager Mackie requested Communications item D. Cobra Moto LLC letter to be added.

Motion by Councilman Morrissey support by Council member Socha Communications items D. Cobra Moto LLC.

By a voice vote, the motion passed unanimously.

Motion by Councilman Morrissey support by Councilmember Socha to approve the July 17, 2023 agenda as amended.

By a voice vote, the motion passed unanimously.

Public Comment

Bob Batt, BPU Board President, commented on the BPU Board Appointments and the makeup of the board.

Penny Sway, commented on the BPU Board Appointments.

Jack McLain, commented on the Airport and asked if the airport would need to get a zoning permit from the township it resides in for the proposed project.

Kent Heise, commented on the Airport Terminal project item and is in support of the new terminal.

Consent Agenda

- A. Approval of Bills
 - 1. City and BPU Claims of June 15, 2023: \$265,556.96
June 29, 2023: \$1,029,634.59

2. Payroll of June 22, 2023: \$182,068.01

July 6, 2023: \$185,366.49

- B. City Council Minutes of June 19, 2023
 - C. Finance Minutes of June 19, 2023, July 5, 2023
 - D. Airport Advisory Minutes of April 8, 2023, July 8, 2023
 - E. Community Development Minutes of May 2, 2023
 - F. Operations & Governance Committee Minutes of June 22, 2023
 - G. Hillsdale College Noise Variance Requests for Freshman Festivities
 - H. Park Use Agreement: Ratification of Domestic Harmony Agreement
 - I. BPU: Water and Electric Department John Deere Backhoe Purchase
- Motion by Council member Morrissey seconded by Council member Vear to approve the consent agenda as presented.

Roll Call:

Council Member Paladino	Aye
Council Member Pratt	Aye
Council Member Sharp	Aye
Council Member Wolfram	Aye
Council Member Stuchell	Aye
Council Member Socha	Aye
Mayor Stockford	Aye
Council Member Morrissey	Aye

Motion passed 8-0

Communications/Petitions

- A. Share the Warmth Update- Penny Myers
- B. Keefer House Hotel Construction Update
- C. Airport Email
- D. Cobra Moto LLC Letter- Phil McDowell

Penny Myers from Share the Warmth gave update.

City Manager Mackie read Cobra Moto, LLC letter aloud.

Information is presented for information only.

Introduction and Adoption of Ordinances/Public Hearings

Mayor Stockford requested that the order of the public hearings be switched so the Workforce Housing Pilot Ordinance would be first.

Motion by Councilman Sharp support by Council member Pratt to switch the order of public hearings so the Workforce Housing Pilot would be first.

By a voice vote, the motion passed unanimously.

A. Public Hearing: Workforce Housing PILOT Ordinance

Sam Fry, Marketing Coordinator stated the City of Hillsdale’s Economic Development Corporation (EDC) signed a purchase agreement with Green Development Ventures, LLC, on March 21, 2023, with the objective of selling the EDC’s remaining land (approximately 25.75 acres) located in the Three Meadows Subdivision. The developer, Allen Edwin Homes, has proposed constructing workforce housing targeted at middle-income families. To keep the rents in these new single-family homes affordable for middle-income families, they are seeking to utilize legislation which enables developers of workforce housing projects to enter into PILOT (Payment in Lieu of Taxes) agreements with local governing units. This proposed ordinance would establish the framework for the developer to apply to the City for this tax exemption.

Mayor Stockford opened podium at 7:38 p.m.

With no public commend Mayor closed podium at 7:39 p.m.

Council discussion ensued.

Motion by Councilman Sharp support by Councilmember Socha to approve the Workforce Housing Pilot ordinance as presented.

Roll call:

Council Member Sharp	Aye
Council Member Stuchell	Aye
Council Member Socha	Aye
Council Member Wolfram	Aye
Mayor Stockford	Aye
Council Member Morrisey	Aye
Council Member Paladino	Nay
Council Member Pratt	Aye

Motion passed 7-1

B. Public Hearing Ordinance Amendment to sec. 36-143, Rezoning of 440 & 450 Hidden Meadows Drive

The property located at 440 & 450 Hidden Meadows Drive is vacant property currently owned by the City of Hillsdale Economic Development Corporation (EDC). It is bordered on two sides by public streets to the south and east. The west side of the parcel is the City limit and is bordered by agricultural property. The north side is adjacent to the Three Meadows sub-division which is zoned R-1, Single-Family. The EDC currently has a purchase agreement with Green Ventures, LLC As a requirement of the agreement, Green Ventures, LLC applied for the rezoning of the property from R-1, Single-Family Residential District to RM-1 Multi-Family Residential District.

The Planning Commission held a public hearing at the June 21, 2023 meeting. The Commission moved to recommend the rezoning of the property as requested by Green Ventures, LLC.

Mike West, Green Development Ventures spoke on the rezoning on the southern piece of the Three Meadows properties request and his project for housing that is compliance with the City’s Masterplan. Family homes (six units) will each be two stories, 1640 sq. ft., 3 bedrooms, 2 bathrooms, 2 car attached garage. Units share garage wall that separating the homes.

Council Member Wolfram requested clarification on the rezoning area for this specific request.

City Manager Mackie stated it was for 440 and 450 Hidden Meadows Drive, the two properties in Three Meadows area.

Mike West stated four acre parcel would have six duplexes on them and project would be rentals for a minimum of 15 years.

Mayor Stockford opened podium at 7:56p.m.

Missy DesJardin, stated that housing is an issue in Hillsdale but is concerned with the amount that will be charged for rent a month for this project.

Joseph Hendee 181 Rea St., commented that he agreed with Missy and stated one group of individuals being targeted for this project.

Mayor closed podium at 8:11 p.m.

Council Member Wolfram reviewed the thresholds for wages and maximum would be up to \$2000 for four person for the project.

Further Council discussion ensued.

Motion by Councilman Sharp support by Councilmember Socha to approve the rezoning of 440 and 450 Hidden Meadows Drive from R-1, Single-Family Residential District to RM-1 Multi-Family Residential District.

Roll call:

Council Member Sharp	Aye
Council Member Stuchell	Aye
Council Member Socha	Aye
Council Member Wolfram	Aye
Mayor Stockford	Aye
Council Member Morrissey	Aye
Council Member Paladino	Nay
Council Member Pratt	Aye

Motion passed 7-1

Old Business

A. Operations & Governance Committee BPU Board Recommendation

On June 26th the O&G Committee met to discuss how BPU Board appointments should be handled. Councilman Morrissey reviewed the Operations & Governance Committee recommendation and other board information.

Council discussion ensued on the BPU board qualifications and residency.

Moving forward Mayor Stockford will be looking to balance the board members to add more City residents with adequate qualifications to it as terms end and vacancies arise.

B. School Resource Officer Agreement

Scott Hephner, Police Chief stated the agreement is required by the State for grant purposes and contains required sections and specified language. Both the City Police and the Hillsdale Community Schools collaborated on the agreement.

Motion by Councilman Sharp support by Councilmember Wolfram to approve School Resource officer agreement as presented.

Roll Call:

Council Member Paladino	Aye
Council Member Pratt	Aye
Council Member Sharp	Aye
Council Member Wolfram	Aye
Council Member Stuchell	Aye
Council Member Socha	Aye
Mayor Stockford	Aye
Council Member Morrissey	Aye

Motion passed 8-0

New Business

A. Airport MDOT AWOS Contract

City Manager Mackie report the 5-year contract is for the operation and maintenance of the Automated Weather Observation System (AWOS) utilized by the Airport to enhance aviation safety and efficiency. The contract costs the Airport less than \$2,000 per year.

Motion by Councilman Sharp support by Councilmember Morrissey to approve the AWOS Airport MDOT contract # 2023-0456 as presented. **Resolution # 3562.**

Roll Call:

Council Member Paladino	Aye
Council Member Pratt	Aye
Council Member Sharp	Aye
Council Member Wolfram	Aye
Council Member Stuchell	Aye
Council Member Socha	Aye
Mayor Stockford	Aye
Council Member Morrissey	Aye

Motion passed 8-0

B. Airport Terminal Contractor Award

City Manager Mackie stated the City was placed on a very tight design and bidding schedule by the Federal Aviation Administration (FAA) to receive the \$2.5M grant awarded to Hillsdale in February of this year. The terminal was designed around the building being a multi-purpose community space that will secondarily serve as an economic development tool to showcase the community. The City received four bids for terminal construction. The low bidder is Kalleward Group, LLC in the amount of \$2,972,478. The bids were reviewed by the City’s engineer RS&H and they recommend award to Kalleward. The City’s share of the full \$3.2M project is tentatively \$633,467. Staff believes this number can be negotiated down. The Airport Improvement Fund (AIFund) has an estimated \$635,000 in it as of June 30th. The AIFund has accumulated these funds, over 7 years, by increasing and saving fuel sales revenue and hangar rental fees and by instituting landing and other appropriate fees.

The Airport Advisory Committee met on July 8th to review the project. The Committee unanimously voted to recommend, to the City Council, moving forward with the project as presented.

Mike Rudzinski, RS&H Aviation Engineer, reported on the Airport Terminal project and grant requirements.

Council discussion on the City’s (Airport’s) cost share for the project.

Motion by Councilman Socha support by Councilmember Sharp to award the Airport Terminal build to Kalleward Group, LLC in the amount of \$2,972,478.00

Roll Call:

Council Member Wolfram	Aye
Mayor Stockford	Aye
Council Member Morrissey	Aye
Council Member Paladino	Aye
Council Member Pratt	Aye
Council Member Sharp	Aye
Council Member Socha	Aye
Council Member Stuchell	Aye

Motion passed 8-0

C BPU Industrial Substation Transformer Update

Jake Hammel, BPU Electric Director reported the electric department has recognized the need to upgrade the Industrial Substation. After consulting with SSOE and AMP engineers it has been determined that the best long term course of action is replace the transformer. The new unit will be built to match the impedance, voltage and LTC of the existing transformers at the power plant. This will allow us to extend the feeders to the Industrial sub and “hot switch” any of the feeders together or apart as needed. The transformer was bid as a 25MVA which is appropriate for the current system load. It was also bid as a 30 MVA which would allow for future growth. The transformer purchase and installation would be one of three parts to complete the upgrade for maximum reliability, protection, and redundancy. The remaining items are feeder breakers and feeder builds to

properly protect and connect the new transformer. The engineers estimate for the breaker build and associated costs is \$2,070,000 (includes 20% contingency). The feeder builds we believe we can handle a portion of with our own crews.

Motion by Councilman Morrissey, support by Councilwoman Pratt, to approve and award the purchase of the 30MVA transformer from OTC services Inc. in the amount of \$2,080,784 (\$1,891,622 + 10% contingency). This price also includes alternate 1, spare parts-\$8450 and alternate 2, 5 year warranty-\$0.

Roll Call:

Mayor Stockford	Aye
Council Member Morrissey	Aye
Council Member Paladino	Aye
Council Member Pratt	Aye
Council Member Sharp	Aye
Council Member Socha	Aye
Council Member Stuchell	Aye
Council Member Wolfram	Aye

Motion passed 8-0

D. 2023 Sidewalk Project – North and N. Wests Street

Kristin Bauer, City Engineer shared City staff developed and requested bids for completing sidewalk work around the intersections of N West Street at Westwood Street and North Street at West Street intersections. The purpose of the project is to remove the Americans with Disabilities Act (ADA) non-compliant stairs from the public right-of-way (ROW), reconstruction of sidewalk on the Hilltop Apartment frontage and upgrades to the sidewalk ramps at the aforementioned intersections to current ADA standards.

Bid were requested to be received on July 10, 2023. At bid time we received no bids for this project. We believe this to be due to current contractor workloads. After the bid deadline we were contacted by a local contractor who had been intending to bid but missed the deadline as they were otherwise occupied on an emergency project. We requested they submit their bid documents to the City for our review. Upon review of their pricing we found their bid to be within 5% of our Engineering Estimate.

Costs for this project will be shared by the City and the Hilltop Apartments. The Hilltop Apartment governing body has committed \$23,187.26 for their portion of this sidewalk work. The city will be covering the costs for ramp work at the intersections, removal of stairs within the ROW and construction of the new ADA compliant ramp at North at West Street.

One of the requirements of Act 51 of 1951, which established the Michigan Transportation Fund (MTF), is to utilize not less than 1% of the allocated MTF funds averaged over 10 years for “construction or improvement of nonmotorized services and facilities”. The city’s cost for this sidewalk project will be reported to the State of Michigan as part of our yearly ACT 51 Report.

Motion by Councilman Sharp, support by Councilman Morrissey Stuchell, to award this unit price project to Drymar, LLC of Hillsdale, MI in the estimated amount of \$69,800.00 with an additional contingency amount of \$5,200.00 for a total estimated project cost of \$75,000.00.

Roll Call:

Council Member Morrissey	Aye
Council Member Paladino	Aye
Council Member Pratt	Aye
Council Member Sharp	Aye
Council Member Socha	Aye
Council Member Stuchell	Aye
Council Member Wolfram	Aye
Mayor Stockford	Aye

Motion passed 8-0

E. Social District Local Government Approval (Keefer House Hotel LLC)

Sam Fry, Marketing Coordinator commented the City Council approved the establishment of a social district in Hillsdale on May 1, 2023. City staff have since been informed by the Michigan Liquor Control Commission (MLCC) that they have approved the district management and maintenance plan the City of Hillsdale filed, and the City can now begin installing signage. Qualified licensees may now apply to the MLCC for a Social District Permit. In order to do so, the qualified licensees are required to first obtain local government approval.

Keefer House Hotel, LLC (dba Dawn Theater) has submitted proof of liability insurance, as required, and now they need the Hillsdale City Council to adopt the attached resolution so they can apply to the MLCC for their Social District Permit.

Motion by Councilman Wolfram, support by Councilman Stuchell, to approve Keefer House Hotel, LLC (dba Dawn Theater) request for their Social District Permit. Resolution 3563.

By a voice vote, the motion passed unanimously.

F. Hendee FOIA Appeal Request

City Manager Mackie stated that the FOIA appeal was included in the council packet. The request was denied partially as the City does not have employment contracts, W-2s, or paystubs for the board as requested.

Mayor Stockford read a letter from Mr. Hendee aloud. Stockford stated he was inclined to waive the FOIA fees for Mr. Hendee as the request wasn't processed within time requirements.

Council Member Stuchell stated he was not in favor to waive fees as time was taken to process then request.

Further council discussion ensued.

Motion by Mayor Stockford, support by Councilmember Paladino, to grant appeal and waive the \$19 FOIA fees.

Roll Call:

Council Member Paladino	Aye
Council Member Pratt	Aye
Council Member Sharp	Nay
Council Member Socha	Nay
Council Member Stuchell	Nay
Council Member Wolfram	Aye
Mayor Stockford	Aye
Council Member Morrissey	Aye

Motion passed 5-3

G. Library Cleaning Contract

The City of Hillsdale currently holds a contract with East 2 West Enterprises, Inc. for the cleaning of City Hall and the Board of Public Utilities, dated April 26, 2019. To further enhance the maintenance and cleanliness of public facilities, it is being proposed to extend these cleaning services to include the Library. The proposed addendum outlines the provision of professional cleaning services to the Library, effective from August 1, 2023, until June 30, 2024.

The Library has been devoid of regular professional cleaning services for over a decade when internal staff took over the cleaning responsibilities. Considering the Library's role as a public building attracting 34,682 patrons and visitors from July 1, 2022 – June 30, 2023, ensuring a clean and sanitary environment becomes imperative.

Motion by Council Member Paladino, support by Council Member Pratt, to approve the addendum to the City cleaning contract to add the Library as presented from east 2 West Enterprises, Inc.

Roll Call:

Council Member Pratt	Aye
Council Member Sharp	Aye
Council Member Socha	Aye
Council Member Stuchell	Aye
Council Member Wolfram	Aye
Mayor Stockford	Aye
Council Member Morrissey	Aye
Council Member Paladino	Aye

Motion passed 8-0

Miscellaneous Reports

- A. Proclamations – None
- B. Appointments- Economic Development Corporation: Ken Joswiak, Nolan Sullivan, Gianna Green
Reappointment- Economic Development Corporation: John Condon

Motion by Councilman Socha, support by Council Member Pratt, to approve the appointments of Ken, Joswiak, Nolan Sullivan, Gianna Green and reappointment of John Condon to the Economic Development Corporation as presented.

By a voice vote, the motion passed unanimously.

- C. Other- None

General Public Comment

Missy DesJardin, commented on the homeless and Hillsdale Community Thrift. She also shared some successes with cleaning up blight around the City as well as helping some residents out.

Joseph Hendee, commented on the BPU board and payment. He shared about the Mayor and board member nepotism policy.

Jennifer Weil, 2635 Winona Dr., shared concern on the traffic at the Waterworks Park and Sandy Beach during night and early morning hours, suspected illegal business.

Jack McLain asked to have someone from City let him know if a zoning permit will be pulled for the Airport Terminal project.

City Manager’s Report

City Manager Mackie stated City will acquire all proper permits for the Airport project(s).

Mackie was reappointed to the MSCPA board as chairman.

Four way stop to be installed at Fayette Street and N. West Street intersection.

Fall leaf collection information will be presented at the next meeting.

Meijer Store site is progressing and moving right along, timeline to open is Spring 2024.

Council Comments

Council Member Socha stated the Keefer House Hotel building contractors had some difficulty in reconstruction some of the pillars and other items.

Adjournment

Motion by Council Member Sharp, seconded by Council Member Socha, to adjourn the meeting.

By a voice vote, the motion passed unanimously. The meeting adjourned at 9:25 p.m.

Adam Stockford, Mayor

Katy Price, City Clerk

CITY OF HILLSDALE FINANCE COMMITTEE

Place: City Hall Second Floor Conference Room

Date: July 17, 2023

Time: 6:30 PM

PRESENT:

COMMITTEE: Bruce Sharp, Gary Wolfram, Will Morrissey

STAFF: Jason Blake (Director of Public Services), David Mackie (City Manager)

PUBLIC: None

BOARD OF PUBLIC UTILITIES AND CITY OF HILLSDALE ACCOUNTS PAYABLE

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE

Questions asked on Invoice Distribution Report by Finance Committee:

Fund 101

Department 336: Annual Fee for Fire Department Policy and Procedure Manual

Department 441: Salt Solution for dust control of City parks and roads

Fund 202

Department 490: Solar signs for stop sign to be place on West Street and Fayette Street

Fund 582

Department 000: Upgrade of transformer for better reliability at Industrial Park and greater flexibility to switch power in event of storm

Department 175: Put together model for rate to for electric vehicles to pay for charging

Fund 590

Department 547: Test water samples from Bob Evans Farms at waste water treatment plant

Fund 591

Department 544: Back flow water prevention

Motioned by Morrissey and seconded by Wolfram to approve.

Motion passed 3-0.

Public Comment: None

Motioned by Morrissey and seconded by Sharp to adjourn.

Motion passed 3-0.

ADJOURNMENT: 6:52 PM

Minutes prepared by Gary Wolfram

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item # : Consent

SUBJECT: Revised Fee Schedule for Workforce Housing Application Fee

BACKGROUND PROVIDED BY STAFF David Mackie, City Manager

The Fiscal Year 2023-24 fee schedule was approved by Council effective July 1, 2023. Subsequent to the fee schedule approval, City Council approved the Workforce Housing ordinance. The proposed attached fee schedule establishes a fee for the workforce housing application.

RECOMMENDATION:

Staff recommends adoption of the new fee schedule.

City of Hillsdale

Fee Schedule - Effective July 1, 2023

(amended August 7, 2023)

Administration

Miscellaneous

Photocopies	\$	0.25 per page
Notary Service	\$	10.00
City Audit Report	\$	0.25 per page
	\$	12.00 Complete Report
City Budget	\$	55.00
Returned Check	\$	32.00
Property Maintenance Code as adopted (IPMC is available through the Code Council)	\$	15.00 Complete Document
City Master Plan	\$	35.00 Complete Document
Zoning Ordinance	\$	20.00 Complete Document
Multiple-property information reports (may require additional charge for set-up of non-standard reports)		FOIA Rate
Data Exports directly out of Assessing, Tax, Special Assessment or Building Permit/Code Enforcement software	\$	250.00 Complete Database
Petition to Amend Zoning Ordinance (Rezoning)	\$	500.00
Petition to Zoning Board of Appeals (Variance)	\$	300.00
Petition to Property Maintenance Board of Appeals	\$	25.00 Non-Refundable Application Fee
Application for Land Division/Lot Split (requires approved Zoning Administrator Review prior to Land Division Agent (Assessor) Review) - must comply with MCL 560.108-560.109b and HMC Chapter 36	\$	75.00 Includes Zoning Administrator and Land Division Agent review
Applications for Tax Abatements (IFT, OPRA, CRE, etc. if permitted by statute)	\$	300.00 Application fee **No fee for NEZ Applications

Permits

Right of Way

Application Fee	\$	75.00
Annual Blanket Permit	\$	500.00
Storm Sewer Connection Fee	\$	160.00
Sidewalk over 25 square feet	\$	75.00 with terrace
Sidewalk under 25 square feet	\$	50.00 with terrace
Driveway Approach	\$	75.00 with terrace
Street Opening	\$	150.00 plus \$10,000 bond
Terrace	\$	35.00
Use of Traffic Control (if available)	\$	25.00 minimum, up to 3 days
Traffic control fee will be based on number of days required, above 3 days, and amount of traffic control required		Example: 2 ADA panels or 10 cones or 6 class 1
Curb Cut/Repair/Extension	\$	60.00 < than 20 liner ft.
	\$	100.00 > than 20 liner ft.
Commence work prior to obtaining permit (after the fact fee)	\$	100.00
Dumpster in Right-of-Way (if available)	\$	25.00 plus traffic control

Events

Parking lot closure (if available)	\$ 150.00	traffic control
Single block closure (if available)	\$ 200.00	traffic control
Greater than single block closure (if available)	\$ 325.00	traffic control

Traffic control map, for vehicle and pedestrian closures, to be supplied by applicant. Pending availability DPS will deliver and/or setup required temporary traffic control for the total of 100% of the labor and vehicle rates required for the task.

Labor per hour (if available)

DPS	\$ 33.97
BPU Water	\$ 37.19
BPU Electric	\$ 60.61
Police	\$ 44.95
Fire Dept.	\$ 28.09

Vehicle Rental per hour (if available)

DPS Pickup Truck	\$ 19.39
DPS Trailer	\$ 13.42
BPU Water Pickup Truck	\$ 19.39
BPU Electric Pickup Truck	\$ 19.39
Police Squad Car	\$50/hour or \$200/day
Fire Dept. Fire Truck	\$75/hour or \$300/day

\$500 deposit for special events. Once application, permit, temporary traffic control, delivery/setup and any other additional charges have been covered that applicant will be refunded the remaining balance or be sent an invoice for any charges that deposit didn't cover. This includes going toward covering the cost of any lost or damaged TTC used for the event.

All permit fees are non-refundable.

Zoning

Residential Site Plan Review and Permit	\$ 75.00	
Commercial Site Plan Review	\$ 400.00	
Fence Permit	\$ 50.00	
Permanent Sign Permit	\$ 100.00	
Application for Conditional Use Permit	\$ 300.00	Application Fee plus publication costs (if required by statute or ordinance)
Application for Workforce Housing	\$ 300.00	

Animal Keeping

Initial application w/ zoning review	\$ 75.00	Initial Permit
Public Safety permit (annual)	\$ 25.00	Annually

Use and Occupancy

Use & Occupancy Permit application fee	\$ 50.00	Includes initial IPMC inspection by Fire Department
Special or repeat Inspections (all categories)	\$ 25.00	

Licenses

Adult Entertainment (Sec. 8-226)	\$ 500.00
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Junk Dealer (Sec. 8-282)	\$	50.00	Annually
* Dismantling Automobiles	\$	50.00	Additional Annually
* Used Furniture & Fixtures	\$	25.00	Additional Annually

Registrations

Pawnbroker (Sec. 8-312)	\$	3,000.00	Bond
plus	\$	50.00	Annually
Precious Metals & Gems (Sec. 8-352)	\$	50.00	
Taxicab	\$	50.00	First Car
plus	\$	25.00	Additional Cars
Solicitor/Peddler	\$	25.00	
Transient Merchant	N/A		
Going out of Business	N/A		

Cemetery

Lot Purchase:			
* Resident - Single Grave	\$	500.00	
* Non-Resident - Single Grave	\$	750.00	
Grave Opening-Closing:			
Single Grave:			
* Weekdays - resident/non-resident	\$	500.00	
* Saturdays - resident/non-resident	\$	650.00	
* Sundays - resident/non-resident	\$	750.00	
Child Grave: (36' - 64' casket length)			
* Weekdays - resident/non-resident	\$	350.00	
* Saturdays - resident/non-resident	\$	650.00	
* Sundays - resident/non-resident	\$	750.00	
Infant Grave:			
* Weekdays - resident/non-resident	\$	225.00	
* Saturdays - resident/non-resident	\$	650.00	
* Sundays - resident/non-resident	\$	750.00	
Cremains:			
* Weekdays - resident/non-resident	\$	275.00	
* Saturdays - resident/non-resident	\$	350.00	
* Sundays - resident/non-resident	\$	750.00	
Disinterment	\$	525.00	
Monument Foundation	\$	0.35	per square inch of concrete
Disinterment fo Cremains	\$	225.00	
Columbarium Purchase:			
* Resident - Single Niche	\$	500.00	
* Resident - Double Niche	\$	750.00	
* Non-Resident - Single Niche	\$	750.00	
* Non-Resident - Double Niche	\$	1,000.00	
Opening-Closing Niche:			
* Weekdays	\$	200.00	
* Saturdays	\$	275.00	
* Sundays	\$	500.00	
Shutter Lettering Charges:			
* Single Niche	\$	275.00	

* Double Niche	\$ 325.00
Date Lettering (Birth & Death Year only)	\$ 100.00

Fire Department

Fire Report	\$ 5.00
Water Purchase	\$ 3.00 per 1,000 gallons
plus	\$ 10.00 Hook-up
Fire Code Publication	Actual Cost

Police Department

Accident Report	\$ 5.00
Photographs	\$ 15.00 PLUS Actual Reproduction Cost
Personal Protection Order	\$ 16.00
Salvage Title Inspection	\$ 50.00
Notary Service	\$ 10.00
Video Reproduction	\$ 25.00
Portable Breathalyzer Test (Alcohol)	\$ 5.00
Precious Metal & Gem Dealers (Sec 8-352)	\$ 50.00

Parks/Recreation

Dock Rental:	
* Resident	\$ 300.00
* Non-Resident	\$ 425.00
* Premium Resident	\$ 350.00
* Premium Non-Resident	\$ 475.00
Owen Park	
* Pavilion	\$ 75.00
* Grassy Area	\$ 75.00
* Both Pavilions & Grassy Area	\$ 225.00
Mrs. Stock's Park	
Wedding:	
* All Day Structures	\$ 400.00 PLUS \$150.00 Damage Deposit
* Island or Pavilion	\$ 100.00 PLUS \$150.00 Damage Deposit
* Pavilion	\$ 100.00 PLUS \$150.00 Damage Deposit
* Grassy Area	\$ 100.00 PLUS \$150.00 Damage Deposit
Sandy Beach	
* Daily Admission	\$ 5.00
* Season Pass	\$ 50.00

Library

Photocopies - per page	\$ 0.10 B & W
	\$ 0.25 Color
Printer copies - per page	\$ 0.10 B & W
	\$ 0.25 Color
Library Cards:	
Hillsdale City, Hillsdale & Jefferson Townships Resident	N/A
NON - Hillsdale City, Hillsdale & Jefferson Townships Resident	\$ 40.00 per year
Replacement	\$ 3.50 each
Replacement of library materials	List Price

Overdue Fines	\$ 0.10 per Day (5.00 maximum)
Library Services	
Laminating	\$ 1.00 per page
Coffee	\$ 1.00 per cup
Notary Fee - Patron	FREE per signature
Notary Fee - Non-Patron	\$ 3.00 per signature
Meeting Room Rentals:	
1 - 4 Hours	\$ 25.00 per Room
4 Hours or longer	\$ 50.00 per Room
Used Book Sale	
A Bag	\$ 5.00 per bag
Hardcover Book	\$ 1.00 each
Paperback Book	\$ 0.50 each
Movie/CD/Cassette Tape	\$ 1.00 each
Sheet Music	\$ 0.10 each
BOCD (not part of the bag sale)	\$ 5.00 each

Mayor

Marriages	\$ 25.00
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Water/Sanitary Sewer Services

See Board of Public Utilities

See Rules & Regulations

Electric Services

See Board of Public Utilities

See Rules & Regulations

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item: Consent Agenda

Subject: Street Closure Request / HBA Summer in the City

Background:

An application has been received from the Hillsdale Business Association requesting street closures for their annual Summer in the City Sidewalk sales and Car Show. Request is to close Howell Street from North Street to Bacon Street and McCollum Street from the Mid Town Ally to Broad Street on Friday August 4, 2023 from 7:00 a.m. till 8:30 p.m.

Recommendation:

Approval is recommended as this is an annual event.

Scott A. Hephner



Chief of Police / Fire Chief

TRAFFIC CONTROL ORDER
2023-32
(Temporary)

Pursuant to the applicable provisions of the Uniform Traffic Code for Cities, Townships, and Villages this traffic control order is hereby issued. All traffic control devices shall comply with mandates set forth according to the Michigan Manual of Uniform Traffic Control Devices as issued by the Michigan Department of Transportation.

Temporary closure of Howell St. from North St. to Bacon St. and McCollum St. from Mid Town Ally to Broad St. on Friday, August 4, 2023, from 7:00 a.m. – 8:30 p.m. for the Summer in the City Sidewalk Sales Car Show.

No parking on McCollum St. on Friday, August 4, 2023, from 7:00 a.m. – 8:30 p.m. for the Summer in the City Sidewalk Sales Car Show.

This Traffic Control Order shall have immediate effect as a temporary Traffic Control Order and shall become a permanent Traffic Control Order upon approval by the Hillsdale City Council.



Chief of Police

07/25/2023

Date

Received for filing in the office of the City Clerk at _____ p.m. on the _____ day of _____, 2023.

City Clerk

Date

RESOLUTION # _____

IT IS HEREBY RESOLVED that effective immediately the above Traffic Control Order is made permanent.

Passed in open Council this _____ day of _____, 2023.

Adam L. Stockford, Mayor

Attest:

Katy B. Price, City Clerk

Received by Mail
 Date 6-29-23
 Amount Rec' _____
 Check # _____
 Permit # 4181



RECEIVED

JUN 29 2023

**CITY OF HILLSDALE
 CITY CLERK'S OFFICE**

CITY OF HILLSDALE

City Hall
 97 N. Broad St.
 Hillsdale, Michigan 49242
 (517) 437-6490
 www.cityofhillsdale.org

**APPLICATION FOR PERMIT
 OCCUPANCY OF OR WORK WITHIN STREET RIGHT-OF-WAYS**

TYPE:

- APPLICATION FOR PERMIT
- APPLICATION FOR BLANKET ANNUAL PERMIT
- REQUEST TO COMMENCE WORK

**Post a copy of the
 Permit on-site**

HILLSDALE BUSINESS ASSOCIATION 6/27/23 KEN JOSWIAK PRESIDENT 6/27/23

Applicant's Name	Date	Contractor's Name	Date
PO BOX 98		99 W CARLETON RD	
Mailing Address		Mailing Address	
HILLSDALE MI 49242		HILLSDALE MI 49242	
City State Zip Code		City State Zip Code	
517-437-7334		517-437-7334	
Telephone Number		Telephone Number	

DESCRIPTION OF WORK OR USE:

SUMMER IN THE CITY SIDEWALK SALES CAR SHOW

LOCATION: (Drawing to be provided)

close Howell st from North st to Bacon close McCollum st from Mid town ally to Broad st

FACILITIES, STRUCTURES, OR EQUIPMENT TO BE INSTALLED:

Friday August 4th 2023 request MCCollum to be no parking until 5pm when the street is closed off

TIME PERIOD:

COMMENCING DATE: 8/4/2023 7am TIME: ENDING DATE: 8/4/2023 TIME: 8:30pm

THE FOLLOWING MUST BE SUBMITTED PRIOR TO PERMIT ISSUANCE:

- Certificate of Insurance
- Performance Bond \$ _____
- Construction Plan
- Subcontractor's Names
- Other

NOTE: THIS APPLICATION BECOMES A VALID PERMIT ONLY UPON APPROVAL BY THE DIRECTOR, DEPARTMENT OF PUBLIC SERVICES AND/OR CHIEF OF CITY POLICE.

Staff Use Only

Recommendation for Issuance

Approved Denied

Director Comments:

Director, Department of Public Services

Recommendation for Issuance

Approved Denied

Chief of Police Comments:



Chief of Police

Bond Received \$ _____

Fee Received \$ _____

City Clerk

Note: All payments must be received and recorded before permit is valid.

Return Application to:
Department of Public Services
149 Waterworks Drive
Hillsdale, MI 49242
or
City of Hillsdale Clerk
97 N. Broad St.
Hillsdale, MI 49242
Or email to: jblake@cityofhillsdale.org

**INSPECTIONS MUST BE SCHEDULED
MINIMUM 2 HOURS PRIOR TO
COMMENCEMENT OF WORK.**

SECTION 5 – STREET OPENINGS AND RIGHT-OF-WAY CONSTRUCTION

- A. It shall be the responsibility of the applicant to contact "Miss Dig" prior to commencing any construction activities within the right-of-way so that all public utilities and other facilities can be located.
- B. It shall be the responsibility of the applicant to provide all necessary warning signs, barricades, flagmen and the like in accordance with the current Manual on Uniform Traffic Control Devices (MUTCD) Part 6 to insure that the public is safe from injury or damage to vehicles as a result of the construction activities.
- C. The applicant, upon completion of any construction, shall restore the right-of-way areas to a condition which is as good as or better than the condition which existed prior to the commencement of construction activities.
- D. The applicant shall provide and place the necessary sheeting, shoring and bracing required to prevent caving, loss or settlement of foundation material supporting the pavement, or any other street installation such as sewers, culverts, etc. the applicant shall assume the full responsibility for this protection and shall not proceed with construction or excavation activities prior to receiving the approval of the Department of Public Services for the methods to be used. The applicant shall dispose of all surplus or unsuitable material outside of the limits of the streets.
- E. All trenches, holes and pits shall be filled with gravel, placed in successive layers not more than nine inches in depth, loose measure, and each layer shall be thoroughly compacted by mechanical tamping. Restoration shall be such that it will provide a condition equal to or better than the original condition.
- F. Street openings will be properly maintained by the applicant until the street surface is replaced.
- G. Bituminous surfaces must be replaced with bituminous materials compacted at a minimum of two lifts. Concrete surfaces must be replaced with concrete materials flush with the existing surface and properly finished.
- H. Materials used in construction, backfilling and repair operations shall comply with the State of Michigan, Department of Transportation specifications. These include the following:
 - 1. Aggregate types for backfilling..... 22A and 23
 - 2. Asphalt type for replacement of street surface..... 20AA
 - 3. Concrete type for replacement of concrete surface.... Type 35P
- I. All vegetative areas shall be restored using top soil which is free of weeds and shall be seeded and protected from erosion.
- J. Street openings shall be made in such manner and with such tools as to produce straight edges. All such openings shall be rectangular in shape unless conditions warrant an irregular shape.

SECTION 6 – SIDEWALK CONSTRUCTION REPAIR AND REPLACEMENT

- A. All sidewalk work shall consist of constructing the sidewalk in a single course on a prepared subgrade.
- B. All sidewalks shall project one inch above finished grade and shall slope one quarter inch per foot toward the drainage side. Sidewalks shall be four inches thick except at driveway crossings which shall be six inches thick. Sidewalks shall be a minimum of five feet wide and a maximum of six feet wide. All walks shall meet the requirements of the Americans with Disabilities Act (ADA).
- C. All unstable subgrade material shall be removed and replaced with a minimum of four inches granular material or sand, compacted.
- D. Forms shall be clean and straight, composed of wood or metal. The forms shall be staked to line and grade in a manner that will prevent deflection or settlement. Forms shall be oiled before placing concrete. If the line of the sidewalk conflicts with trees adjacent to the sidewalk, the applicant shall notify the City Forester and Director prior to proceeding with the installation of forms.
- E. The base shall be thoroughly wetted and the concrete deposited thereon to the proper depth. It shall be spaded along the forms compressed and struck-off flush with the top of the forms. The surface shall be floated, edges and joints properly tooled, and finished with a brush to provide a non-slip surface.
- F. The applicant shall insure the use of appropriate materials which shall comply with the following specification:
- G. Expansion joints shall be placed every fifty feet or more often if required to prevent cracking of the sidewalk. Grooved joints a minim of on-half inch in depth shall be placed every five feet.
- H. Sidewalks and sidewalk ramps shall be constructed in accordance with the standard specifications of the Michigan Department of Transportation (MDOT).
- I. Driveway approaches shall be a minimum of ten feet in width and shall be constructed of concrete a minimum of six inches thick. Expansion joints shall be placed where the approach meets a sidewalk or street. Approaches shall be constructed in accordance with standards provided in Section 6E.

SECTION 10 – FEES

A. The following schedule shall be the fees as established for permits issued pursuant to these rules and regulations:

Application Fee.....	\$75.00
Commence work prior to obtaining permit (ATF Fee = after the fact fee).....	\$100.00
Annual Blanket Permit.....	\$500.00
Sidewalk under 25 square feet.....	\$50.00 with terrace
Sidewalk over 25 square feet.....	\$75.00 with terrace
Driveway Approach Permit.....	\$75.00 with terrace
Street Opening.....	\$150.00, plus \$10,000 bond
Terrace Preparation.....	\$35.00
Storm Sewer Connection fee.....	\$160.00
Use of Traffic Control.....	\$25.00 min., up to 3 days
(Example: 2 ADA panels or 10 cones or 6 class 1)	
(Traffic control fee will be based on number of days required, above 3 days, and amount required)	
Curb Cut/Repair/Extension.....	\$60.00 < than 20 linear feet
	\$100.00 > than 20 linear feet

Events

Dumpster in Right-of-Way*.....	\$25.00 plus traffic control
Parking Lot Closure*.....	\$150.00 traffic control
Single Block Closure*.....	\$200.00 traffic control
Greater Than Single Block Closure*.....	\$325.00 traffic control

Traffic control map, for vehicle and pedestrian closures, to be supplied by applicant. Pending availability DPS will deliver and/or set up required temporary traffic control for the total of 100% of the labor and vehicle rates required for the task.

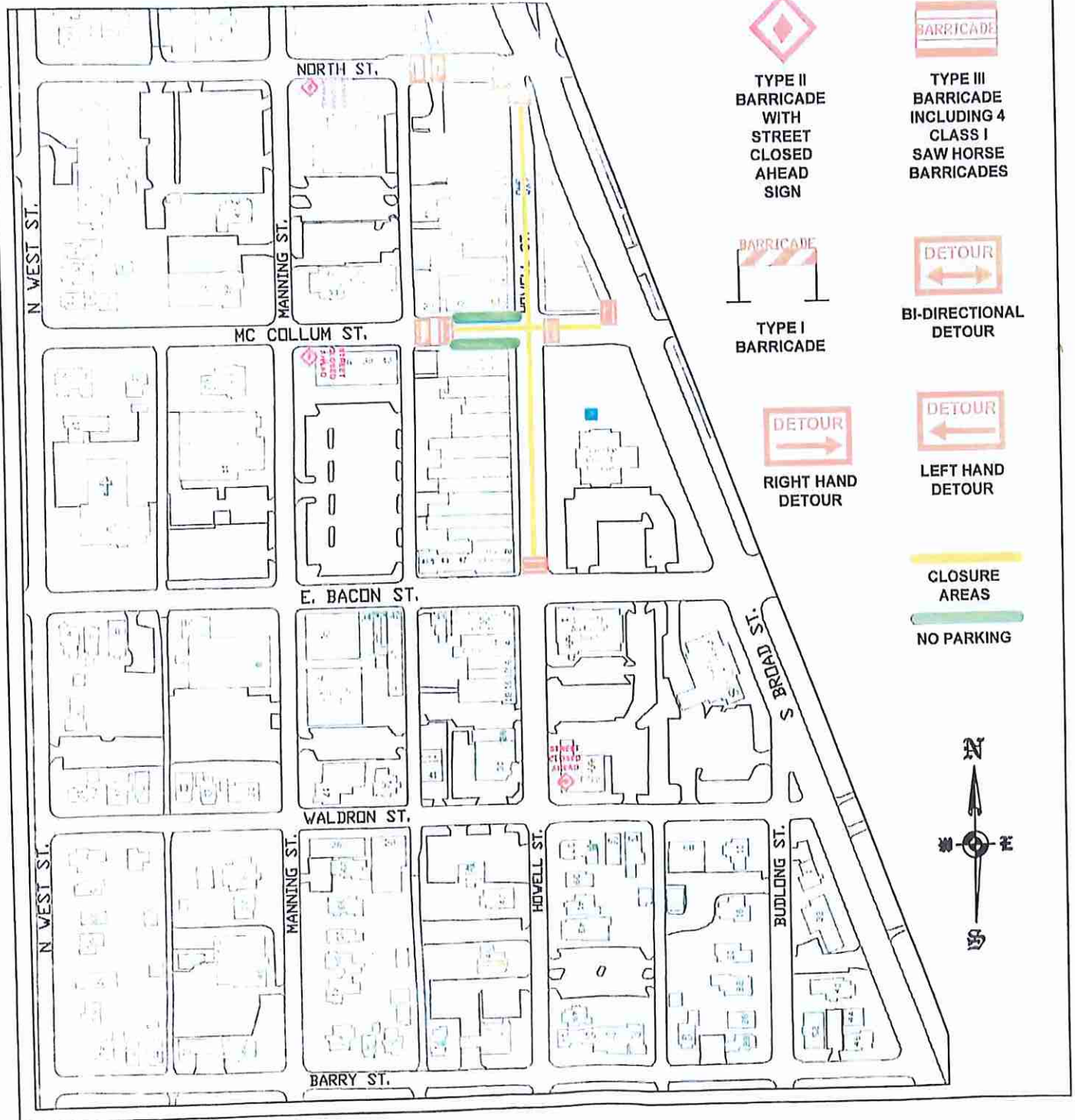
<u>Labor per hour*</u>		<u>Vehicle rental per hour*</u>	
DPS	\$33.97	Pickup Truck	\$19.39
BPU Water	\$37.19	Pickup Truck	\$19.39
BPU Electric	\$60.61	Pickup Truck	\$19.39
Police	\$44.95	Squad Car	\$50/hour or \$200/day
Fire Dept.	\$28.09	Fire Truck	\$75/hour or \$300/day
		Trailer	\$13.42

\$500 Up front deposit required for special events. Once application, permit, temporary traffic control, deliver/setup and any other additional charges have been covered the applicant will be refunded the remaining balance or be sent an invoice for any charges the deposit didn't cover. This includes going towards covering the cost of any lost or damaged temporary traffic control devices used for the event.

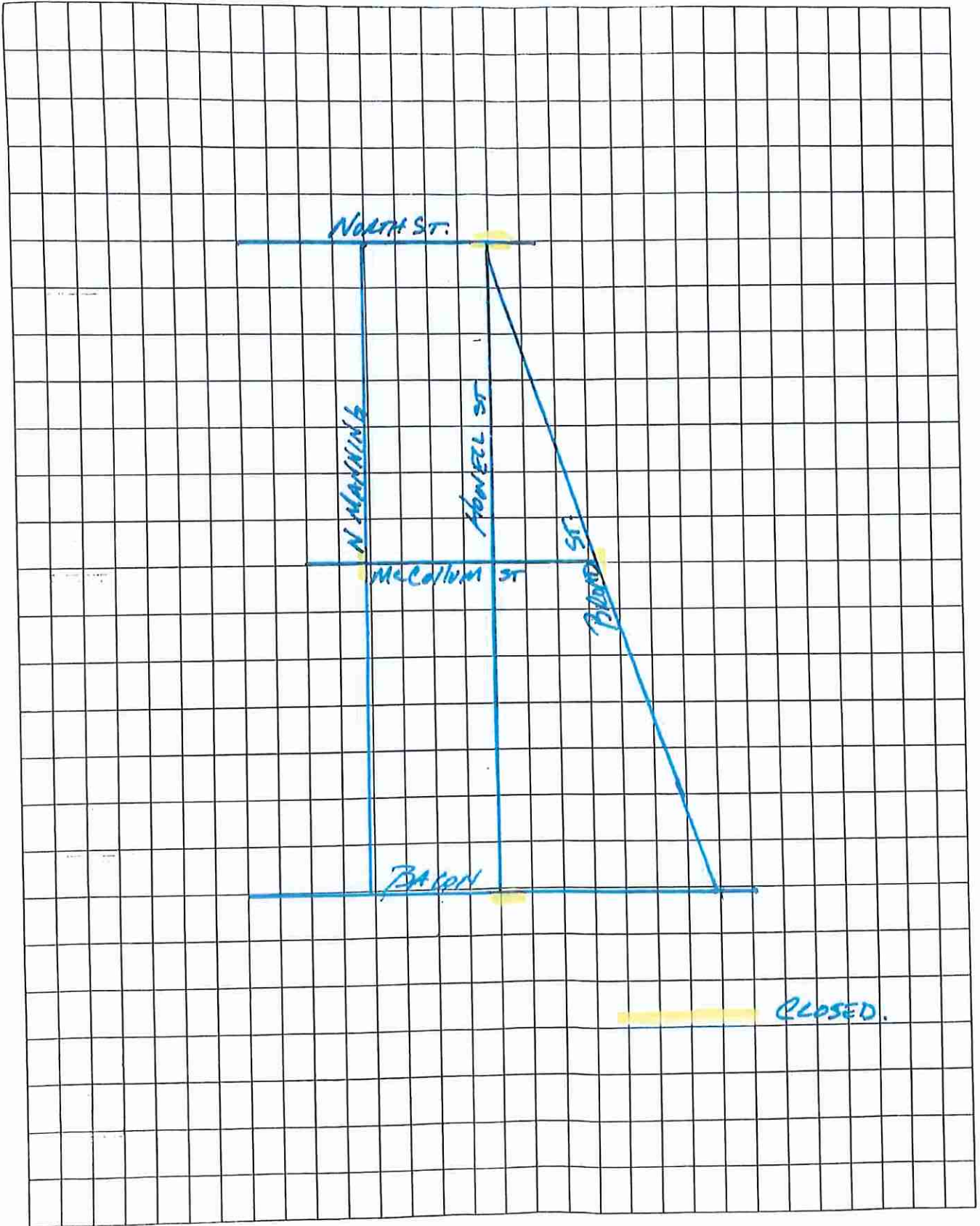
*If available

- B. In addition to the fees indicated above, all work requiring inspections after 3:00 p.m. or on Weekends shall be subject to an additional fee of \$75.00 per hour (Minimum 2 hour charge) or portion thereof with personnel availability.
- C. All permit fees are non-refundable.

Hillsdale Business Association Street Closure 2021 Revision



PROJECT PLAN (Attach additional sheets, as necessary)





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
03/02/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

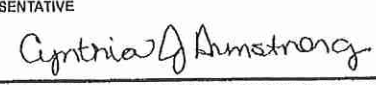
PRODUCER Moore Insurance Services, Inc. 67 N. Howell P.O. Box 207 Hillsdale MI 49242	CONTACT NAME: Cyndi Armstrong	PHONE (A/C, No, Ext): (517) 439-9345	FAX (A/C, No): (517) 439-5538
	E-MAIL ADDRESS: info@mooreinsuranceservices.com		
INSURED Hillsdale Business Association PO Box 98 Hillsdale MI 49242-0098	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A: Home-Owners Insurance Company		26838
	INSURER B:		
	INSURER C:		
	INSURER D:		
	INSURER E:		
INSURER F:			

COVERAGES CERTIFICATE NUMBER: CL22112203906 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		06018761	12/01/2022	12/01/2023	EACH OCCURRENCE \$ 500,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 500,000 Premises/Operations \$ COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						EACH OCCURRENCE \$ AGGREGATE \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 The City of Hillsdale is listed as additional insured with respect to general liability in regards to Holiday Scavenger Hunt & Parade, December 2022; Open Air Market/Farmers Market, May 13 through October 28, 2023; Summer in the City, July 2023; and Trunk or Treat, October 2023.

CERTIFICATE HOLDER City of Hillsdale 97 N. Broad Street Hillsdale MI 49242	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

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City of Hillsdale Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item: Consent

SUBJECT: HBA 2022 Summer in the City Use of Street Agreement

BACKGROUND: Michelle Loren, Recreation Director

Ken Joswiak, President of HBA, submitted a Right of Way Permit for their Annual Summer in the City event to take place on Friday, August 4, 2023. The requested closures are Howell St. between North St. and E. Bacon St., and McCollum St. between Broad St. and the Mid-town alley beginning at 7:00 a.m. and ending at or before 8:30 p.m. pursuant to TCO# 2023-32.

Due to time constraints, City Manager David Mackie was granted permission by Mayor Stockford to direct Chief Hephner to proceed with the issuance of TCO No. 2023-32 for the necessary street closures and authorized the signatures by the city manager and clerk.

RECOMMENDATION:

I recommend Council approve the agreement as presented and authorize ratification of signature by the Mayor.

AGREEMENT FOR USE OF PORTION OF STREETS
2023 Summer in the City
Sidewalk Sales and Car Show

This Agreement is made and entered between the City of Hillsdale, a Michigan municipal corporation, of Hillsdale, Michigan (Hillsdale) and Hillsdale Business Association, a not-for-profit, 501(c)(3) Michigan corporation, P.O. Box 98, Hillsdale, Michigan 49242.

Preamble

Hillsdale controls the usage of local streets within its jurisdiction. Among other governmental functions, Hillsdale seeks to promote the use of its streets for the use and benefit of its citizens and the general public.

At various times, functions are proposed that involve the use of a portion of a public street to which Hillsdale's citizens, as well as the public at large, are invited and encouraged to attend. In such instances, when Hillsdale determines that the proposed activity will inure to the economic, cultural and general benefit of its citizens and of the community at large, it has endeavored to cooperate with the activity's sponsor/promoter. In doing so, Hillsdale is concerned with regulating the use of its streets so as to reasonably assure that they are not used in a manner that exposes persons attending activities as are allowed to take place in or on any portion of its public streets to unreasonable risks of harm, as well as to assure that no damage is done to its street facilities.

Hillsdale Business Association desires to sponsor and promote what are commonly known and designated as the Annual Sidewalk Sales event and the Summer in the City event to which the general public is invited. Each event's activities will or might include bands, sidewalk sales, food and drink concessions as well as other activities. The Annual Sidewalk Sales and Car Show event is proposed to take place on Howell Street between North St. and E. Bacon St. and McCollum St. between Broad St. and the Mid-town alley from 7:00 a.m. to 8:30 p.m. on Friday, August 4, 2023 pursuant to Traffic Control Order Number 2023-32.

Hillsdale Business Association has represented that it is a responsible organization and that it has created appropriate regulations and policies by which it will regulate participants in the events it proposes to promote and sponsor. Hillsdale Business Association also represents that participation in its events is and will be open to all on a nondiscriminatory basis.

Hillsdale has determined that it is in its best interests and the interests of the general public to allow Hillsdale Business Association to use the described portions of Howell Street, East Bacon Street, McCollum Street, and North Street as the sites on which it may conduct its proposed events, and Hillsdale Business Association has agreed to do so, all in accordance with the following terms and conditions.

Agreement

1. In consideration of and reliance on Hillsdale Business Association's promises and its full compliance with all of the terms and conditions contained in this agreement, Hillsdale agrees to allow Hillsdale Business Association to use the following described portions of its streets during specified periods on August 4, 2023 for the purpose of preparing for and conducting its proposed events and related activities for the use, benefit and

removing any barricades and reopening Howell Street to vehicular traffic, the Hillsdale Business Association shall notify the Hillsdale City Police Department and secure its permission to do so.

5. A Special Events Fee in the amount of \$500.00 shall be paid by Hillsdale Business Association to The City of Hillsdale, and in consideration of such payment, The City of Hillsdale agrees to deliver barricades to the downtown area on Thursday, August 3, 2023 and pick up upon completion of the Summer in the City event. The Hillsdale Business Association shall place all barricades, when removed, out of the main traveled portion of the street adjacent to the curbs for pick up by City on Monday, August 6, 2023.

6. Hillsdale Business Association further agrees that the restoration of the entire area occupied or used by it in connection with the Summer in the City event will be swept and returned to a tidy condition not later than 8:30 p.m. on Friday, August 4, 2023.

7. Hillsdale Business Association agrees to abide by all applicable statutes, ordinances, rules and regulations pertaining to it and to all provisions of this agreement during its occupancy and use of the described portions of Howell Street, East Bacon Street, McCollum Street, and North Street.

8. Hillsdale Business Association acknowledges that there are no public restroom facilities at the site during the time of the scheduled event. Accordingly, Hillsdale Business Association represents and agrees that, at its sole expense and as a condition precedent to the commencement of its event, it will provide and have in place portable restroom facilities that comply with all applicable health and sanitation codes for its scheduled event in full working order and sufficient quantity to accommodate the needs of its participants and the general public.

9. Hillsdale Business Association agrees that no attachments for tents or any other facilities will be made to any paved surfaces within any portion of the Howell Street, East Bacon Street, McCollum Street, or North Street rights of way that would cause holes or other damage to the pavement without the prior written consent of the Director of Hillsdale's Department of Public Streets.

10. Hillsdale Business Association agrees that it shall not permit any street other than the described portions of Howell Street, East Bacon Street, McCollum Street, or North Street to be blocked or obstructed. Further, Hillsdale Business Association agrees to and shall confine its proposed event activities solely to the described portions of Howell Street, East Bacon Street, McCollum Street, and North Street within the times prescribed for each event.

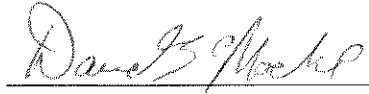
11. Hillsdale Business Association agrees and understands that it, at its sole expense, is and shall be solely responsible for the repair and restoration of all damage to private or public property that results from or because of Hillsdale Business Association's proposed events, whether real or personal, and to leave the premises in a condition equal to or better than existed prior to its use, free from all garbage, trash or other items.

21. All notices from Hillsdale Business Association to Hillsdale shall be in writing and shall be delivered by ordinary first class mail or personal service to the following person at the following address: David Mackie, Hillsdale City Manager, 97 N. Howell Street, Hillsdale, Michigan 49242.

23. The parties agree that there are no other representations, inducements, promises or agreements between them, whether oral or written.

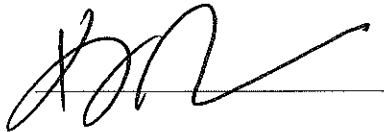
24. This Agreement shall be governed and construed in accordance with the laws of the State of Michigan. Hillsdale and Hillsdale Business Association further agree that in the event of legal action arising from or as a result of this Agreement or its breach, venue and jurisdiction for such action shall be in the Hillsdale County Circuit Court or in the District Court located within the County of Hillsdale, Michigan, whichever has subject matter jurisdiction over any such dispute.

City of Hillsdale



David Mackie, City Manager
Dated: August 31, 2023

July



Katy Price, City Clerk
Dated: August 31, 2023

July

Hillsdale Business Association



Ken Joswiak, President
Dated: August 1, 2023

Applicant: HBA

Date of Application: 06/30/2023

Date Issued:

Permit Expire

Applicant Phone:

THIS IS TO CERTIFY THAT A RIGHT-OF-WAY PERMIT

SPECIAL EVENTS ROW

Parcel Number: 006-100-000-00

FOR THE FOLLOWING ACTIVITIES:

PERMIT #4181: CLOSE HOWELL ST FROM NORTH ST TO BACON. CLOSE
MCCOLLUM ST FROM MID TOWN ALLEY TO BROAD ST

With the following:

DPS COMMENTS:

DPS WILL DELIVER ALL TEMPORARY TRAFFIC CONTROL (TTC) TO THIER RESPECTIVE LOCATION (SEE MAP) ON THURSDAY, AUGUST 3, 2023 AND PICKUP ALL STACKED BARRICADES FROM THE TERRACE AREAS ON MONDAY, AUGUST 7, 2023. APPLICANT AND/OR IT'S REPRESENTATIVES SHALL BE RESPONSIBLE TO SET UP, MAINTAIN AND TEAR DOWN ALL REQUIRED TRAFFIC CONTROL. ALL TRAFFIC CONTROL SHALL BE SET UP AND MAINTAINED IN FULL COMPLIANCE WITH THE MICHIGAN MANUAL OF TRAFFIC CONTROL FOR FULL DURAITON OF EVENT. APPLICANT AND/OR IT'S REPRESENTATIVES SHALL TEAR DOWN AND STACK ALL TEMPORARY TRAFFIC CONTROL DEVICES AND PLACE ON TEARRACE AREA PROMPTLY UPON COMPLETION OF EVENT. TEMPORARY TRAFFIC CONTROL DEVICES SHALL NOT BE INSTALLED IN A MANNER THAT WOULD DISRUPT PEDESTRIAN TRAVEL. APPLICANT SHALL DISTRIBUTE TEMPORARY TRAFFIC CONTROL MAP TO PARTICIPATING VOLUNTEERS TO ASSURE THAT ALL TEMPORARY TRAFFIC CONTROL DEVICES ARE PROPERLTY PLACED FOR EVENT.

HAS BEEN APPROVED IN ACCORDANCE WITH THE PROVISIONS

OF CHAPTER 30 OF THE CITY OF HILLSDALE MUNICIPAL CODE

AMOUNT PAID:

Contractor:

\$575.00

Signatures approved for ratification of above agreement by City Council on August 7, 2023.

CITY OF HILLSDALE

HILLSDALE BUSINESS ASSOCIATION

/S/

Adam Stockford, Mayor
City of Hillsdale

Ken Joswiak
President, HBA

Dated: August ____, 2023

Dated: August ____, 2023

/S/

Katy Price, Clerk
City of Hillsdale

Dated: August ____, 2023

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023
Agenda Item: Consent Agenda
Subject: Street Closure for Freshman Convocation

Background:

As with past practice, Hillsdale College requests the closure of Hillsdale Street between College Street and Galloway / Barber Drive along with adjacent sidewalks from 7:00 a.m. till 5:30 p.m. on Sunday August 20, 2023 for their Freshman Convocation Ceremony.

Recommendation:

Approval of this request is recommended as this is an annual event.

Scott A. Hephner

Chief of Police / Fire Chief

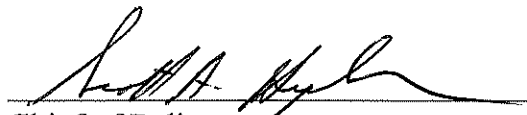
**TRAFFIC CONTROL ORDER
2023-25**

Pursuant to the applicable provisions of the Uniform Traffic Code for Cities, Townships, and Villages this traffic control order is hereby issued. All traffic control devices shall comply with mandates set forth according to the Michigan Manual of Uniform Traffic Control Devices as issued by the Michigan Department of Transportation.

Hillsdale St. between E. College St. and W. Galloway/Barber Drive will be closed to all traffic, as well as adjacent sidewalks from **7:00 a.m. to 5:30 p.m. on Sunday, August 20, 2023** for the Hillsdale College Freshman Convocation ceremony.

Hillsdale College Security Personnel will place, remove, and attend all necessary barricades and traffic control signs.

This Traffic Control Order shall have immediate effect as a temporary Traffic Control Order and shall become a permanent Traffic Control Order upon approval by the Hillsdale City Council.



Chief of Police

06/27/2023

Date

Received for filing in the office of the City Clerk at _____ a.m. on the _____ day of _____, 2023.

City Clerk

Date

RESOLUTION # _____

IT IS HEREBY RESOLVED that effective immediately the above Traffic Control Order is made permanent.

Passed in open Council this _____ day of _____, 2023.

Adam L. Stockford, Mayor

Attest:

Katy B. Price, City Clerk

Chief Scott A. Hephner
Hillsdale Police Department
Hillsdale City Hall
Hillsdale, MI 49242

Dear Chief Hephner:

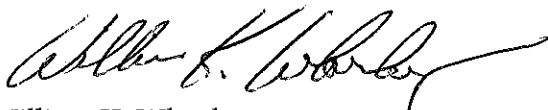
In accordance with our past practices and procedures, Hillsdale College is requesting to close the right of way, including both the street and the sidewalk, along Hillsdale Street between E College Street and Galloway/Barber Drive from 7:00 a.m. to 5:30 p.m. for our Freshman Convocation on Sunday August 20, 2023. Closing Hillsdale Street will serve to protect the public by providing a detour away from central campus and to protect students, during the closure, from wandering into a very busy street and possibly being injured. In the case of inclement weather, the Convocation Ceremony will be moved to the Biermann Athletic Center (91 E. College Street) and the street will not need to be closed.

We would reroute foot and vehicular traffic from Hillsdale Street onto E College Street, then north/south on N West Street, and then back along E Galloway Drive. We would like to request pedestrian detour signs as well as pedestrian barricades, if needed. Hillsdale College Security personnel will place, remove, and attend to all necessary barricades and traffic control signs.

If you have any questions, please call me at 517-607-2454.

Thank you for your consideration on this request.

Respectfully submitted,



William K. Whorley
Director of Security

WKW/kbl

City of Hillsdale Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item: Consent

SUBJECT: Hillsdale College Street Closure Agreement – Freshman Convocation

BACKGROUND: Michelle Loren, Recreation Director

Hillsdale College has submitted a Right of Way permit requesting street closures in and around the Hillsdale College Campus for the purpose of holding its 2023 Freshman Convocation. The closure of Hillsdale Street between College Street and Galloway St./Barber Drive will take place beginning at 7:00 a.m. and ending at 5:30 p.m. on August 20, 2023 pursuant to TCO #2023-25.

RECOMMENDATION

I recommend Council approve the agreement and authorize signatures by the Mayor and Clerk.

STREET CLOSURE AGREEMENT
Hillsdale College
2023 Freshman Convocation
August 20, 2023

This Agreement is made and entered between the City of Hillsdale, a Michigan municipal corporation, of Hillsdale, Michigan (“Hillsdale”) and Hillsdale College, 33 E. College St., Hillsdale, Michigan 49242.

Preamble

Hillsdale controls the usage of local streets within its jurisdiction. Among other governmental functions, Hillsdale seeks to promote the use of its streets for the use and benefit of its citizens and the general public.

At various times, functions are proposed that involve the use of a portion of a public street to which Hillsdale’s citizens, as well as the public at large, are invited and encouraged to attend. In such instances, when Hillsdale determines that the proposed activity will inure to the economic, cultural and general benefit of its citizens and of the community at large, it has endeavored to cooperate with the activity’s sponsor/promoter. In doing so, Hillsdale is concerned with regulating the use of its streets in order to reasonably assure that they are not used in a manner that exposes persons attending activities as are allowed to take place in or on any portion of its public streets to unreasonable risks of harm, as well as to assure that no damage is done to its street facilities.

Hillsdale College desires to hold an event requiring the closure of Hillsdale Street between College Street and Barber Drive for the purpose of its Freshman Convocation Ceremony on Sunday, August 20, 2023, with the cleanup activities to be conducted and finalized within a specified period following the end of the event.

Hillsdale College has represented that it is a responsible organization and that it has created appropriate regulations and policies by which it will regulate participants in the event it proposes to sponsor. Hillsdale College also represents that participation in its event is and will be open to all on a nondiscriminatory basis.

Hillsdale has determined that it is in its best interests and the interests of the general public to allow Hillsdale College to use the above mentioned streets as the site from which it may conduct its proposed event, and Hillsdale College has agreed to do so, all in accordance with the following terms and conditions.

Agreement

1. In consideration of and reliance on Hillsdale College’s promises and its full compliance with all of the terms and conditions contained in this agreement, Hillsdale agrees to allow Hillsdale College to use the following portions of its streets during specified periods on August 20, 2023, for the purpose of preparing for and conducting its proposed event and related activities for the use, benefit and enjoyment of the general public during the stated hours and to thereafter restore said streets to a condition fit for public travel that is at least as good as when taken, all as hereinafter provided:

- a. The closure of Hillsdale Street between E. College Street and Galloway St./Barber Drive beginning at 7:00 a.m. and ending at 5:30 p.m. on August 20, 2023, for the purpose of holding the Freshman Convocation Ceremony.

2. Hillsdale further agrees that it shall temporarily close Hillsdale Street between E. College Street and Galloway St./Barber Drive by Traffic Control Order 2023-25 passed by City Council on August 7, 2023 between the hours set forth for each area in subparagraph a. of paragraph 1 of this agreement.

3. The College shall be solely responsible for providing, erecting, maintaining, and tear down of all temporary traffic control devices (TTC) at the ends of the described portion of the above mentioned streets as shown on the attached Exhibit A, in order to close off the streets to motor vehicle traffic and the adjacent sidewalks to pedestrian traffic between 7:00 a.m. and 5:30 p.m. on Sunday, August 20, 2023.

4. Hillsdale College agrees to and shall be solely responsible for obtaining, posting, and paying the fees for all applicable and necessary permits and barricade rental fees, including but not limited to those that might be required by the Federal Highway Administration, the placement of barricades, the posting of signs, as well as any rules, regulations and requirements, or other conditions that might be required by any state, county, or local statute, ordinance, rule or regulation.

5. Hillsdale College agrees that immediately following the end of the events and at its sole expense, it shall promptly remove or cause the removal of all equipment, barricades, signs, and other items pertaining to the closures. In the event the City must lend such equipment, Hillsdale College shall properly store the items in Hillsdale College's parking lot until they are returned to the City; provided that the College shall return the barricades to the City's Department of Public Service's facility on Waterworks Drive no later than 3:00 p.m. on Monday, August 21, 2023. Hillsdale College shall notify the Hillsdale City Police and secure its permission to open the street(s) to vehicular traffic before removing the barricades that Hillsdale's Police Department has placed to block Hillsdale Street from the public's vehicular use. Hillsdale's barricades, when removed, shall be placed out of the main traveled portion of the street adjacent to the curbs.

6. Hillsdale College further agrees that the removal of all equipment, barricades, signs, and other items from the Hillsdale Street closure and the surrounding affected areas, and the restoration of the entire area occupied or used by it to a swept and tidy condition shall be completed not later than noon on Monday, August 21, 2023.

7. Hillsdale College agrees to abide by all applicable statutes, ordinances, rules, and regulations pertaining to it and to all provisions of this agreement during its occupancy and use of the described portion of Hillsdale Street.

8. Hillsdale College agrees that it shall not permit any street other than the described portion of Hillsdale Street to be blocked or obstructed. Further, Hillsdale College agrees to and shall confine its proposed event activities solely to Hillsdale Street between College Street and Barber Drive.

9. Hillsdale College agrees and understands that it, at its sole expense, is and shall be solely responsible for the repair and restoration of all damage to private or public property, whether real or personal, that results from or because of Hillsdale College's proposed event, and to leave the premises in a condition equal to or better than existed prior to its use, free from all garbage, trash or other items.

10. Hillsdale College represents that it is a valid Michigan corporation and further represents that it possesses or will obtain and provide persons with the skill, experience, competence, and financial ability to carry out and fulfill all of its duties and obligations under this contract in a timely and professional manner.

11. Hillsdale College further represents and covenants that it does not discriminate against any employee, applicant for employment, and shall not discriminate against any general public that will participate in the events it is staging under this agreement or any other member of the public because of race, color, religion, national origin, age, height, weight, marital status or other legally

protected class. It is understood and agreed by and between the parties that breach of this covenant may be regarded as a material breach of this agreement.

12. Hillsdale College shall provide City with proof of public liability and property damage insurance with coverage that is satisfactory to Hillsdale and limits of liability of not less than a single limit of Five Hundred Thousand and 00/100 (\$500,000.00) Dollars, with the City of Hillsdale designated therein as a named insured to be and remain in force for the duration of Hillsdale College's presence on and use of Hillsdale's streets, and that such proof is to be provided at the time of execution of this Agreement.

13. Hillsdale College shall carry and provide all workers' compensation insurance coverage at its sole expense for its employees as is required by the laws of the State of Michigan and provide proof thereof to Hillsdale prior to the commencement of any activities under this contract.

14. Hillsdale College represents to Hillsdale that it intends to use the described area for the purpose of conducting Hillsdale College Freshman Convocation activities. In reliance on Hillsdale College's representations and its other promises as contained in this agreement, Hillsdale hereby grants and Hillsdale College hereby accepts the exclusive control over the described portion of Hillsdale Street and the activities therein, it being the intention of the parties that Hillsdale College is and shall be solely responsible for maintaining the described areas and regulating all activities therein so as to keep them in reasonably safe condition, free of unreasonable risk of harm, for the use and benefit of the general public and others using or within said area or any of its facilities, products or activities.

15. Hillsdale College further agrees to and shall defend, indemnify, and hold Hillsdale harmless from any and all damages, claims, demands, causes of action, lawsuits, attorney fees, and related expenses, as a result of actual or claimed personal injury, including death, property damage, or other damage or loss of any kind or nature which are or are claimed to be a proximate result of:

a. The negligence, gross negligence or intentional acts or omissions of Hillsdale College, its agents, servants, employees, guests, vendors, invitees, event participants or event attendees which arise or are claimed to have arisen as a result or because of Hillsdale College proposed events, its associated activities and events; or

b. All such damages or injuries, including death, whether caused in part by the negligence of Hillsdale, its employees, agents, servants, or representatives; provided, however, that Hillsdale College shall not be obligated to indemnify Hillsdale for any damages or injuries, including death, caused by or resulting from the sole negligence of Hillsdale.

16. Hillsdale College agrees that any and all documents provided to Hillsdale under this agreement are subject to disclosure and hereby expressly consents to Hillsdale's reproduction and release of such documents in response to a request under the Freedom of Information Act.

17. Hillsdale College agrees that Hillsdale may immediately terminate this contract without further obligation or liability to Hillsdale College at its option and without prejudice to any other remedies to which it might be entitled, whether in law, in equity, or under this contract, by giving written notice of termination to Hillsdale College if the latter should:

- (a) be adjudged bankrupt;
- (b) become insolvent or have a receiver of its assets appointed;
- (c) make a general assignment for the benefit of creditors;
- (d) default in the performance of any obligation under this contract;

- (e) breach any covenant under this contract;
- (f) institute or suffer to be instituted any procedures for reorganization of its affairs;
- (g) fail to perform any of its obligations to Hillsdale under this contract to Hillsdale's satisfaction.

Provided, however, that Hillsdale College' indemnification, defense, hold harmless and insurance coverage agreements shall survive any such termination.

Notice of termination pursuant to the forgoing provisions shall be provided to Hillsdale College in writing and shall be delivered by ordinary first-class mail or personal service to the following person at the following address: Richard Péwé, Chief Administrative Officer, Hillsdale College, 33 College Street, Hillsdale, Michigan 49242.

18. All notices from Hillsdale College to Hillsdale shall be in writing and shall be delivered by ordinary first-class mail or personal service to the following person at the following address: David Mackie, Hillsdale City Manager, 97 N. Hillsdale Street, Hillsdale, Michigan 49242.

21. The parties agree that there are no other representations, inducements, promises or agreements between them, whether oral or written.

19. This Agreement shall be governed and construed in accordance with the laws of the State of Michigan. Hillsdale and Hillsdale College further agree that in the event of legal action arising from or as a result of this Agreement or its breach, venue and jurisdiction for such action shall be in the Hillsdale County Circuit Court or in the District Court located within the County of Hillsdale, Michigan, whichever has subject matter jurisdiction over any such dispute.

CITY OF HILLSDALE

HILLSDALE COLLEGE

Adam Stockford, Mayor
City of Hillsdale

Richard Péwé,
Chief Administrative Officer
Hillsdale College

Dated: August ____, 2023

Dated: August ____, 2023

Katy Price, Clerk
City of Hillsdale

Dated: August ____, 2023

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item: Consent Agenda

Subject: Right of Way Closure / Noise Variance for College Homecoming

Background:

Hillsdale College requests the right of way closure of E. College Street between Union and Oak Streets along with Oak Street between College Street and Academy Lane for their annual Homecoming Tailgate event. Closure is on Saturday September 23, 2023 from 6:00 a.m. till 11:30 p.m.

A noise variance is also requested for the same time period on the same date for Homecoming activities outside the Roche Sports Complex located at 201 Oak Street.

Recommendation:

Approval is recommended as this is an annual event.

Scott A. Hephner



Chief of Police / Fire Chief

TRAFFIC CONTROL ORDER
2023-30
(Temporary)

Pursuant to the applicable provisions of the Uniform Traffic Code for Cities, Townships, and Villages this traffic control order is hereby issued. All traffic control devices shall comply with mandates set forth according to the Michigan Manual of Uniform Traffic Control Devices as issued by the Michigan Department of Transportation.

Temporary closure of the Right of Way on College Street, between Union Street and Academy Lane on Saturday, September 23, 2023 from 6:00 a.m. – 11:30 p.m. for Hillsdale College Homecoming Tailgate.

This Traffic Control Order shall have immediate effect as a temporary Traffic Control Order and shall become a permanent Traffic Control Order upon approval by the Hillsdale City Council.



Chief of Police

07/18/2023
Date

Received for filing in the office of the City Clerk at _____ p.m. on the _____ day of _____, 2023.

City Clerk

Date

RESOLUTION # _____

IT IS HEREBY RESOLVED that effective immediately the above Traffic Control Order is made permanent.

Passed in open Council this _____ day of _____, 2023.

Adam L. Stockford, Mayor

Attest:

Katy B. Price, City Clerk

July 18th 2023

Chief Scott A. Hephner
Hillsdale Police Department
Hillsdale City Hall
Hillsdale, MI 49242

Dear Chief Hephner:

Hillsdale College would like to close the Right of Way on College Street, between Union Street and Academy Ln on Saturday, September 23rd from 6:00 am until 11:30 pm for Homecoming Tailgate. Traffic will be routed south along Union Street, then west along Fayette Street, and south on Oak Street to Fayette Street. Proper signage and barricades will be used.

If you have any questions, please call me at 517-607-2454, or Ashley Sallows at 517-607-2461.

Thank you for your assistance.

Respectfully submitted,



William Whorley
Senior Director of Security

WW/kbl

Received by _____
 Date _____
 Amount Rec' _____
 Check # _____
 Permit # _____



CITY OF HILLSDALE
 City Hall
 97 N. Broad St.
 Hillsdale, Michigan 49242
 (517) 437-6490
 www.cityofhillsdale.org
APPLICATION FOR PERMIT
OCCUPANCY OF OR WORK WITHIN STREET RIGHT-OF-WAYS

TYPE:

- APPLICATION FOR PERMIT
- APPLICATION FOR BLANKET ANNUAL PERMIT
- REQUEST TO COMMENCE WORK

**Post a copy of the
Permit on-site**

Hillsdale College Security 7/13/2023 Student Activities 7/13/2023

Applicant's Name 33 E. College St		Date		Contractor's Name		Date	
Mailing Address Hillsdale, MI 49242				Mailing Address Hillsdale, MI 49242			
City	State	Zip Code	Telephone Number	City	State	Zip Code	Telephone Number
517-607-2597				517-607-2597			

DESCRIPTION OF WORK OR USE:

Assisted temporary closure to hold a homecoming parade starting at intersection N West St and College St to the football stadium. Hard road closure from the intersection of Union St and College St to Oak St. and Academy Ln

LOCATION: (Drawing to be provided)

Traffic assistance from the police at E College St and Hillsdale St

FACILITIES, STRUCTURES, OR EQUIPMENT TO BE INSTALLED:

Stadium III Barricades and Pedestrian Barricades are to be used along with advanced warning signs

TIME PERIOD:

COMMENCING DATE: **9/23/23** TIME: 6:00 a.m. ENDING DATE: **9/23/23** TIME: 11:30 p.m.

THE FOLLOWING MUST BE SUBMITTED PRIOR TO PERMIT ISSUANCE:

- Certificate of Insurance
- Performance Bond \$ _____
- Construction Plan
- Subcontractor's Names
- Other

NOTE: THIS APPLICATION BECOMES A VALID PERMIT ONLY UPON APPROVAL BY THE DIRECTOR, DEPARTMENT OF PUBLIC SERVICES AND/OR CHIEF OF CITY POLICE.

Staff Use Only

Recommendation for Issuance

Approved Denied

Director Comments:

Director, Department of Public Services

Recommendation for Issuance

Approved Denied

Chief of Police Comments:



Chief of Police

Bond Received \$ _____

Fee Received \$ _____

City Clerk

Note: All payments must be received and recorded before permit is valid.

Return Application to:

Department of Public Services
149 Waterworks Drive
Hillsdale, MI 49242

or

City of Hillsdale Clerk
97 N. Broad St.
Hillsdale, MI 49242

Or email to: jhammel@cityofhillsdale.org

**INSPECTIONS MUST BE SCHEDULED
MINIMUM 2 HOURS PRIOR TO
COMMENCEMENT OF WORK.**

CITY OF HILLSDALE

RULES AND REGULATIONS PERMITS FOR OCCUPANCY OF AND WORK WITHIN STREET RIGHT-OF-WAYS

SECTION 1 – AUTHORITY

- A. These rules and regulations are promulgated pursuant to the provisions of Section 30-55 of Chapter 30 of the Hillsdale Municipal Code.

SECTION 2 – APPLICATION PROCEDURES

- A. Applicants for permits shall complete the permit form provided by the Department of Public Services and shall return the completed form to the **Public Services Building, 149 Waterworks Drive** or the **Clerk's Office, City Hall, 97 N. Broad Street**, together with such additional information which is required pursuant to Chapter 30 of the Hillsdale Municipal Code and these rules and regulations.
- B. Each application shall be reviewed by the Director of Public Services, or his designee, for compliance with the provisions of Chapter 30 and these rules and regulations. In addition, the following persons shall receive written notification that an application has been received and they shall be provided an opportunity to review the application prior to its approval: Director of Utilities, Police Chief, Fire Chief, and City Forester.
- C. If, in the opinion of the Director of Public Services, the application complies with the applicable provisions of Chapter 30 and these rules and regulations, then he shall notify the applicant that the application has been approved. If the application fails to comply with Chapter 30 and these rules and regulations, then the Director shall notify the applicant that the application has been denied. The Director may permit the applicant to submit additional information or to revise information previously submitted so as to cause the application to comply with Chapter 30 and these rules and regulations.
- D. If an application is approved, the Director shall prepare the necessary permit and shall determine the amount of any fees which the applicant must pay. The permit and the statement of fees shall be delivered to the City Clerk.
- E. Upon payment of the fees as determined by the Director of Public Services, the City Clerk shall deliver the permit to the applicant and shall notify the Director of Public Services that the permit has been issued.

SECTION 3 – REQUEST TO COMMENCE WORK

- A. Any person, firm, or corporation to whom an annual blanket permit has been issued shall apply to the Director of Public Services for permission to commence work pursuant to the annual blanket permit by submitting a request to commence work on the forms provided by this purpose. Such request to commence work shall be submitted in accordance with applicable provisions of Chapter 30.
- B. Each request to commence work shall be reviewed by the Director of Public Services to determine its compliance with the provisions of Chapter 30, these rules and regulations, and the annual blanket permit. The Director shall notify the following persons and shall provide them an opportunity to comment upon the request to commence work: Director of Utilities, Police Chief, Fire Chief, and City Forester.
- C. If, in the opinion of the Director, the request to commence work is in compliance with the applicable provisions of Chapter 30, these rules and regulations, and the annual blanket permit, then he shall approve the request and notify the applicant of such approval. If the request is not in compliance, then the request shall be denied and the applicant shall have the opportunity to submit a request to commence work which is in compliance. The Director may permit the applicant to submit additional information or to revise information previously submitted so as to cause the application to comply with Chapter 30 and these rules and regulations.

SECTION 4 – STREET CLOSINGS AND STREET OCCUPANCIES

- A. If an application or request to commence work approved pursuant to these rules and regulations requires the closing of a street to vehicular traffic, then the applicant shall notify the Chief of Police not less than twenty-four (24) hours prior to commencing the work which will necessitate the closing of the street of the dates and times when such street is required to be closed.
- B. Streets shall be closed only pursuant to directives issued by the Chief of Police in accordance with the provisions of the Uniform Traffic Code and shall be evidenced by temporary traffic control orders and/or by the Police Chief's endorsement on the permit, or, in the case of an annual blanket permit, on the request to commence work form.
- C. The Director may issue permits for the temporary occupancy or use of portions of the street right-of-way when such occupancy or use does not significantly impair the utilization of such right-of-way for vehicular or pedestrian traffic or when such occupancy or use is for a short duration. In reviewing applications for such permits, the Director shall consider the public safety and aesthetic considerations associated with such occupancy or use as well as the public benefit which such occupancy or use provides. If such occupancy or use involves a significant restriction on vehicular traffic, other than closing, the permit, or, in the case of an annual blanket permit, the request to commence work form, shall be endorsed by the Police Chief prior to issuance.

SECTION 5 – STREET OPENINGS AND RIGHT-OF-WAY CONSTRUCTION

- A. It shall be the responsibility of the applicant to contact "Miss Dig" prior to commencing any construction activities within the right-of-way so that all public utilities and other facilities can be located.
- B. It shall be the responsibility of the applicant to provide all necessary warning signs, barricades, flagmen and the like in accordance with the current Manual on Uniform Traffic Control Devices (MUTCD) Part 6 to insure that the public is safe from injury or damage to vehicles as a result of the construction activities.
- C. The applicant, upon completion of any construction, shall restore the right-of-way areas to a condition which is as good as or better than the condition which existed prior to the commencement of construction activities.
- D. The applicant shall provide and place the necessary sheeting, shoring and bracing required to prevent caving, loss or settlement of foundation material supporting the pavement, or any other street installation such as sewers, culverts, etc. the applicant shall assume the full responsibility for this protection and shall not proceed with construction or excavation activities prior to receiving the approval of the Department of Public Services for the methods to be used. The applicant shall dispose of all surplus or unsuitable material outside of the limits of the streets.
- E. All trenches, holes and pits shall be filled with gravel, placed in successive layers not more than nine inches in depth, loose measure, and each layer shall be thoroughly compacted by mechanical tamping. Restoration shall be such that it will provide a condition equal to or better than the original condition.
- F. Street openings will be properly maintained by the applicant until the street surface is replaced.
- G. Bituminous surfaces must be replaced with bituminous materials compacted at a minimum of two lifts. Concrete surfaces must be replaced with concrete materials flush with the existing surface and properly finished.
- H. Materials used in construction, backfilling and repair operations shall comply with the State of Michigan, Department of Transportation specifications. These include the following:
 - 1. Aggregate types for backfilling.....22A and 23
 - 2. Asphalt type for replacement of street surface.....20AA
 - 3. Concrete type for replacement of concrete surface....Type 35P
- I. All vegetative areas shall be restored using top soil which is free of weeds and shall be seeded and protected from erosion.
- J. Street openings shall be made in such manner and with such tools as to produce straight edges. All such openings shall be rectangular in shape unless conditions warrant an irregular shape.

SECTION 6 – SIDEWALK CONSTRUCTION, REPAIR, AND REPLACEMENT

- A. All sidewalk work shall consist of constructing the sidewalk in a single course on a prepared subgrade.
- B. All sidewalks shall project one inch above finished grade and shall slope one quarter inch per foot toward the drainage side. Sidewalks shall be four inches thick except at driveway crossings which shall be six inches thick. Sidewalks shall be a minimum of five feet wide and a maximum of six feet wide. All walks shall meet the requirements of the Americans with Disabilities Act (ADA).
- C. All unstable subgrade material shall be removed and replaced with a minimum of four inches granular material or sand, compacted.
- D. Forms shall be clean and straight, composed of wood or metal. The forms shall be staked to line and grade in a manner that will prevent deflection or settlement. Forms shall be oiled before placing concrete. If the line of the sidewalk conflicts with trees adjacent to the sidewalk, the applicant shall notify the City Forester and Director prior to proceeding with the installation of forms.
- E. The base shall be thoroughly wetted and the concrete deposited thereon to the proper depth. It shall be spaded along the forms compressed and struck-off flush with the top of the forms. The surface shall be floated, edges and joints properly tooled, and finished with a brush to provide a non-slip surface.
- F. The applicant shall insure the use of appropriate materials which shall comply with the following specification:
- G. Expansion joints shall be placed every fifty feet or more often if required to prevent cracking of the sidewalk. Grooved joints a minimum of one-half inch in depth shall be placed every five feet.
- H. Sidewalks and sidewalk ramps shall be constructed in accordance with the standard specifications of the Michigan Department of Transportation (MDOT).
- I. Driveway approaches shall be a minimum of ten feet in width and shall be constructed of concrete a minimum of six inches thick. Expansion joints shall be placed where the approach meets a sidewalk or street. Approaches shall be constructed in accordance with standards provided in Section 6E.

SECTION 7 – INSPECTIONS

- A. It shall be the responsibility of the applicant to contact the Department of Public Services at such times as inspections are required pursuant to these rules and regulations and in accordance with sound construction practices.
- B. At a minimum inspections shall be required at the following times"
 - 1. Sidewalks
 - a) After installing forms and prior to pouring concrete.
 - b) Upon completion of work and restoration of the area.
 - 2. Street Openings
 - a) Prior to commencing backfilling.

- b) Prior to commencing restoration of the street surfaces.
- c) Upon completion of work and restoration of the area.
- 3. Other Construction
 - a) Upon completion of work and restoration of the area.
 - b) At such other times as determined by the Director of Public Services.

SECTION 8 – TREES

- A. The applicant shall not remove, trim, cut roots from, or otherwise damage any tree growing within the street right-of-way without first having obtained the endorsement of the City Forester on the permit or, in the case of an annual blanket permit, on the request to commence work form.
- B. If during the course of any activities conducted pursuant to a permit granted in accordance with these rules and regulations the applicant finds that there is the possibility of interference with trees growing in the street right-of-way, the applicant shall immediately contact the Director of Public Services and the City Forester.

SECTION 9 – INSURANCE AND BONDS

- A. Any applicant proposing to conduct any activities involving construction within the right-of-way of streets in the City of Hillsdale shall provide evidence of liability insurance covering personal injury and property damage in the amount of not less than \$1,000,000 combined single limit. The applicant shall provide an endorsement naming the City of Hillsdale as an additional insured.
- B. The applicant shall keep such insurance in effect during all times that the applicant is conducting activities within the street right-of-ways.
- C. If the applicant is self-insured for personal injury and/or property damage risks, the applicant shall provide documentation of such self-insurance program and shall further agree to indemnify and hold the City harmless from any and all liability arising out of any activities conducted pursuant to the permit.
- D. If an applicant utilizes subcontractors in performing some or all of the work which is covered by a permit, each such subcontractor shall be required to comply with the provisions of this Section.
- E. Pursuant to the provisions of Section 30-37 of the Hillsdale Municipal Code, the Director shall determine the amount of the performance bond or cash deposit which shall be provided by the applicant prior to the issuance of the permit. In no case shall the amount of such performance bond or cash deposit required for a permit for construction activities within the traveled portion of any street be less than \$10,000.
- F. If an applicant provides a blanket bond to cover all bond requirements during a specified period of time, the amount of such bond shall be maintained at least equal to the amount required to satisfy the terms of all permits issued during that period of time.

SECTION 10 – FEES

- A. The following schedule shall be the fees as established for permits issued pursuant to these rules and regulations:

Application fee.....	\$10.00
Annual Blanket Permit.....	\$150.00
Sidewalk under 25 square feet.....	\$25.00
Sidewalk over 25 square feet (includes Terrace Preparation).....	\$75.00
Driveway Approach Permit.....	\$50.00
Street Opening.....	\$100.00
Terrace Preparation.....	\$25.00
Storm Sewer Connection fee.....	\$150.00
Curb Cut/Repair/Extension.....	\$50.00

- B. In addition to the fees indicated above, all work requiring inspections after 3:00 p.m. or on Weekends shall be subject to an additional fee of \$75.00 per hour (Minimum 2 hour charge) or portion thereof with personnel availability.
- C. Traffic control measures may incur additional fees.



July 17th 2023

Chief Scott A. Hephner
Hillsdale Police Department
Hillsdale City Hall
Hillsdale, MI 49242

Dear Chief Hephner:

Hillsdale College would like to request a noise variance on Saturday, September 23rd starting at 6:00 a.m. until 11:30 p.m. for Homecoming activities - which will take place outside of the Roche Sports Complex (located at 201 Oak Street).

If you have any questions, please call me at 517-607-2454, or Ashley Sallows at 517-607-2461.
Thank you for your assistance.

Respectfully submitted,



William Whorley
Senior Director of Security

WW/kbl

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item: Consent Agenda

Subject: Hillsdale College request for Noise Variance

Background:

Hillsdale College requests noise variances for the following annual events.

Friday September 8, 2023 from 6:00 p.m. till 10:00 p.m. for a Concert in the Quad. This will be a live music event between the Chapel and Central Hall.

Friday September 15, 2023 from 7:00 p.m. till midnight for a Garden Party. This will be a live music event in Slayton Arboretum.

Recommendation:

Approval is recommended as these are annual events.

Scott A. Hephner



Chief of Police / Fire Chief

July 13th 2023

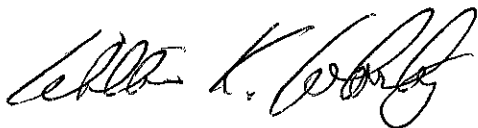
Chief Scott A. Hephner
Hillsdale Police Department
Hillsdale City Hall
Hillsdale, MI 49242

Dear Chief Hephner:

Hillsdale College would like to request a noise variance for Friday, September 8th, 2023 starting at 6:00 p.m. and ending at 10:00 p.m. for a Concert on the Quad. There will be live music in the Quad in front of the Chapel behind Central Hall. Alternate location would be in front of Central Hall between Lane and Kendal. (Located at 33 E. College Street).

If you have any questions, please call me at 517-607-2597

Respectfully submitted,



William K. Whorley
Director of Security

WKW/kbl



July 13th 2023

Chief Scott A. Hephner
Hillsdale Police Department
Hillsdale City Hall
Hillsdale, MI 49242

Dear Chief Hephner:

Hillsdale College would like to request a noise variance for Friday, September 15th, 2023 starting at 7:00 p.m. and ending at 12:00 a.m. for a Garden Party. There will be live music in Slayton Arboretum (located on Barber Drive).

If you have any questions, please call me at 517-607-2597

Respectfully submitted,

William K. Whorley
Director of Security

WKW/kbl

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023
Agenda Item: Consent Agenda
Subject: Request to close parking lot for Children's Event

Background:

The Sozo Church located at 7 S. Manning Street has requested the closure of parking lot B which is located on the south side of this address for a Children's Event. Closure is requested for Saturday August 12, 2023 from 10:00 a.m. till 6:00 p.m. There will be games and activities set up in the parking lot.

Recommendation:

Approval is recommended.

Scott A. Hephner



Chief of Police / Fire Chief

TRAFFIC CONTROL ORDER
2023-34
(Temporary)

Pursuant to the applicable provisions of the Uniform Traffic Code for Cities, Townships, and Villages this traffic control order is hereby issued. All traffic control devices shall comply with mandates set forth according to the Michigan Manual of Uniform Traffic Control Devices as issued by the Michigan Department of Transportation.

Temporary closure of municipal parking lot B located on the south side of Sozo Church, 7 S. Manning St. on Saturday, August 12, 2023 from 10:00 a.m. – 6:00 p.m. for a children’s event related to the church.

This Traffic Control Order shall have immediate effect as a temporary Traffic Control Order and shall become a permanent Traffic Control Order upon approval by the Hillsdale City Council.



Chief of Police

07/26/2023

Date

Received for filing in the office of the City Clerk at _____ p.m. on the _____ day of _____, 2023.

City Clerk

Date

RESOLUTION # _____

IT IS HEREBY RESOLVED that effective immediately the above Traffic Control Order is made permanent.

Passed in open Council this _____ day of _____, 2023.

Adam L. Stockford, Mayor

Attest:

Katy B. Price, City Clerk

Received by In office-SB
 Date 7-24-23
 Amount Rec' _____
 Check # _____
 Permit # 4192



CITY OF HILLSDALE

City Hall
 97 N. Broad St.
 Hillsdale, Michigan 49242
 (517) 437-6490
 www.cityofhillsdale.org

**APPLICATION FOR PERMIT
 OCCUPANCY OF OR WORK WITHIN STREET RIGHT-OF-WAYS**

TYPE:

- APPLICATION FOR PERMIT
- APPLICATION FOR BLANKET ANNUAL PERMIT
- REQUEST TO COMMENCE WORK

**Post a copy of the
 Permit on-site**

Applicant's Name <u>Sozo Church Hillsdale</u>		Date <u>7/20/23</u>		Contractor's Name		Date	
Mailing Address <u>7 S. Manning St.</u>				Mailing Address			
City <u>Hillsdale</u>		State <u>MI</u>		Zip Code <u>49242</u>		Zip Code	
Telephone Number <u>419-551-8116 (Karen Crivello - in charge of the event)</u>				Telephone Number			

DESCRIPTION OF WORK OR USE:
Close municipal parking lot on the south side of the building in order to have a children's event.

LOCATION: (Drawing to be provided)

FACILITIES, STRUCTURES, OR EQUIPMENT TO BE INSTALLED:

There will be some canopies set up along with games + activities

TIME PERIOD:

COMMENCING DATE: Sat. Aug. 12th TIME: 10:00 AM ENDING DATE: Sat. August 12 TIME: 6:00 PM

THE FOLLOWING MUST BE SUBMITTED PRIOR TO PERMIT ISSUANCE:

- Certificate of Insurance - will be emailed directly by Ins. Company
- Performance Bond \$ _____
- Construction Plan
- Subcontractor's Names
- Other

NOTE: THIS APPLICATION BECOMES A VALID PERMIT ONLY UPON APPROVAL BY THE DIRECTOR, DEPARTMENT OF PUBLIC SERVICES AND/OR CHIEF OF CITY POLICE.

Staff Use Only

Recommendation for Issuance

Approved Denied

Director Comments:

Director, Department of Public Services

Recommendation for Issuance

Approved Denied

Chief of Police Comments:



Chief of Police

Bond Received \$ _____

Fee Received \$ _____

City Clerk

Note: All payments must be received and recorded before permit is valid.

Return Application to:
Department of Public Services .
149 Waterworks Drive
Hillsdale, MI 49242
or
City of Hillsdale Clerk
97 N. Broad St.
Hillsdale, MI 49242
or email to: publicservices@cityofhillsdale.org

**INSPECTIONS MUST BE SCHEDULED
MINIMUM 2 HOURS PRIOR TO
COMMENCEMENT OF WORK.**

PROJECT PLAN (Attach additional sheets, as necessary)

Alley behind checkers

~~lot closed~~
~~Entrance to parking~~

Children's Building

Games and activities for children would be in the municipal parking lot, in our parking lot and in the building.

sidewalk

~~closed~~
~~Entrance to parking~~

Sidewalk Sidewalk
S Manning St

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item: Consent

SUBJECT: Parking Lot Closure – Children’s Event

BACKGROUND: Michelle Loren, Recreation Director

SOZO Church Hillsdale submitted a ROW application requesting the closure of Parking Lot B between Bacon and Waldron streets in order to hold a Children’s Event on August 12, 2023. The event is open to the public. There will be various activities, games, and refreshments.

RECOMMENDATION:

I recommend Council approve the agreement and authorize signatures by the Mayor and Clerk.

PARKING LOT CLOSURE AGREEMENT
SOZO Church Hillsdale
Children's Event

This Agreement is made and entered between the City of Hillsdale, a Michigan municipal corporation, of Hillsdale, Michigan (Hillsdale) and SOZO Church Hillsdale, 7 S. Manning Street, Hillsdale, Michigan 49242.

Preamble

Hillsdale controls the usage of local streets and parking lots within its jurisdiction. Among other governmental functions, Hillsdale seeks to promote the use of its streets and parking lots for the use and benefit of its citizens and the general public.

At various times, functions are proposed that involve the use of a portion of a public street/parking lot to which Hillsdale's citizens, as well as the public at large, are invited and encouraged to attend. In such instances, when Hillsdale determines that the proposed activity will inure to the economic, cultural and general benefit of its citizens and of the community at large, it has endeavored to cooperate with the activity's sponsor/promoter. In doing so, Hillsdale is concerned with regulating the use of its streets and parking lots so as to reasonably assure that they are not used in a manner that exposes persons attending activities as are allowed to take place in or on any portion of its public streets/parking lots to unreasonable risks of harm, as well as to assure that no damage is done to its street facilities.

SOZO Church Hillsdale desires to sponsor and promote an event to which the general public is invited that will provide food and non-alcoholic drink concessions, games, and other activities. The event is proposed to take place in the City of Hillsdale Parking Lot B, south of SOZO Church Hillsdale between Bacon and Waldron Streets on Saturday, August 12, 2023, with the cleanup activities to be conducted and finalized within a specified period following the end of the event.

SOZO Church Hillsdale has represented that it is a responsible organization and that it has created appropriate regulations and policies by which it will regulate participants in the event it proposes to promote and sponsor. SOZO Church Hillsdale also represents that participation in its event is and will be open to all on a nondiscriminatory basis.

Hillsdale has determined that it is in its best interests and the interests of the general public to allow SOZO Church Hillsdale to use Parking Lot B south of SOZO Church Hillsdale between Bacon and Waldron Streets as the site from which it may conduct its proposed event, and SOZO Church Hillsdale has agreed to do so, all in accordance with the following terms and conditions.

Agreement

1. In consideration of and reliance on SOZO Church Hillsdale's promises and its full compliance with all of the terms and conditions contained in this agreement, Hillsdale agrees to allow SOZO Church Hillsdale to use the following portions of its streets during specified periods on Saturday, August 12, 2023 for the purpose of preparing for and conducting its proposed event and related activities for the use, benefit and enjoyment of the general public during the stated hours and to thereafter to restore said parking lot to a condition fit for public travel that is at least as good as when taken, all as hereinafter provided:

- a. City Parking Lot B, behind SOZO Church Hillsdale, between Bacon and Waldron Streets beginning at 10:00 a.m. and ending at 6:00 p.m. on Saturday, August 12, 2023 as a staging area for the purpose of transporting, erecting,

installing and removing equipment, tents, signs, tables, chairs, food, beverages, concessions, and other facilities as are reasonably required to conduct the proposed event and related activities in Parking Lot B, provided, however, that all event activities shall cease on or before 6:00 p.m. on Saturday, August 12, 2023.

2. Hillsdale further agrees that it shall temporarily close City Parking Lot B, south of SOZO Church Hillsdale between Bacon and Waldron Streets to vehicular traffic on Saturday, August 12, 2023 pursuant to ROW. Permit No. 4192 and TCO No. 2023-34 passed by Hillsdale City Council on August 7, 2023 between the hours set forth for each area in subparagraphs a and b of paragraph 1 of this agreement.

3. SOZO Church Hillsdale agrees to and shall be solely responsible for obtaining, posting and paying the fees for all applicable and necessary permits, including but not limited to those that might be required by the health department, the posting of signs, as well as any rule, regulations and requirements others that might be required by any state, county or local statute, ordinance, rule or regulation.

4. SOZO Church Hillsdale further agrees that it shall be solely responsible for obtaining, arranging for and providing all staff, equipment, tents, signs, tables, chairs, port-a-johns, food, beverages, provisions, supplies, goods, entertainment, concessions and other facilities as it or an applicable governmental agency determines necessary to provide for and to the general public in connection with its proposed event, all at its sole expense.

5. SOZO Church Hillsdale agrees that immediately following the end of the event and at its sole expense, it shall promptly remove or cause the removal all equipment, tents, signs, tables, chairs, trash, litter and other items from Parking Lot B, and properly store them in SOZO Church Hillsdale' parking lot pending their removal from the site in accordance with the schedule hereinafter provided. SOZO Church Hillsdale shall notify the Hillsdale City Police and secure its permission to open the parking lot to vehicular traffic before removing the barricades Hillsdale's Police Department placed to block the described portion of Parking Lot B from the public's vehicular use. Hillsdale's barricades, when removed, shall be placed out of the main traveled portion of the parking lot adjacent to the curbs until returned to Hillsdale Department of Public Services on Monday, August 14, 2023.

6. SOZO Church Hillsdale further agrees that the removal of all equipment, signs, tables, chairs, trashcans, trash, litter and other items from Parking Lot B and the restoration of the entire area occupied or used by it to be swept and in tidy condition and shall be completed not later than 6:00 p.m., Saturday, August 12, 2023.

7. SOZO Church Hillsdale agrees to abide by all applicable statutes, ordinances, rules and regulations pertaining to it and to all provisions of this agreement during its occupancy and use of the described portion of Parking Lot B.

8. SOZO Church Hillsdale acknowledges that there are no public restroom facilities at the site during the time of the scheduled event. Accordingly, SOZO Church Hillsdale represents and agrees that, at its sole expense and as a condition precedent to the commencement of its event, it will provide and have in place portable restroom facilities that comply with all applicable health and sanitation codes for its scheduled event in full working order and sufficient quantity to accommodate the needs of its participants and the general public.

9. SOZO Church Hillsdale agrees that no attachments for tents or any other facilities will be made to any paved surfaces within any portion of Parking Lot B or rights of way that would cause holes or other damage to the pavement without the prior written consent of the Director of Hillsdale's Department of Public Streets.

10. SOZO Church Hillsdale agrees that it shall not permit any street, alley, or adjacent lots other than the described portion of Parking Lot B to be blocked or obstructed. Further, SOZO Church Hillsdale agrees to and shall confine its proposed event activities solely to Parking Lot B.

11. SOZO Church Hillsdale agrees and understands that it, at its sole expense, is and shall be solely responsible for the repair and restoration of all damage to private or public property that results from or because of SOZO Church Hillsdale's proposed event, whether real or personal, and to leave the premises in a condition equal to or better than existed prior to its use, free from all garbage, trash or other items.

12. SOZO Church Hillsdale represents that it is a valid Michigan organization and further represents that it possesses or will obtain and provide persons with the skill, experience, competence and financial ability to carry out and fulfill all of its duties and obligations under this contract in a timely and professional manner.

13. SOZO Church Hillsdale further represents and covenants that it does not discriminate against any employee, applicant for employment, and shall not discriminate against any general public that will participate in the event it is staging under this agreement or any other member of the public because of race, color, religion, national origin, age, height, weight, marital status or other legally protected class. It is understood and agreed by and between the parties that breach of this covenant may be regarded as a material breach of this agreement.

14. SOZO Church Hillsdale shall provide City with proof of public liability and property damage insurance with coverage that is satisfactory to Hillsdale and limits of liability of not less than a single limit of Five Hundred Thousand and 00/100 (\$500,000.00) Dollars, with City designated therein as a named insured to be and remain in force for the duration of SOZO Church Hillsdale's presence on and use of Hillsdale's street such proof to be provided at the time of execution of this Agreement.

15. SOZO Church Hillsdale shall carry and provide all workers' compensation insurance coverage at its sole expense for its employees as is required by the laws of the State of Michigan and provide proof thereof to Hillsdale prior to the commencement of any work under this contract.

16. SOZO Church Hillsdale represents to Hillsdale that it intends to use the described area for the purpose of providing food, non-alcoholic beverages, entertainment and other similar activities, and that the consumption or possession of alcoholic beverages within the described area will not be permitted. In reliance on SOZO Church Hillsdale's representations and its other promises, as contained in this agreement, Hillsdale hereby grants and SOZO Church Hillsdale hereby accepts the exclusive control over the described portion of City Parking Lot B and the activities therein, it being the intention of the parties that SOZO Church Hillsdale is and shall be solely responsible for maintaining the described areas and regulating all activities therein so as to keep them in reasonably safe condition, free of unreasonable risk of harm, for the use and benefit

of the general public and others using or within said area or any of its facilities, products or activities.

17. SOZO Church Hillsdale further agrees to and shall defend, indemnify and hold Hillsdale harmless from any and all damages, claims, demands, causes of action, lawsuits, attorney fees and related expenses, as a result of actual or claimed personal injury, including death, property damage or other damage or loss of any kind or nature which are or are claimed to be a proximate result of:

a. The negligence, gross negligence or intentional acts or omissions of SOZO Church Hillsdale, its agents, servants, employees, guests, vendors, invitees, event participants or event attendees which arise or are claimed to have arisen as a result or because of SOZO Church Hillsdale proposed event, its associated activities and events; or

b. The negligence, gross negligence or intentional acts or omissions of SOZO Church Hillsdale, its agents, servants, employees, guests, vendors, invitees, event participants or event attendees in the use of or defects in the areas described in the attached Exhibit A, or the equipment, tents, signs, tables, chairs, or other facilities placed or used by SOZO Church Hillsdale or any of agents, servants, employees, guests, vendors, invitees, event participants or event attendees;

c. All such damages or injuries, including death, are whether caused in part by the negligence of Hillsdale, its employees, agents, servants, or representatives; provided, however, that SOZO Church Hillsdale shall not be obligated to indemnify Hillsdale for any damages or injuries, including death, caused by or resulting from the sole negligence of Hillsdale.

18. SOZO Church Hillsdale agrees that any and all documents provided to Hillsdale under this agreement are subject to disclosure and hereby expressly consents to Hillsdale's reproduction and release of such documents in response to a request under the Freedom of Information Act.

19. SOZO Church Hillsdale agrees that Hillsdale may immediately terminate this contract without further obligation or liability to SOZO Church Hillsdale at its option and without prejudice to any other remedies to which it might be entitled, whether in law, in equity or under this contract, by giving written notice of termination to SOZO Church Hillsdale if the latter should:

- (a) be adjudged bankrupt;
- (b) become insolvent or have a receiver of its assets appointed;
- (c) make a general assignment for the benefit of creditors;
- (d) default in the performance of any obligation under this contract;
- (e) breach any covenant under this contract;
- (f) institute or suffer to be instituted any procedures for reorganization of its affairs;
- (g) fail to perform any of its obligations to Hillsdale under this contract to Hillsdale's satisfaction.

Provided, however, that SOZO Church Hillsdale' indemnification, defense, hold harmless and insurance coverage agreements shall survive any such termination.

Notice of termination pursuant to the forgoing provisions shall be provided to SOZO Church Hillsdale in writing and shall be delivered by ordinary first class mail or personal service to the following person at the following address: SOZO Church Hillsdale, 45 N. Manning St., Hillsdale, Michigan 49242.

20. All notices from SOZO Church Hillsdale to Hillsdale shall be in writing and shall be delivered by ordinary first class mail or personal service to the following person at the following address: David Mackie, Hillsdale City Manager, 97 N. Howell Street, Hillsdale, Michigan 49242.

21. The parties agree that there are no other representations, inducements, promises or agreements between them, whether oral or written.

21. This Agreement shall be governed and construed in accordance with the laws of the State of Michigan. Hillsdale and SOZO Church Hillsdale further agree that in the event of legal action arising from or as a result of this Agreement or its breach, venue and jurisdiction for such action shall be in the Hillsdale County Circuit Court or in the District Court located within the County of Hillsdale, Michigan, whichever has subject matter jurisdiction over any such dispute.

CITY OF HILLSDALE

SOZO CHURCH HILLSDALE

Adam Stockford, Mayor

Karen Crivello

Dated: August ____, 2023

Dated: August ____, 2023

Katy Price, Clerk

Dated: August ____, 2023



2023 July Board of Review – Minutes
Per MCL 211.53b

Call to Order and Pledge of Allegiance

The 2023 July meeting of the City of Hillsdale Board of Review was called to order at 9:02 a.m., Tuesday, July 18, 2023 by Chair Laycock. The Pledge of Allegiance was recited. Attendance was in person in the Hillsdale City Hall Conference Room (2nd Floor), 97 North Broad Street, Hillsdale, Michigan 49242.

Roll Call

Roll was taken by Secretary Jaeger.

Present:

- D Kerry Laycock, Chair
- Becki Jaeger, Secretary
- Dennis Wainscott, Regular Member
- Kimberly Thomas, MAAO, Assessor (Advisory only – Not a voting member)
- Olivia C. Smith, MCAO, Appraiser (Clerical – Not a voting member)

Absent:

- Jeffrey Cooley, Alternate – Excused
- Vacant, Alternate

Approval of Agenda

Motion by Jaeger to approve the agenda as presented. Second by Wainscott. Motion carried unanimously to approve the agenda as presented.

Public Comment on Agenda Items

None – No public present

Consent Agenda

Motion by Jaeger to approve the minutes of the 2023 March Board of Review. Second by Wainscott. Motion carried by unanimous vote.

Assessor Thomas forwarded, by email, all State Tax Commission (STC) bulletins as they were published.

Communications & Petitions

J23-001 – 006-334-210-04 – 12 W Lynwood Blvd

Clerical Error (MCL 211.53b(6)(a) – 2023

Motion by Jaeger to approve the correction of the clerical error. Second by Wainscott. Motion carried by unanimous vote.

J23-002 – 006-222-800-24 – 2856 W Carleton Rd 024

Taxable Status (MCL 211.53b(6)(f) – 2023

Motion by Laycock to approve the correction of the taxable status. Second by Wainscott. Motion carried by unanimous vote.

J23-003 – 006-222-800-27 – 2856 W Carleton Rd 027

Taxable Status (MCL 211.53b(6)(f) – 2023

Motion by Laycock to approve the correction of the taxable status. Second by Wainscott. Motion carried by unanimous vote.

J23-004 – 006-900-136-81 – 115 S Broad St

Error by Taxpayer in Preparing Personal Property Statement (MCL 211.53b(6)(g) – 2022

Motion by Laycock to adjust the 2022 assessment based on the amended personal property statement. Second by Wainscott. Motion carried by unanimous vote.

J23-005 – 006-900-136-81 – 115 S Broad St

Error by Taxpayer in Preparing Personal Property Statement (MCL 211.53b(6)(g) – 2023

Motion by Laycock to adjust the 2023 assessment based on the amended personal property statement. Second by Wainscott. Motion carried by unanimous vote.

J23-006 – 006-327-480-22 – 116 S Howell St

Disabled Veterans Exemption (MCL 211.7b) – 2023

Motion by Jaeger to approve the exemption. Second by Wainscott. Motion carried by unanimous vote.

J23-007 – 006-334-126-06 – 180 Reading Ave

Disabled Veterans Exemption (MCL 211.7b) – 2023

Motion by Jaeger to approve the exemption. Second by Wainscott. Motion carried by unanimous vote.

J23-008 – 006-900-487-00 – 30 N Howell St

Error by Taxpayer in Preparing Personal Property Statement (MCL 211.53b(6)(g) – 2023

Motion by Jaeger to deny the adjustment to the 2023 assessment. Second by Laycock. Motion carried by unanimous vote.

J23-009 – 006-900-503-00 – 3224 W Carleton Rd Ste A

Error by Taxpayer in Preparing Personal Property Statement (MCL 211.53b(6)(g) – 2023

Motion by Jaeger to adjust the 2023 assessment based on the amended personal property statement. Second by Laycock. Motion carried by unanimous vote.

J23-010 – 006-900-494-00 – 124 Reading Ave

Error by Taxpayer in Preparing Personal Property Statement (MCL 211.53b(6)(g) – 2023

Motion by Laycock to adjust the 2023 assessment based on the amended personal property statement. Second by Jaeger. Motion carried by unanimous vote.

Old Business

None

New Business (Not including petitions)

None

Assessor Report

Audit – all required documents have been submitted. No response from auditor at this time. In progress.

MTT Appeals – Three (3) petitions currently pending. One (1) residential petition from an exemption denial by the 2023 March Board of Review and two (2) commercial petitions that filed directly with the MTT.

STC Appeals – None

General Public Comment

Sara Yacks, Owner of Elbows of Love – entered the meeting during Old Business. Briefly commented.

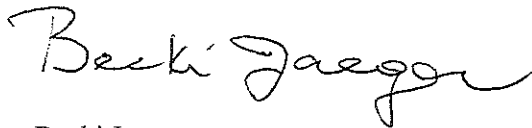
Tim Lindley, Co-Owner of 37 Waldron St & 37.5 & Quality PC Repairs & Service – entered the meeting prior to General Public Comment being opened. Briefly commented.

Recess

Recess was called by Chair Laycock at 9:56 a.m.

The December meeting of the Board of Review is tentatively scheduled for Tuesday, December 12, 2023 at 9:00 a.m.

Respectfully submitted,

A handwritten signature in cursive script that reads "Becki Jaeger". The signature is written in black ink and is positioned above the printed name and title.

Becki Jaeger
Board of Review Secretary

Year	Parcel Number	Comments	Petition	Class	School	Assessed Value	Taxable Value	PRE/MBT	Transfer	Corrected Assessed Value	Corrected Taxable Value	Corrected PRE/MBT EX	Corrected Transfer
2023	006-222-800-24	ASSESSED IN ERROR - MOBILE HOME IN LICENSED PARK EXEMPT UNDER MCL 125.1041	J23-002	410	30020	1,700	1,700	0.000	0.000	0	0	0.000	0.000
HILLSDALE MHP LLC 2856 W CARLETON RD 024 HILLSDALE, MI 49242 83 GENEVA DR UNIT 620130 OVIEDO, FL 32762													
2023	006-222-800-27	ASSESSED IN ERROR - MOBILE HOME IN LICENSED PARK EXEMPT UNDER MCL 125.1041	J23-003	410	30020	4,700	4,700	0.000	0.000	0	0	0.000	0.000
DRYER, JASMINE M 2856 W CARLETON RD 027 HILLSDALE, MI 49242 2856 W CARLETON RD 27 HILLSDALE, MI 49242													
2023	006-327-480-22	DISABLED VETERANS EXEMPTION AFFIDAVIT SUBMITTED W/ LETTER 07/05/2023	J23-006	401	30020	110,900	41,644	100.000	0.000	0	0	100.000	0.000
STACK, RICHARD B & SUSAN L 116 S HOWELL ST HILLSDALE, MI 49242 116 S HOWELL ST HILLSDALE, MI 49242													
2023	006-334-126-06	DISABLED VETERANS EXEMPTION APPROVED	J23-007	401	30020	73,700	34,453	100.000	0.000	0	0	100.000	0.000
THORP, MICHAEL W & DEBORAH D 180 READING AVE HILLSDALE, MI 49242 180 READING AVE HILLSDALE, MI 49242													
2023	006-334-210-04	NEW/ADDITIONS IN ERROR	J23-001	401	30020	80,200	50,232	100.000	0.000	80,200	50,114	100.000	0.000
SMITH, MARTHA J 12 W LYNWOOD BLVD HILLSDALE, MI 49242 12 W LYNWOOD BLVD HILLSDALE, MI 49242													
2023	006-900-136-81	AMENDED PERSONAL PROPERTY STATEMENT	J23-005	251	30020	90,000	90,000	100.000	0.000	7,800	7,800	100.000	0.000
AMENDED PERSONAL PROPERTY STATEMENT HILLSDALE AUCTION 115 S BROAD ST HILLSDALE, MI 49242 1625 E MONTGOMERY RD HILLSDALE, MI 49242													
2022	006-900-136-81	AMENDED PERSONAL PROPERTY STATEMENT	J23-004	251	30020	40,000	40,000	100.000	0.000	7,800	7,800	100.000	0.000

Revised by Assessor

Year Parcel Number

Comments	Petition	Class	School	Assessed Value	Taxable Value	PRE/MBT	Transfer	Corrected Assessed Value	Corrected Taxable Value	Corrected PRE/MBT	Corrected EX	Corrected Transfer
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2023 006-900-487-00	J23-008	251	30020	90,000	90,000	100.000	0.000	90,000	90,000	100.000		0.000
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OWNER CLAIMING INVENTORY ONLY. SHELVING BELONGS TO BUILDING OWNER (LEFT BY PREVIOUS OWNER - NASH DRUGS). DENIED BY BOARD OF REVIEW - ONLINE PICTURES SHOW ADDITIONAL FURNITURE, COMPUTER, ETC...

MICHIGAN KIQS
30 N HOWELL ST 24 HILLSDALE, MI 49242
30 N HOWELL ST STE 24 HILLSDALE, MI 49242

2023 006-900-494-00	J23-010	251	30020	90,000	90,000	100.000	0.000	6,900	6,900	100.000		0.000
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AMENDED PERSONAL PROPERTY STATEMENT
LITTLE GIGGLES DAYCARE CENTER LLC
124 READING AVE HILLSDALE, MI 49242
124 READING AVE HILLSDALE, MI 49242

2023 006-900-503-00	J23-009	251	30020	90,000	90,000	100.000	0.000	6,100	6,100	100.000		0.000
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AMENDED PPS
SCRUFF TO FLUFF GROOMING PARLOR LLC
3224 W CARLETON RD A HILLSDALE, MI 49242
3224 W CARLETON RD STE A HILLSDALE, MI 49242

198,800 168,714

*Winter PRE Change

THE BOARD OF REVIEW OF CITY OF HILLSDALE, HILLSDALE COUNTY, MICHIGAN HEREBY AFFIRMS THAT THE ABOVE INFORMATION IS CORRECT TO THE BEST OF OUR KNOWLEDGE

Signatures of Board of Review Members

Member _____ Member _____ Member _____ Member _____ Member _____

Dated 7/19/23

Kimberly Thomas, Assessor

J23-009 Corrected to match Affidavit signed by Board of Review.

Revised by Assessor

Year	Parcel Number	Comments	Petition	Class	School	Assessed Value	Taxable Value	PRE/MBT	Transfer	Corrected Assessed Value	Corrected Taxable Value	Corrected PRE/MBT EX	Corrected Transfer
2023	006-222-800-24	ASSESSED IN ERROR - MOBILE HOME IN LICENSED PARK EXEMPT UNDER MCL 125.1041	J23-002	410	30020	1,700	1,700	0.000	0.000	0	0	0.000	0.000
HILLSDALE MHP LLC 2856 W CARLETON RD 024 HILLSDALE, MI 49242 83 GENEVA DR UNIT 620130 OVIEDO, FL 32762													
2023	006-222-800-27	ASSESSED IN ERROR - MOBILE HOME IN LICENSED PARK EXEMPT UNDER MCL 125.1041	J23-003	410	30020	4,700	4,700	0.000	0.000	0	0	0.000	0.000
DRYER, JASMINE M 2856 W CARLETON RD 027 HILLSDALE, MI 49242 2856 W CARLETON RD 27 HILLSDALE, MI 49242													
2023	006-327-480-22	DISABLED VETERANS EXEMPTION AFFIDAVIT SUBMITTED W/ LETTER 07/05/2023	J23-006	401	30020	110,900	41,644	100.000	0.000	0	0	100.000	0.000
STACK, RICHARD B & SUSAN L 116 S HOWELL ST HILLSDALE, MI 49242 116 S HOWELL ST HILLSDALE, MI 49242													
2023	006-334-126-06	DISABLED VETERANS EXEMPTION APPROVED	J23-007	401	30020	73,700	34,453	100.000	0.000	0	0	100.000	0.000
THORP, MICHAEL W & DEBORAH D 180 READING AVE HILLSDALE, MI 49242 180 READING AVE HILLSDALE, MI 49242													
2023	006-334-210-04	NEW/ADDITIONS IN ERROR	J23-001	401	30020	80,200	50,232	100.000	0.000	80,200	50,114	100.000	0.000
SMITH, MARTHA J 12 W LYNWOOD BLVD HILLSDALE, MI 49242 12 W LYNWOOD BLVD HILLSDALE, MI 49242													
2023	006-900-136-81	AMENDED PERSONAL PROPERTY STATEMENT	J23-005	251	30020	90,000	90,000	100.000	0.000	7,800	7,800	100.000	0.000
2022	006-900-136-81	AMENDED PERSONAL PROPERTY STATEMENT	J23-004	251	30020	40,000	40,000	100.000	0.000	7,800	7,800	100.000	0.000
HILLSDALE AUCTION 115 S BROAD ST HILLSDALE, MI 49242 1625 E MONTGOMERY RD HILLSDALE, MI 49242													

07/18/2023
09:43 AM

2023 July BOR Change Summary

Page: 2/2
DB: 2024

Year	Parcel Number	Comments	Petition	Class	School	Assessed Value	Taxable Value	PRE/MBT	Transfer	Corrected Assessed Value	Corrected Taxable Value	Corrected PRE/MBT	Corrected EX	Corrected Transfer
2023	006-900-487-00	OWNER CLAIMING INVENTORY ONLY. SHELVING BELONGS TO BUILDING OWNER (LEFT BY PREVIOUS OWNER - NASH DRUGS). DENIED BY BOARD OF REVIEW - ONLINE PICTURES SHOW ADDITIONAL FURNITURE, COMPUTER, ETC...	J23-008	251	30020	90,000	90,000	100.000	0.000	90,000	90,000	100.000		0.000
MICHIGAN KIQS 30 N HOWELL ST 24 HILLSDALE, MI 49242 30 N HOWELL ST STE 24 HILLSDALE, MI 49242														
2023	006-900-494-00	AMENDED PERSONAL PROPERTY STATEMENT LITTLE GIGGLES DAYCARE CENTER LLC 124 READING AVE HILLSDALE, MI 49242 124 READING AVE HILLSDALE, MI 49242	J23-010	251	30020	90,000	90,000	100.000	0.000	6,900	6,900	100.000		0.000
2023	006-900-503-00	AMENDED PPS SCRUFF TO FLUFF GROOMING PARLOR LLC 3224 W CARLETON RD A HILLSDALE, MI 49242 3224 W CARLETON RD STE A HILLSDALE, MI 49242	J23-009	251	30020	90,000	90,000	100.000	0.000	13,982	13,982	100.000		0.000
										206,682	176,596			
										198,800	168,714			

See Affidavit

*Winter PRE Change

THE BOARD OF REVIEW OF CITY OF HILLSDALE, HILLSDALE COUNTY, MICHIGAN HEREBY AFFIRMS THAT THE ABOVE INFORMATION IS CORRECT TO THE BEST OF OUR KNOWLEDGE

Signatures of Board of Review Members

Member *Douglas Lyle* Member *Becki Joeger* Member *Don Vant* Member _____

Dated July 18, 2023

July/December Board of Review Affidavit

Issued under authority of P.A. 206 of 1893. Filing is mandatory.

Petition/Docket #: J23-001

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year; which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7j(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name SMITH, MARTHA J				
Owner Street Address 12 W LYNWOOD BLVD		City HILLSDALE	State MI	ZIP Code 49242
Parcel Number 30-006-334-210-04		Property School District HILLSDALE COMM PUBLIC S	Property Classification 401	
Property Street Address 12 W LYNWOOD BLVD		City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	80,200	80,200	0
Taxable Value	07/19/2022	50,232	50,114	-118
P.R.E.		100.00 %	100.00 %	0.00 %
Property Class		401		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

- Poverty Exemption Qualified Agricultural Exemption Disabled Veterans Exemption
 Qualified Forest Exemption Eligible Development Property Exemption Qualified Error Capped Value Calculation error

Explanation: NEW/ADDITIONS IN ERROR

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear to affirm the above information is, to the best of our knowledge, true.

Signature 	Date <u>7/18, 2023</u>
Signature	Date
Signature	Date

Signature 	Date <u>7-18-23</u>
Signature 	Date <u>7/18/23</u>
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

July/December Board of Review Affidavit

Issued under authority of P.A. 206 of 1893. Filing is mandatory.

Petition/Docket #: J23-002

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year; which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7j(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name HILLSDALE MHP LLC			
Owner Street Address 83 GENEVA DR UNIT 620130	City OVIEDO	State FL	ZIP Code 32762
Parcel Number 30-006-222-800-24	Property School District HILLSDALE COMM PUBLIC S	Property Classification 410	
Property Street Address 2856 W CARLETON RD 024	City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	1,700	0	-1,700
Taxable Value	07/19/2022	1,700	0	-1,700
P.R.E.		0.00 %	0.00 %	0.00 %
Property Class		410		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

Poverty Exemption
 Qualified Agricultural Exemption
 Disabled Veterans Exemption
 Qualified Forest Exemption
 Eligible Development Property Exemption
 Qualified Error Status

Explanation: ASSESSED IN ERROR - MOBILE HOME IN LICENSED PARK EXEMPT UNDER MCL 125.1041

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear to affirm the above information is, to the best of our knowledge, true.

Signature 	Date <u>5/18, 2023</u>
Signature	Date
Signature	Date

Signature 	Date <u>7-18-23</u>
Signature 	Date <u>7/18/23</u>
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1)) .

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

05/09/2023 07:56 AM

July/December Board of Review Affidavit

Issued under authority of P.A. 206 of 1893. Filing is mandatory.

Petition/Docket #: J23-003

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year; which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7j(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name DRYER, JASMINE M			
Owner Street Address 2856 W CARLETON RD 27	City HILLSDALE	State MI	ZIP Code 49242
Parcel Number 30-006-222-800-27	Property School District HILLSDALE COMM PUBLIC S	Property Classification 410	
Property Street Address 2856 W CARLETON RD 027	City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	4,700	0	-4,700
Taxable Value	07/19/2022	4,700	0	-4,700
P.R.E.		0.00 %	0.00 %	0.00 %
Property Class		410		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

- Poverty Exemption Qualified Agricultural Exemption Disabled Veterans Exemption
 Qualified Forest Exemption Eligible Development Property Exemption Qualified Error Status

Explanation: ASSESSED IN ERROR - MOBILE HOME IN LICENSED PARK EXEMPT UNDER MCL 125.1041

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear of affirm the above information is, to the best of our knowledge, true.

Signature 	Date <u>July 18 2023</u>
Signature	Date
Signature	Date

Signature 	Date <u>7-18-23</u>
Signature 	Date <u>7/18/23</u>
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

July/December Board of Review Affidavit

Issued under authority of P.A. 206 of 1893. Filing is mandatory.

Petition/Docket #: J23-004

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year, which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7j(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name HILLSDALE AUCTION			
Owner Street Address 1625 E MONTGOMERY RD	City HILLSDALE	State MI	ZIP Code 49242
Parcel Number 30-006-900-136-81	Property School District HILLSDALE COMM PUBLIC S	Property Classification 251	
Property Street Address 115 S BROAD ST	City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	40,000	7,800	-32,200
Taxable Value	07/18/2023	40,000	7,800	-32,200
P.R.E.		100.00 %	100.00 %	0.00 %
Property Class		251		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

- Poverty Exemption
 Qualified Agricultural Exemption
 Disabled Veterans Exemption
 Qualified Forest Exemption
 Eligible Development Property Exemption
 Qualified Error Amended PPS

Explanation: AMENDED PERSONAL PROPERTY STATEMENT

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear of affirm the above information is, to the best of our knowledge, true.

Signature 	Date <u>7/18/2023</u>
Signature	Date
Signature	Date

Signature 	Date <u>7-18-23</u>
Signature 	Date <u>7/18/23</u>
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

July/December Board of Review Affidavit

Issued under authority of P.A. 206 of 1893. Filing is mandatory.

Petition/Docket #: J23-005

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year; which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7j(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name HILLSDALE AUCTION			
Owner Street Address 1625 E MONTGOMERY RD	City HILLSDALE	State MI	ZIP Code 49242
Parcel Number 30-006-900-136-81	Property School District HILLSDALE COMM PUBLIC S	Property Classification 251	
Property Street Address 115 S BROAD ST	City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	90,000	7,800	-82,200
Taxable Value	07/18/2023	90,000	7,800	-82,200
P.R.E.		100.00 %	100.00 %	0.00 %
Property Class		251		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

Poverty Exemption Qualified Agricultural Exemption Disabled Veterans Exemption
 Qualified Forest Exemption Eligible Development Property Exemption Qualified Error Amended PPS

Explanation: AMENDED PERSONAL PROPERTY STATEMENT

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear of affirm the above information is, to the best of our knowledge, true.

Signature 	Date <u>July 18, 2023</u>
Signature	Date
Signature	Date

Signature 	Date <u>7-18-23</u>
Signature 	Date <u>7/18/23</u>
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

July/December Board of Review Affidavit

Issued under authority of P.A. 206 of 1893. Filing is mandatory.

Petition/Docket #: J23-006

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year; which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7j(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name STACK, RICHARD B & SUSAN L			
Owner Street Address 116 S HOWELL ST	City HILLSDALE	State MI	ZIP Code 49242
Parcel Number 30-006-327-480-22	Property School District HILLSDALE COMM PUBLIC S	Property Classification 401	
Property Street Address 116 S HOWELL ST	City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	110,900	0	-110,900
Taxable Value	07/18/2023	41,644	0	-41,644
P.R.E.		100.00 %	100.00 %	0.00 %
Property Class		401		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

- Poverty Exemption
 Qualified Agricultural Exemption
 Disabled Veterans Exemption
 Qualified Forest Exemption
 Eligible Development Property Exemption
 Qualified Error _____

Explanation: DISABLED VETERANS EXEMPTION AFFIDAVIT SUBMITTED W/ LETTER 07/05/2023

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear of affirm the above information is, to the best of our knowledge, true.

Signature 	Date <u>July 18, 2023</u>
Signature	Date
Signature	Date

Signature 	Date <u>7-18-23</u>
Signature 	Date <u>7/18/23</u>
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

July/December Board of Review Affidavit

Issued under authority of P.A. 208 of 1893. Filing is mandatory.

Petition/Docket #: J23-007

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year; which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7jj(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name THORP, MICHAEL W & DEBORAH D			
Owner Street Address 180 READING AVE	City HILLSDALE	State MI	ZIP Code 49242
Parcel Number 30-006-334-126-06	Property School District HILLSDALE COMM PUBLIC S	Property Classification 401	
Property Street Address 180 READING AVE	City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	73,700	0	-73,700
Taxable Value	07/18/2023	34,453	0	-34,453
P.R.E.		100.00 %	100.00 %	0.00 %
Property Class		401		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

Poverty Exemption
 Qualified Agricultural Exemption
 Disabled Veterans Exemption
 Qualified Forest Exemption
 Eligible Development Property Exemption
 Qualified Error _____

Explanation: **DISABLED VETERANS EXEMPTION APPROVED**

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear of affirm the above information is, to the best of our knowledge, true.

Signature 	Date July 18, 2023
Signature	Date
Signature	Date

Signature 	Date 7-18-23
Signature 	Date 7/18/23
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

July/December Board of Review Affidavit

Issued under authority of P.A. 206 of 1893. Filing is mandatory.

Petition/Docket #: J23-008

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.5e for the current year; which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.5e that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7jj(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name MICHIGAN KIQS				
Owner Street Address 30 N HOWELL ST		City HILLSDALE	State MI	ZIP Code 49242
Parcel Number 30-006-900-487-00		Property School District HILLSDALE COMM PUBLIC S	Property Classification 251	
Property Street Address 30 N HOWELL ST		City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	90,000	90,000.00	-90,000.00
Taxable Value	07/18/2023	90,000	90,000.00	-90,000.00
P.R.E.		100.00 %	100.00 %	0.00 %
Property Class		251		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

- Poverty Exemption
 Qualified Agricultural Exemption
 Disabled Veterans Exemption
 Qualified Forest Exemption
 Eligible Development Property Exemption
 Qualified Error Amended PPS

Explanation: INVENTORY ONLY. SHELVING BELONGS TO BUILDING OWNER (LEFT BY PREVIOUS OWNER - NASH DRUGS).

Online pictures show Before + Now pictures. There are equipment within Business that can be seen

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear to affirm the above information is, to the best of our knowledge, true.

Signature <i>[Signature]</i>	Date <u>July 14, 2023</u>
Signature	Date
Signature	Date

Signature <i>[Signature]</i>	Date <u>7-18-23</u>
Signature <i>[Signature]</i>	Date <u>7/18/23</u>
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

No Change

July/December Board of Review Affidavit

Petition/Docket #: J23-009

Issued under authority of P.A. 206 of 1993. Filing is mandatory.

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (8)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year; which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7j(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name SCRUFF TO FLUFF GROOMING PARLOR LLC			
Owner Street Address 3224 W CARLETON RD STE A		City HILLSDALE	State MI
Parcel Number 30-006-900-503-00		Property School District HILLSDALE COMM PUBLIC S	Property Classification 251
Property Street Address 3224 W CARLETON RD A		City HILLSDALE	State MI
		ZIP Code 49242	

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	90,000	6,100	-83,900
Taxable Value	07/18/2023	90,000	6,100	-83,900
P.R.E.		100.00 %	100.00 %	0.00 %
Property Class		251		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

- Poverty Exemption
 Qualified Agricultural Exemption
 Disabled Veterans Exemption
 Qualified Forest Exemption
 Eligible Development Property Exemption
 Qualified Error **Amended PPS**

Explanation: **AMENDED PPS**

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear of affirm the above information is, to the best of our knowledge, true.

Signature 	Date 7/18, 2023
Signature	Date
Signature	Date

Signature 	Date 7-18-23
Signature 	Date 7/18/23
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

July/December Board of Review Affidavit

Issued under authority of P.A. 206 of 1893. Filing is mandatory.

Petition/Docket #: J23-010

The authority for July/December board of review action is stated in the General Property Tax Act, MCL 211.53b. The July/December Board of Review can take action regarding qualified errors verified by the assessor (MCL 211.53b(1), (3)). The July/December Board of Review can also take action under MCL 211.53b regarding a poverty exemption for the current year under MCL 211.7u; a qualified agricultural property exemption under MCL 211.ee for the current year, which has been denied by the assessor; a qualified agricultural property exemption under MCL 211.ee that was not on the assessment roll for the current year and one prior year; or a qualified forest property exemption under MCL 211.7j(1) that was not on the assessment roll for the current year and one prior year. In addition, other statutes, such as MCP 211.7b related to the disabled veterans exemption, and MCL 211.7ss related to the eligible development property exemption, provide authority for the July/December Board of Review to take action.

Form 3128 (L-4035a) must be completed by the Board of Review and made a part of the Board of Review records whenever a change is made to an individual parcel of property which causes a change in Taxable Value.

PART A: IDENTIFICATION

Owner Name LITTLE GIGGLES DAYCARE CENTER LLC				
Owner Street Address 124 READING AVE		City HILLSDALE	State MI	ZIP Code 49242
Parcel Number 30-006-900-494-00	Property School District HILLSDALE COMM PUBLIC S		Property Classification 251	
Property Street Address 124 READING AVE		City HILLSDALE	State MI	ZIP Code 49242

PART B: ADJUSTMENTS

Item or Taxing Authority	Note or Millage	Original	Adjusted	Difference
CITY OF HILLSDALE				
Assessed Value	JBOR	90,000	6,900	-83,100
Taxable Value	07/18/2023	90,000	6,900	-83,100
P.R.E.		100.00 %	100.00 %	0.00 %
Property Class		251		
School District		30020		
Classification		Ad Valorem		
TOTALS				

Reason for change (see instructions on page 2):

- Poverty Exemption Qualified Agricultural Exemption Disabled Veterans Exemption
 Qualified Forest Exemption Eligible Development Property Exemption Qualified Error Amended PPS

Explanation: AMENDED PERSONAL PROPERTY STATEMENT

PART C: CERTIFICATION, BOARD OF REVIEW MEMBERS

We, the undersigned members of CITY OF HILLSDALE Board of Review, swear of affirm the above information is, to the best of our knowledge, true.

Signature 	Date <u>July 8, 2023</u>
Signature	Date
Signature	Date

Signature <u>Becki Jagger</u>	Date <u>7-18-23</u>
Signature <u>Debra Warrick</u>	Date <u>7/18/23</u>
Signature	Date

The Board of Review is required to file an affidavit within 30 days with the proper officials to have all affected official records corrected. If the qualified error results in an overpayment or underpayment, the rebate, including any interest paid, must be made to the taxpayer or the taxpayer must be notified and payment made within 30 days of the notice. (MCL 211.53b (1))

Distribute copies of this form to the property owner, the County Treasurer, the County Equalization Department, and the treasurers of all other affected taxing authorities. Retain a copy on file at the local unit.

- The 8th Annual -

PATRIOT'S DAY

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SUNDAY, SEPT. 10, 2023

7AM-2PM

1727 AIRPORT RD, HILLSDALE, MI

RAIN OR SHINE!

Presented by Hillsdale Exchange Club
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- **HOT PANCAKE BREAKFAST
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- **FOR MORE INFORMATION,
CALL 517-797-4833**

CITY OF HILLSDALE

LEAF COLLECTION SCHEDULE

October 30 - December 11, 2023

Leaf collection is back! Once again the Hillsdale Public Services Department will be collecting leaves, grass clippings and garden debris from all city streets. The City has been divided into 4 sections (based on ward numbers) with each being assigned a specific collection period. **Please check the map for your neighborhood's collection day** and please use the following guidelines. Your cooperation is greatly appreciated and is essential for the leaf collection process to be successful. If you have questions, don't hesitate to call the Public Services Department at 437-6490.

Our collection window will consist of two (2) rounds of collection. Starting with ward 1, moving into ward 4, then 3 and finishing in ward 2. This year's collection require leaves to be very clean, please remove sticks, limbs, walnuts, etc. DPS will not be responsible for damage to any decorations or unapproved plantings in the terrace.

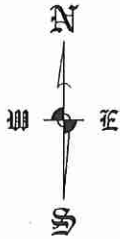
ALLOWED

1. Rake leaves as close to street without placing into the street.
2. Piles out no sooner than the weekend before schedule. (Piles to be out by 1st day of your scheduled pickup)
3. Biodegradable bags are still accepted at the Transfer Station on Carleton Rd.

NOT ALLOWED

1. Piles CANNOT contain

A. Brush/limbs/sticks	D. Bricks/Blocks/rocks
B. Trash	E. Plastic or Biodegradable paper bags
C. Construction Materials	
2. DO NOT pile leaves within 2' of all fixed objects..... trees/ hydrants/ poles/ signs/ water valves etc.
3. NO PARKING on the street during your designated collection days.
4. Do not place leaves, garden waste or any other materials in alleys for pickup. Pickup will be from street frontages only.
5. Remove all basketball hoops from the streets right-of-way.



WARD 2

Start
ROUND 1
Monday 11/13

Start
ROUND 2
Thursday 12/7

WARD 3

Start
ROUND 1
Tuesday 11/7

Start
ROUND 2
Thursday 11/30

WARD 1

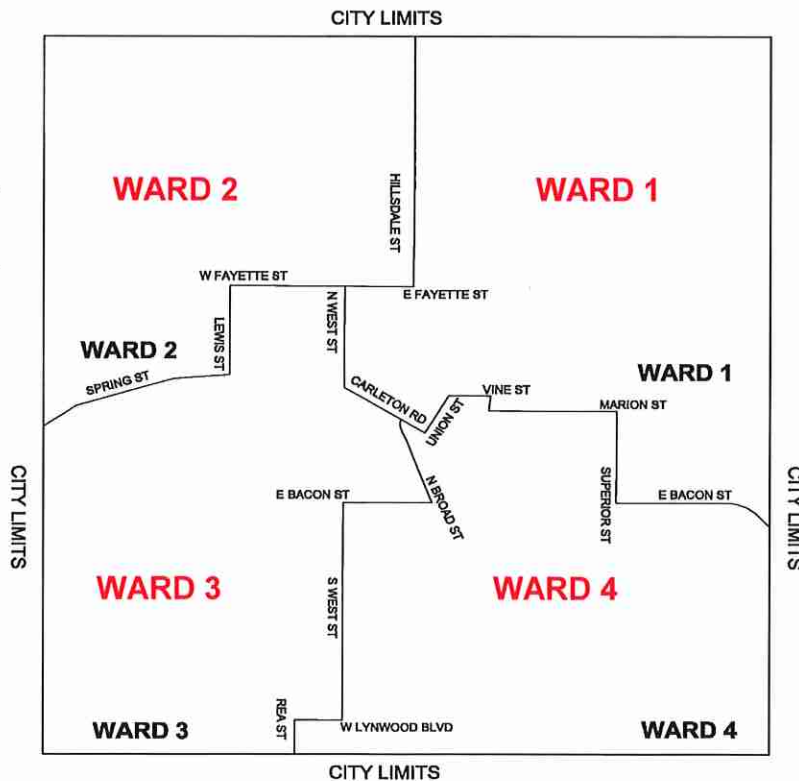
Start
ROUND 1
Monday 10/30

Start
ROUND 2
Thursday 11/16

WARD 4

Start
ROUND 1
Thursday 11/2

Start
ROUND 2
Tuesday 11/21





CITY OF HILLSDALE 2023 RESIDENTIAL BRUSH COLLECTION NOTICE

The City of Hillsdale Department of Public Services will provide a onetime curbside residential collection of brush only. This service is offered to its *residents only* in the month of ***October***. **The City of Hillsdale Brush Site on Waterworks Ave will be open to City Residents (only) for BRUSH (only) through November 17, 2023. (See complete hours below).**

Residents are reminded of the following collection requirements:

1. **City crews will collect brush (only) curbside from each city residence 1 time only in the month of October.**
2. **Have brush out to the curb by 7am, Monday, October 16, 2023.**
3. Tree limbs must be stacked with the large end nearest to the curb; **limbs less than 8 feet in length, and up to 8 inches in diameter only will be collected.**
4. No stumps, large trunks, stones or dirt are picked up at the curb.
5. Keep branches and brush piles away from all utility poles, telephone service pedestals, water shut-off valves, fire hydrants, etc.
6. **Do not place items in the street.** This causes additional clean-up problems on the street surface and in storm sewers and may obstruct visibility, or cause traffic- flow problems.
7. **Collection is intended for residential scale only** and is not intended for commercial properties or those clearing vacant or overgrown land.
8. **No brush from outside the city is allowed to be placed at the curb.**
9. **City residents only** may haul their brush only to the Brush Site on Waterworks Ave. **Monday thru Friday 7am to 3pm, Closed from 12:00 pm to 1:00 pm**
Closed Saturday and Sunday. Proof of Residency is required.
10. **NO DUMPING IS PERMITTED AFTER HOURS.**
11. **Violators of any of these regulations may be ticketed.**

****Do not place brush piles in alleyways, brush will be picked up from street frontages only.**

Questions regarding Residential Brush Collection should be directed to the Department of Public Services either on the web site www.cityofhillsdale.org or by phone 437-6490.



FOR IMMEDIATE RELEASE
Monday, Aug. 1, 2023

Media Contact: Sam Fry, Marketing & Development Coordinator
(517) 437-6426 (office), sfry@cityofhillsdale.org

BPU Invites Customers to Take Survey to Provide Feedback on Satisfaction with Utility Programs and Services

HILLSDALE, Mich. — The City of Hillsdale invites all current Hillsdale Board of Public Utilities (BPU) customers to complete the municipal utility's first-ever *Customer Experience and Satisfaction Survey*, which went live on August 1, 2023.

The survey is intended to measure customers' perceptions of the utility and better understand overall satisfaction. Topics include satisfaction with the customer service department, communication preferences of customers, and the use and interest in the utility's programs and services.

"We strongly encourage every BPU customer to set aside a few minutes to fill out this survey," said David Mackie, city manager and director of utilities. "In every industry, customer feedback is critical to establishing performance benchmarks and tracking improvement over time. The data we collect will help give our staff a better understanding of how we can optimize ratepayer experience."

All BPU customers who receive their utility bills via United States postal mail will receive a paper copy of the survey included with their August billing statement. Customers who opt to use e-billing will receive a link to complete the survey online.

Additional paper copies of the survey are available at the City Clerk's Office at City Hall.

Completed surveys will be accepted at the BPU Offices, located at 45 Monroe Street, Hillsdale, Michigan, through September 15, 2023. Completed surveys can be returned via mail, hand delivered to a customer service representative, or dropped in the 24/7 Payment Drop Box at the main entrance of the BPU Offices.

Survey data will be reported to the BPU's Board of Directors at the body's October 10, 2023, meeting.

###

About Hillsdale Board of Public Utilities

Since 1893, the Hillsdale Board of Public Utilities has been the municipally owned and operated provider of electric, water and wastewater services to the City of Hillsdale and the outlying areas. Presently, the Hillsdale BPU serves over 6,300 residents in central Hillsdale County with reliable electric power and nearly 4,000 homes and businesses receive quality water and wastewater services within the city limits.

To Whom it May Concern:

I write this letter to you today regarding Hillsdale College's recent application for tax exempt status of the building located at the corner of McCollum and North Howell Streets, the former location of Current Office Solutions.

As you may or may not know, the City of Hillsdale has been striving for many years to revitalize our downtown district. The Tax Increment Finance Authority funded and organized a Placemaking Study in August of 2017 that outlined the City's goal of encouraging the development of a walkable, drivable, retail friendly, mixed-used downtown district. This Study is available on the City of Hillsdale's website, underneath the Economic Development, "TIFA District" heading.

The most successful development model features retail businesses on ground floors, with mixed-use office space and living space on second and third floors. This trend has been followed by strong economic and population growth within municipalities that have encouraged this model. Strong examples of this can be found in Marshall, MI, and Van Wert, OH.

Your acquisition of the building downtown presents a dichotomy. It is the purpose of the TIFA to increase the taxable value of the properties within the TIFA district. A call-center and development office would present a frontage of activity, but only during normal business hours. During retail and restaurant hours in the afternoons and evenings, the property will lie dormant. Without any aspect of the business being open to the public, its presence does not contribute to the City's redevelopment model. However, if the property is generating tax revenue, the impact to Hillsdale's downtown can be used to positive effect for the surrounding downtown.

The City has received Hillsdale College's application to exempt the building from property taxation. The rationale for this is understood to be that there will be at least one educational class located there. In our Economic Roundtable discussion at our January '23 meeting of the TIFA Board, we discussed the dilemma posed by removing your property from the tax rolls, in addition to closing the building off from public activity. The result of that discussion is this letter.

On behalf of the City of Hillsdale and its Tax Increment Finance Authority, we applaud you for your involvement in the Downtown District. We note the efficiency in which you have undertaken the project from start to finish, and the efforts made by your staff and involved contractors to minimize the effect on surrounding businesses during construction. We respectfully request that you consider some options for your new downtown property.

It would be an amazing addition to the downtown business community for there to be an extension of your College Bookstore downtown. If some portion of the ground floor could be utilized to that effect, with hours of operation similar to your existing Bookstore's hours, the property would be directly contributing to the long-enacted redevelopment plan for our Downtown. Alternatively, if such an enterprise wasn't feasible, but the building could remain on the City's tax rolls, the overall impact to the downtown district would remain positive.

I would be happy to speak with you directly on the matter at your convenience. Thank you very much for your time.

Sincerely,

Andrew Gelzer

Tax Increment Finance Authority, Chair

City of Hillsdale, MI

August 2, 2023

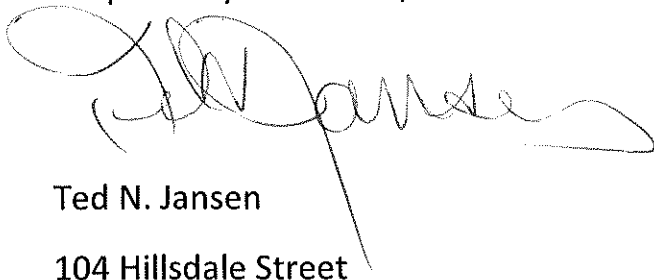
Mayor Stockford and Members of the Hillsdale City Council,

There has been substantial knee jerk reactions throughout the Country and in Hillsdale about 'grooming' children and pornography in the Children's Sections of libraries. Such unsubstantiated allegations have been made in reference to our Hillsdale Community Library. It is nothing but red meat to stir up the dogs of the Culture War. It is imperative that we abide by our Constitution and support the FIRST AMENDMENT rights of our people. Censoring, Curating, Banning Books are an affront to our God given Freedom of Speech and Thought. I am requesting that this Council admonish our Hillsdale Community Library Board of Trustees to adhere to the laws of the land and our Constitutional Rights.

Attached is the most recent Federal Court decision from the WESTERN DISTRICT OF TEXAS AUSTIN DIVISION filed 3/30/2023.

Please uphold the Constitution of the United States of America, Not Party Line Political Thought.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Ted N. Jansen", with a large, stylized flourish at the end.

Ted N. Jansen

104 Hillsdale Street



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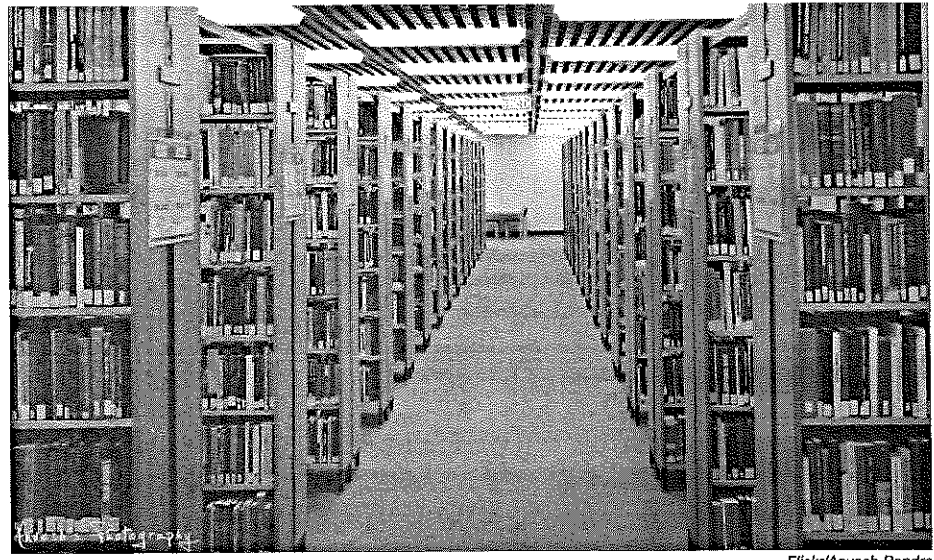
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Judge Finds Texas Library's Book Bans Unconstitutional, Orders Books Returned

By Andrew Albanese | Apr 03, 2023

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Flickr/Anvesh Pandra

In a victory for the freedom to read, a federal judge in Austin, Tex., has found that a library board in Llano County likely infringed the constitutional rights of readers in the community by unilaterally removing books it deemed inappropriate. The judge has issued a preliminary injunction requiring that the banned books be immediately returned to the shelves and blocking the library from removing any other books while the case continues.

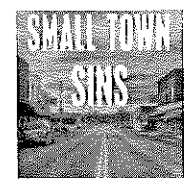
In his 26-page decision, Judge Robert Pitman denied Llano County's motion to have the case dismissed on a standing issue, finding that the plaintiffs—a group of local library patrons—have "alleged sufficient facts to show they are suffering an actual, ongoing injury." And in granting the plaintiffs' request for injunctive relief, Pitman held that the plaintiffs "have made a clear showing that they are likely to succeed on their viewpoint discrimination claim."

The closely watched suit was first filed on April 25, 2022. Among the allegations, the plaintiffs alleged that Llano county officials were "systematically removing award-winning books from library shelves because they disagree with the ideas within them"; that they terminated the libraries' OverDrive account because county officials could not pick and choose titles available to county

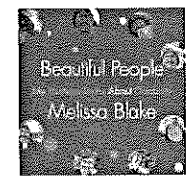
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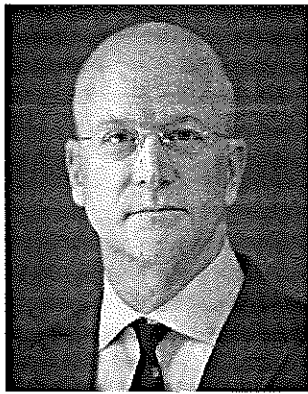
The Great 2023 Book Preview, Pt. II



PW Picks: Books of the Week



10 New Books with Disability



Wikimedia

Federal judge Robert Pitman.

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books from library shelves while the litigation is ongoing, and ordered the return to the library (and the library catalog) of more than a dozen books he concluded were "removed because of their viewpoint or content."

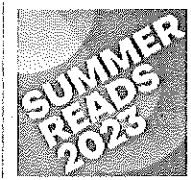
Among those books ordered restored: *Caste: The Origins of Our Discontents* by Isabel Wilkerson; *They Called Themselves the K.K.K.: The Birth of an American Terrorist Group* by Susan Campbell Bartoletti; *Being Jazz: My Life as a (Transgender) Teen* by Jazz Jennings; *In the Night Kitchen* by Maurice Sendak; and *My Butt is So Noisy!* by Dawn McMillan.

While granting the plaintiffs' motion for a preliminary injunction, the judge also dismissed the plaintiffs' bid to have its OverDrive digital library access restored, finding that the library's new contract with a competing service, Bibliotheca, mooted the issue. The court also denied relief on the issue of board meeting access, holding that the plaintiffs did not present any arguments or evidence on the issue.

In a statement to CNN, Ellen Leonida, an attorney representing the plaintiffs, called the decision a "ringing victory" for democracy. "The government cannot tell citizens what they can or can't read," Leonida said. "Our nation was founded on the free exchange of ideas, and banning books you disagree with is a direct attack on our most basic liberties."

County officials have filed notice that they will appeal.

ALSO ON PW



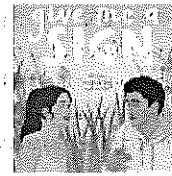
residents; and that the public is being improperly denied access to library board meetings. "The censorship that defendants have imposed on Llano County public libraries is offensive to the First Amendment and strikes at the core of democracy," reads the initial federal complaint.

County officials countered that there is no injury from the removal of the books and argued that the county had broad rights to "weed" its collection and remove titles. But while Pitman's March 30 opinion and order recognized a library's discretion to choose and manage its collections, he reiterated that library collections are constitutionally protected from unwarranted government intrusion, and found the evidence showed Llano County officials were not simply engaged in a weeding exercise.

"Although libraries are afforded great discretion for their selection and acquisition decisions, the First Amendment prohibits the removal of books from libraries based on either viewpoint or content discrimination," Pitman writes. "Here, the evidence shows defendants targeted and removed books, including well-regarded, prize-winning books, based on complaints that the books were inappropriate."

Pitman ordered County officials not to remove any

“ Although libraries are afforded great discretion for their selection and acquisition decisions, the First Amendment prohibits the removal of books from libraries based on either viewpoint or content discrimination. ”



10 New Children's and YA Books with Disability Representation

FEATURED REVIEWS



THE LIGHT INSIDE

Dan Misdea. Penguin Workshop, \$8.99 (40p) ISBN 978-0-5935-2162-5

PREVIOUS

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Colleen Hoover, Author
- 5 **Icebreaker**
Hannah Grace, Author

IN THE UNITED STATES DISTRICT COURT
FOR THE WESTERN DISTRICT OF TEXAS
AUSTIN DIVISION

LEILA GREEN LITTLE, et al.,

Plaintiffs,

v.

LLANO COUNTY, et al.,

Defendants.

§
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1:22-CV-424-RP

ORDER

Before the Court are Defendants Llano County, et al.’s (“Defendants”) Motion to Dismiss, (Dkt. 42), and Plaintiffs Leila Green Little, et al.’s (“Plaintiffs”) Motion for a Preliminary Injunction, (Dkt. 22). Having considered the parties’ briefs, the record, and the relevant law, the Court finds that the motion to dismiss, (Dkt. 42), should be partially granted, and the motion for preliminary injunction, (Dkt. 22), should be partially granted. The Court will dismiss only the claims relating to the cancellation of the OverDrive online book database. The Court will also (1) order Defendants to return all the books at issue to the Library System, (2) update the Library System’s searchable catalog to reflect that these books are available for checkout, and (3) enjoin Defendants from removing any more books for the pendency of this action. The Court will deny all other relief requested.

I. BACKGROUND

Plaintiffs are patrons of the Llano County Library System who are suing members of the Llano County Commissioners Court (“Commissioners”), members of the Llano County Library Board (“board members”) and Llano County Library System Director Amber Milum for violations of their constitutional rights. Plaintiffs contend that Defendants are infringing their First Amendment right to access and receive ideas by restricting access to certain books based on their messages and content. (Compl., Dkt. 1, at 27–29). They further allege that, because the removal and

restrictions happened without prior notice and without any opportunity for appeal, Defendants also violated their Fourteenth Amendment right to due process. (*Id.* at 29–30). Plaintiffs request an injunction that would, among other things, require Defendants to (1) return the books at issue to the catalog and to their original location in the physical shelves, and (2) reinstate access to Overdrive, the Library’s former system for e-book access. (Mot. Prelim. Inj., Dkt. 22, at 2–3).

The Llano County Library System is comprised of three physical libraries: the Llano Library Main Branch, the Kingsland Library Branch, and the Lakeshore Library Branch. Until December 13, 2021, the Library also offered access to OverDrive, a digital e-book catalog that gave library patrons access to a curated collection of thousands of e-books and audiobooks. (Email, Dkt. 22-10, at 79). Today, after a period of unavailability, the Library offers access to e-books and audiobooks through a different service, Bibliotheca.

The Llano County Library System has used the “Continuous Review, Evaluation and Weeding” (“CREW”) method to keep its collection up to date and make space for new acquisitions. (Hr’g Tr. Vol. 1 at 13:19-20, 18:12-15). The “CREW” method is an established weeding guide used by modern libraries. (*See* Milum Decl., Dkt. No. 49-1, at 2–2). To identify appropriate candidates for weeding, the CREW method suggests using the following factors, known collectively by the acronym “MUSTIE”: Misleading; Ugly; Superseded; Trivial; Irrelevant; and Elsewhere. (*Id.*). The Library calls this process “weeding.” (Hr’g Tr. Vol. 2 at 71:20-25).

In early July 2021, prior to their appointment to the New Library Board, Defendants Rochelle Wells, Rhonda Schneider, Gay Baskin, and Bonnie Wallace were part of a community group pushing for the removal of children’s books that they deemed “inappropriate.” (Call Log, Dkt. 59-1, at 72; Complaint Logs, Dkt. 59-1, at 77–89). For example, these Defendants objected to two series of children’s picture books, the “Butt and Fart Books,” which depict bodily functions in a humorous manner in cartoon format, because they believed these books were obscene and

promoted “grooming” behavior. (*E.g.*, Complaint Logs, Dkt. 59-1, at 79). Defendant Milum, the library system’s director, shared the complaints with the Commissioners Court.¹ Although several commissioners and librarians stated that they saw no problem with the books, Defendants Moss and Cunningham contacted Milum to instruct her to remove the books from the shelves. (*Compare* Log, Dkt. 59-1, at 94 (describing commissioners saying they did not see a problem with the books) *and* Email, Dkt. 59-1, at 91 (same); *with* Cunningham Email, Dkt. 59-1, at 74–75 (instructing Milum to remove the books from the shelves); Mt’g Logs, Dkt. 59-1, at 76, 92 (noting the complaints and stating that Moss told Milum to “pick [her] battles.”)).

By August 5, 2021, Milum informed Cunningham she would be deleting both sets of books from the catalog system. (Cunningham Email, Dkt. 59-1, at 74–75; *see also* List of Removed Books, Dkt. 22-10, at 60–61). In the following months, other books, such as *In the Night Kitchen* by Maurice Sendak and *It’s Perfectly Normal*, by Robbie H. Harris, were removed because of similar complaints: that they encouraged “child grooming” and depicted cartoon nudity. (List of removed books, Dkt. 22-10, at 62–63). There was no recourse for Plaintiffs, or anyone else, to appeal these removals to the library system.

In Fall 2021, Wallace, Schneider, and Wells, as part of their community group, contacted Cunningham to complain about certain books that were in the children’s sections or otherwise highly visible, labeling them “pornographic filth.” (Wallace Email, Dkt. 22-10, at 68–69). On November 10, 2021, Wallace provided Cunningham with lists, including a list of “dozens” that could be found in the library. (*Id.*; *see also* Wallace List, Dkt. 22-10 at 75). The books labeled “pornographic” included books promoting acceptance of LGBTQ views. (*See, e.g.*, Wallace List, Dkt.

¹ The Commissioners Court is the municipal entity that controls the Llano County Library System. The Commissioners Court is led by Llano County Judge Ron Cunningham.

22-10²). Other books in Wallace’s list of pornographic books about “critical race theory” and related racial themes. (*Id.*³). In other communications, Defendants refer to them as “CRT and LGBTQ” books. (Wells Emails, Dkt. 20-10, at 71–72 (discussing book removals and planning a list of “CRT and LGBTQ book[s]”). In the email, Wallace advocated for the books to be relocated to the adult section because “[i]t is the only way that [she] could think of to prohibit future censorship of books [she does] agree with.” (Wallace Emails, Dkt. 22-10, at 68).

That same day, Cunningham and Moss ordered Milum, “[a]s action items to be done immediately,” to pull books that contained “sexual activity or questionable nudity” from the shelves and from OverDrive, which at the time was the Library’s online e-book database. (Cunningham Emails, Dkt. 22-10, at 67; 106). Milum informed Moss and Cunningham she would pull the books, as well as books found in Wallace’s lists. (*Id.*, Hr’g Tr. Vol 1, at 104:6–104:9).

Milum then ordered the librarians to pull books from an edited version of Wallace’s list from the shelves. (Baker Decl., Dkt. 22-1, at 2). On November 12, 2021, Defendants removed several books on the Bonnie Wallace Spreadsheet from the Llano Library Branch shelves, including, for example, *Caste: The Origins of Our Discontents*, *They Called Themselves the K.K.K.: The Birth of an American Terrorist Group*, *Being Jazz: My Life as a (Transgender) Teen*, and *Spinning*. (List of removed books, Dkt. 22-10, at 60–65). In early December, the Commissioners and Milum also discussed options to implement filters or other restrictions for books in Wallace’s list that were available through OverDrive. (OverDrive Emails, Dkt. 22-10, at 8–10). Although Plaintiffs do not identify which e-book titles were at issue in their complaint, Defendants were concerned that at least two of the

² For example, Wallace’s list included the following titles: (1) *All out: the no-longer-secret stories of queer teens throughout the ages* by Saundra Mitchell; (2) *Beyond Magenta: transgender teen speaks out*, by Susan Kuklin; and (3) *Some assembly required: the not-so-secret life of a transgender teen*, by Arin Andrews, among others.

³ For example, Wallace’s list included the following titles: (1) *Caste, the origins of our discontents*, by Isabel Wilkerson; (2) *How to be an antiracist*, by Ibram X. Kendi, and (3) *Separate is never equal* by Duncan Tonatiuh, among others.

books in Wallace's list, *Lawn Bow* by Jonathan Evison and *Gender Queer* by Maia Kobabe, were accessible to library patrons through OverDrive. (Wells Emails, Dkt. 22-9, at 5).

On December 13, 2021, the Commissioners Court voted to approve three days of library closures, from December 20, 2021 to December 23, 2021 to review the library catalog. (Macdougall Emails, Dkt. 20-10, at 79–80). These tasks included “labeling books and checking [the] shelves for “inappropriate” books.” (*Id.*, at 79–80; Hr’g Tr. Vol 1, at 151:1–152:13). The Commissioners Court did not define “appropriateness,” but Milum declared that during these days, the staff mainly pulled books that the other Defendants had identified as inappropriate. (Hr’g Tr. Vol. 1, at 83:5–84:7).

On December 13, 2021, the Commissioners Court also voted to suspend all access to OverDrive. (Email, Dkt. 22-10, at 79). After the start of this litigation, the Commissioners Court voted to enter into a contract with Bibliotheca, another e-book database system. On May 9, 2022, the County began to provide access to Bibliotheca. (Milum Decl., Dkt. 49-1). Bibliotheca provides access to some, but not all, of the books at issue. (*Id.* at 6–7).

On December 13, 2021, the Commissioners Court also voted to dissolve the existing library board and to create a new one, named the “Library Advisory Board.” Wallace, Wells, Schneider, and other Llano County residents who advocated for book removals were appointed to the new board. This new Board then instituted a policy that all new books must be presented to and approved by the board before purchasing them. (Hr’g Tr. Vol. 1, at 51:5–20; 107:4–21; 111:3–20). The Commissioners Court stopped all new book purchases in November 2021, and no new acquisitions have been approved since this litigation began. (Cunningham Emails, Dkt. 22-10, at 106; Hr’g Tr. Vol. 1, at 50:21–51:8). On or around January 19, 2022, the Board asked Librarian Milum “that she not be present at all meeting [sic] and just on an as-needed basis.” (Mt’g Minutes, Dkt. 22-10, at 52–53). In February 2022, Defendants banned staff librarians from attending New Library Board Meetings. (Librarians’ Emails, Dkt. 22-1, at 6 (“Staff members are not to attend Advisory Board

Meetings. You may not use your vacation time to attend.”)). A month later, the meetings were closed to the public. (News Article, Dkt. 22-10, at 130–132; Mt’g Minutes, Dkt. 22-10, at 52–53 (discussing the possibility of closing meetings to the public)).

Plaintiffs filed their complaint on April 25, 2022, (Dkt. 1), and filed their motion for preliminary injunction on May 9, 2022, (Dkt. 22). Defendants filed a motion to dismiss on June 8, 2022. (Dkt. 42). After the parties submitted their respective briefing, the Court held a hearing on the preliminary injunction on October 28 and October 31, 2023. (Order, Dkt. 69; Minute Entries, Dkts. 79, 80). The parties then submitted post-hearing briefing on the preliminary injunction. (Pls.’ Post-Hearing Memorandum in Support, Dkt. 91; Defs.’ Corrected Resp., Dkt. 101; Pls.’ Reply, Dkt. 98; Defs.’ Surreply, Dkt. 117).

II. LEGAL STANDARD

A. Rule 12(b)(1)

Federal Rule of Civil Procedure 12(b)(1) allows a party to assert lack of subject-matter jurisdiction as a defense to suit. Fed. R. Civ. P. 12(b)(1). Federal district courts are courts of limited jurisdiction and may only exercise such jurisdiction as is expressly conferred by the Constitution and federal statutes. *Kokkonen v. Guardian Life Ins. Co. of Am.*, 511 U.S. 375, 377 (1994). A federal court properly dismisses a case for lack of subject matter jurisdiction when it lacks the statutory or constitutional power to adjudicate the case. *Home Builders Ass’n of Miss., Inc. v. City of Madison*, 143 F.3d 1006, 1010 (5th Cir. 1998). “The burden of proof for a Rule 12(b)(1) motion to dismiss is on the party asserting jurisdiction.” *Ramming v. United States*, 281 F.3d 158, 161 (5th Cir. 2001), *cert. denied*, 536 U.S. 960 (2002). “Accordingly, the plaintiff constantly bears the burden of proof that jurisdiction does in fact exist.” *Id.* In ruling on a Rule 12(b)(1) motion, the court may consider any one of the following: (1) the complaint alone; (2) the complaint plus undisputed facts evidenced in

the record; or (3) the complaint, undisputed facts, and the court's resolution of disputed facts. *Lane v. Halliburton*, 529 F.3d 548, 557 (5th Cir. 2008).

B. Rule 12(b)(6)

Pursuant to Federal Rule of Civil Procedure 12(b)(6), a court may dismiss a complaint for “failure to state a claim upon which relief can be granted.” Fed. R. Civ. P. 12(b)(6). In deciding a 12(b)(6) motion, a “court accepts ‘all well-pleaded facts as true, viewing them in the light most favorable to the plaintiff.’” *In re Katrina Canal Breaches Litig.*, 495 F.3d 191, 205 (5th Cir. 2007) (quoting *Martin K. Eby Constr. Co. v. Dallas Area Rapid Transit*, 369 F.3d 464, 467 (5th Cir. 2004)). “To survive a Rule 12(b)(6) motion to dismiss, a complaint ‘does not need detailed factual allegations,’ but must provide the [plaintiffs] grounds for entitlement to relief—including factual allegations that when assumed to be true ‘raise a right to relief above the speculative level.’” *Cuvillier v. Taylor*, 503 F.3d 397, 401 (5th Cir. 2007) (citing *Bell Atl. Corp. v. Twombly*, 550 U.S. 544, 555 (2007)). That is, “a complaint must contain sufficient factual matter, accepted as true, to ‘state a claim to relief that is plausible on its face.’” *Ashecroft v. Iqbal*, 556 U.S. 662, 678 (2009) (quoting *Twombly*, 550 U.S. at 570).

A claim has facial plausibility “when the plaintiff pleads factual content that allows the court to draw the reasonable inference that the defendant is liable for the misconduct alleged.” *Id.* “The tenet that a court must accept as true all of the allegations contained in a complaint is inapplicable to legal conclusions. Threadbare recitals of the elements of a cause of action, supported by mere conclusory statements, do not suffice.” *Id.* Generally, a court ruling on a 12(b)(6) motion may rely on the complaint, its proper attachments, “documents incorporated into the complaint by reference, and matters of which a court may take judicial notice.” *Dorsey v. Portfolio Equities, Inc.*, 540 F.3d 333, 338 (5th Cir. 2008) (citing *Tellabs, Inc. v. Makor Issues & Rights, Ltd.*, 551 U.S. 308, 322 (2007)). “[A] motion to dismiss under 12(b)(6) ‘is viewed with disfavor and is rarely granted.’” *Turner v. Pleasant*,

663 F.3d 770, 775 (5th Cir. 2011) (quoting *Harrington v. State Farm Fire & Cas. Co.*, 563 F.3d 141, 147 (5th Cir. 2009)).

C. Rule 65 Standard

A preliminary injunction is an extraordinary remedy, and the decision to grant such relief is to be treated as the exception rather than the rule. *Valley v. Rapides Parish Sch. Bd.*, 118 F.3d 1047, 1050 (5th Cir. 1997). “A plaintiff seeking a preliminary injunction must establish that he is likely to succeed on the merits, that he is likely to suffer irreparable harm in the absence of preliminary relief, that the balance of equities tips in his favor, and that an injunction is in the public interest.” *Winter v. Nat. Res. Def. Council, Inc.*, 555 U.S. 7, 20 (2008). The party seeking injunctive relief carries the burden of persuasion on all four requirements. *PCI Transp. Inc. v. W. R.R. Co.*, 418 F.3d 535, 545 (5th Cir. 2005).

III. DISCUSSION

Plaintiffs seek an injunction ordering the return of the books at issue and other removed books to the library catalog and to their original location, to restore access to OverDrive, and to prevent further book removals. Defendants have filed a motion to dismiss, asserting that Plaintiffs lack standing for most of their claims, that Plaintiffs’ claims regarding access to the OverDrive database are moot, and that, to the extent that Plaintiffs have standing for their claims, Plaintiffs have failed to state either a First Amendment or a Due Process claim. The Court will first address Defendants’ motion to dismiss before turning to Plaintiffs’ motion for preliminary injunction.

A. Defendants’ Motion to Dismiss

Defendants’ motion to dismiss proceeds in two parts. First, Defendants argue that Plaintiffs have not alleged “concrete plans” to access the books at issue, and therefore they have not alleged a cognizable injury. (Mot. Diss., Dkt. 42, at 3–5). Defendants further contend that Plaintiffs’ claims regarding the OverDrive online system are moot because the library has closed that forum, and that

in any case, Plaintiffs claims are also moot because Plaintiffs can access the books through the library's new online database or by requesting them through the "in-house" checkout system. (Reply, Dkt. 54, at 8–9). Second, Defendants argue that Plaintiffs fail to state a claim for relief because the library engaged in government speech, and because there is no liberty interest implicated in book removal. (Mot. Diss., Dkt. 42, at 8–10).

The Court will first address whether Plaintiffs have standing to bring a claim against Defendants before turning to the sufficiency of their allegations for Rule 12(b)(6) purposes. The Court finds that Plaintiffs are suffering a continuing injury, and that most of their claims are not moot. However, the Court also finds that Plaintiffs' OverDrive related claims are moot because Defendant has replaced OverDrive with Bibliotheca, a comparable online database of books. With respect to the remaining claims, the Court finds that Plaintiffs have properly alleged First Amendment and Due Process violations. As to the First Amendment claims, the Court finds Plaintiffs have sufficiently alleged that Defendants' actions do not constitute government speech and that Defendants unlawfully removed books based on their viewpoint. As to the Due Process claims, the Court identifies a liberty interest in access to information protected by the Due Process Clause of the Fourteenth Amendment.

1. Standing

To have Article III standing, a plaintiff must "(1) have suffered an injury in fact, (2) that is fairly traceable to the challenged action of the defendant, and (3) that will likely be redressed by a favorable decision." *Speech First, Inc. v. Fenves*, 979 F.3d 319, 330 (5th Cir. 2020) (citing *Lujan v. Defs. of Wildlife*, 504 U.S. 555, 560–61 (1992), *as revised* (Oct. 30, 2020)). "Past exposure to illegal conduct does not in itself show a present case or controversy regarding injunctive relief if unaccompanied by any continuing, present adverse effects." *Lujan*, 504 U.S. at 564. "[S]ome day's intentions—without any description of concrete plans or indeed even any specification of *when* the some day will be—do

not support a finding of the ‘actual or imminent’ injury.” *Id.* However, an injury that “has already happened and is ongoing . . . fulfills the constitutional standing requirement” because it is not conjectural. *Inst. for Creation Resch. Graduate Sch. v. Texas Higher Educ. Coordinating Bd.*, No. 1:09-cv-00382-SS, 2009 WL 10699959, at *2 (W.D. Tex. July 31, 2009) (holding that a municipal education board’s denial of a license to grant degrees was an ongoing injury that fulfills constitutional standing requirements).

Plaintiffs have alleged sufficient facts to show they are suffering an actual, ongoing injury. Plaintiffs alleged that they are library users and members, that they wish to check out the removed library books, and that they have attempted and failed to check out the removed books from the library. (Compl, Dkt. 1, at 27). The removal of books initiated Plaintiffs’ injuries, but the infringement on their right to access information is a “continuing, present adverse effect[]” that qualifies as an injury for Article III purposes. *Lujan*, 504 U.S. at 564; *cf. Sund v. City of Wichita Falls*, 12 F. Supp. 2d, 530, 553–54 (N.D. Tex. 2000) (finding irreparable injury where implementation of the city’s resolution would have resulted in books promoting acceptance of LGBTQ families being “segregated” from the children’s section to the adult section). In light of this ongoing effect, requiring Plaintiffs to engage in futile attempts to check out books that are unavailable or to attend the library board meetings that have been closed and stalled for months would be pointless. Accordingly, the Court finds that Plaintiffs have sufficiently pled an actual, ongoing injury for the purposes of standing.

2. Mootness

a. OverDrive-Related Claims

Defendants make two arguments regarding mootness. First, Defendants contend that Plaintiffs’ OverDrive-related claims are moot because the contract cancellation amounts to a closing of the public forum. (Mot. Diss., Dkt. 42, at 5–7; Reply, Dkt. 54, at 8–9). Second, Defendants argue

that there is no ongoing injury because Plaintiffs may access the books through Llano County Library System's new online book database, Bibliotheca, or through the library's "in-house checkout" system. (Reply, Dkt. 54, at 8–9; Milum's Supp. Decl., Dkt. 53, at 1–2). Defendants claim their actions were genuine and not litigation posturing. (Mot. Diss., Dkt. 42).

Courts are skeptical of defendant induced mootness because of the risk of posturing—attempting to escape litigation while intending to engage in the same conduct once the case is dismissed. *Yarls v. Bunton*, 905 F.3d 905, 910 (5th Cir. 2018). In general, defendants cannot “evade sanction by predictable protestations of repentance and reform after a lawsuit is filed.” *Ctr. For Biological Diversity, Inc. v. BP Am. Prod. Co.*, 704 F.3d 413, 425 (5th Cir. 2013) (citation omitted). But the Fifth Circuit has cautioned that skepticism is lessened for voluntary governmental cessation because “[g]overnment officials ‘in their sovereign capacity and in the exercise of their official duties are accorded a presumption of good faith because they are public servants, not self-interested private parties.’” *Id.* at 910–11. “Without evidence of the contrary, we assume that formally announced changes to official governmental policy are not mere litigation posturing.” (*Id.* at 910).

As Defendants note, on May 9, 2022, the County began to provide access to Bibliotheca, a different online book database. (Reply, Dkt. 54, at 8). In their post-hearing briefing, Plaintiffs state that Bibliotheca provides access to some, but not all, of the books at issue. (*See* Pls.' Post-Hr'g Br., Dkt. 91, at 18 (citing Milum Decl., Dkt. 49-1, at 6–7)). However, Plaintiffs' complaint does not specify which books Defendants objected to. Without allegations regarding specific books, and given that some of the books at issue are available through Bibliotheca, the Court cannot find, based on the pleadings, that Bibliotheca does not sufficiently replace OverDrive database. Plaintiffs' injury appears to be the violation of their right to access information through the online book database OverDrive. However, the evidence shows that the County replaced OverDrive with a comparable online service. In light of Plaintiffs' current pleadings, the County's new contract with Bibliotheca

thus moots the OverDrive-related claims. Accordingly, the Court will dismiss Plaintiffs' OverDrive-related claims without prejudice.

b. Physical Books

However, the Court does not conclude that Plaintiffs' claims are moot as to the physical books. The physical books at issue in this case, although "available" for checkout are hidden from view and absent from the catalog. Their existence is not discernible to the public, nor is their availability. An injury exists because the library's "in-house checkout system" still places "a significant burden on Library Patrons' ability to gain access to those books." *Sund*, 12 F. Supp. 2d at 534.

Furthermore, Defendants' creation of an "in-house checkout system" comprises precisely the type of posturing the voluntary cessation exception is meant to prevent. Defendant Milum received the books in July, three months into this litigation and shortly after the parties had filed responses to their motions to dismiss and for preliminary injunction, respectively. (Milum Supp. Decl., Dkt. 53, at 1). But the books were not donated by a neutral benefactor with the intent of making them available to library patrons. Defendants' Counsel, Jonathan Mitchell, provided these books ostensibly anonymously. Upon questioning, Counsel repeatedly to avoid the disclosure of his donation by asserting attorney-client privilege. The Court concluded, however, that his actions, clearly designed his clients' litigation position, were not so privileged.

Furthermore, even if Counsel Mitchell's actions were not calculated to promote his clients' litigation position, the Library's protocols making access to the books virtually impossible do not deserve the type of solicitude the Fifth Circuit has instructed. Making books "available" in a back room, only upon specific request by a patron who has no way of knowing that the books even exist, is hardly a "formally announced change[] to official governmental policy" deserving less scrutiny. *Bunton*, 905 F.3d at 910.

The Court thus finds that the rest of Plaintiffs claims are not moot. Accordingly, the Court will dismiss Plaintiffs' OverDrive-related claims without prejudice but allow the remaining claims to proceed.

3. First Amendment Claim

Next, Defendants argue that Plaintiffs have not stated a First Amendment claim upon which relief can be granted. Defendants contend that First Amendment protections do not apply to the public library's content and collection decisions, because libraries are afforded broad discretion over these decisions. (Mot. Diss., Dkt. 42, at 9).⁴

The Supreme Court has recognized that public libraries should be afforded "broad discretion" in their collection selection process, in which library staff must necessarily consider books' content. *See U.S. v. Am. Library Assn., Inc.*, 539 U.S. 194, 205 (2003) (plurality). But this discretion is not absolute, and it applies only to materials' selection. In fact, the Fifth Circuit, adopting the Supreme Court's plurality in *Pico*, has recognized a "First Amendment right to receive information" which prevents libraries from "remov[ing] books from school library shelves 'simply because they dislike the ideas contained in these books.'" *Campbell v. St. Tammany Par. Sch. Bd.*, 64 F.3d 184, 189 (5th Cir. 1995) (quoting *Bd. of Educ., Island Trees Union Free Sch. Dist. No. 26 v. Pico*, 457 U.S. 853, 872 (1982) (plurality)).

⁴ Defendants also argue that Plaintiffs have not alleged that the library is a public forum, and that any First Amendment claim should fall based on that fact alone. (Reply, Dkt. 54, at 8–9). This argument is unavailing. The Fifth Circuit has recognized that there is a First Amendment right to access information, and that First Amendment protections apply to the removal of materials in public libraries. *See, e.g., Campbell v. St. Tammany Par. Sch. Bd.*, 64 F.3d 184, 189 (5th Cir. 1995)). As the following paragraphs make clear, courts have almost uniformly held that public libraries are subject to First Amendment limitations, even as limited public forums. *See, e.g., Sund v. City of Wichita Falls*, 12 F. Supp. 2d, 530, 534 (N.D. Tex. 2000) ("The Wichita Falls Public Library, like all other public libraries, is a limited public forum for purposes of First Amendment analysis."). *American Library*, which Defendants cite for the contrary proposition, simply states that "Internet access in public libraries is neither a 'traditional' nor a 'designated' public forum." *See U.S. v. Am. Library Assn., Inc.*, 539 U.S. 194, 205 (date) (emphasis added).

“The key inquiry in a book removal case” is whether the government’s “substantial motivation” was to deny library users access to ideas with which [the government] disagreed.” *Id.* at 190. Here, Plaintiffs have sufficiently pled that Defendants’ conduct was substantially motivated by a desire to remove books promoting ideas with which disagreed. They plainly allege that Defendants removed, ordered the removal, or pursued the removal of the books at issue “because they disagree with their political viewpoints and dislike their subject matter.” (Compl., Dkt. 1, at 3, 7–9).

Defendants do not argue otherwise. Instead, they contend that Plaintiffs have not stated a claim because the removal decisions were “government speech to which the First Amendment does not apply.” (Mot. Diss., Dkt. 42, at 8–9). But as Plaintiffs’ note, the cases Defendants cite mostly involve the initial selection, not removal, of materials. *See, e.g., Am. Library*, 539 U.S. at 205 (“The principles underlying [the precedent] also apply to a public library’s exercise of judgment in selecting the material it provides to its patrons.”); *PETA v. Gittens*, 414 F.3d 23, at 28 (analogizing the discretion afforded to library’s book collection decisions to the commission’s art selection decisions). As the Fifth Circuit held in *Campbell*, removal decisions are subject to the First Amendment and are evaluated based on whether the governments’ “substantial motivation in arriving at the removal decision” was discriminatory. *Campbell*, 64 F.3d at 190. Here, Plaintiff has clearly pled that Defendants had this motivation.

Defendants contend that *Campbell* and *Pico* do not apply to this context because those cases dealt with book removals from public school libraries, which may be subject to unique constitutional rules. (Reply, Dkt. 54, at 8). At the same time, Defendants urge us to follow *Chiras*, even though *Chiras* also involves book selection at a public school library. (*Id.* at 10 (citing *Chiras v. Miller*, 432 F.3d 606, 614 (5th Cir. 2005)). In any case, the Court agrees that the precedent indicates public school libraries are a unique environment for constitutional analysis. *See Pico*, 457 U.S. at 868 (plurality) (“First Amendment rights accorded to students must be construed ‘in light of the special

characteristics of the school environment” (citation omitted)). *Campbell, Pico*, and *Chiras* suggest that school officials’ discretion is particularly broad for book selection in public school libraries because of schools’ unique inculcative function. *See also Sund*, 121 F. Supp. 2d at 548. However, the right to access to information first identified in *Pico* and subsequently adopted by the Fifth Circuit in *Campbell* has “even greater force when applied to public libraries,” since public libraries are “designed for freewheeling inquiry,” and the type of discretion afforded to school boards is not implicated. *Id.* (omitting citations).

Defendants, like other government officials implicated in maintaining libraries, have broad discretion to select and acquire books for the library’s collection. But the Fifth Circuit recognizes a First Amendment right to access to information in libraries, a right that applies to book removal decisions. Plaintiffs have clearly stated a claim that falls squarely within this right: that Defendants removed the books at issue to prevent access to viewpoints and content to which they objected.

4. Due Process Claim

Finally, Defendants argue that Plaintiffs have not alleged a due process claim because Plaintiffs do not have a protected property or liberty interest involved in library books. Defendants point to a single Second Circuit case, *Bicknell v. Vergennes Union High School*, 638 F.2d 438, 442 (2d Cir 1980). In *Bicknell*, plaintiffs challenged a school board’s decision to remove two books based on their content. *Id.* at 440–41. The Second Circuit found that, even assuming that there was a deprivation of rights at play, such a deprivation did not entitle plaintiffs “to a hearing before that removal takes place.” *Id.* at 442. According to the court, the rights involved were not particularized nor personal enough to require a hearing. *Id.*

But many courts have held that access to public library books is a protected liberty interest created by the First Amendment. *See Doyle v. Clark Cnty. Pub. Libr.*, No. 3:07-cv-00003-TMR-MRM, 2007 WL 2407051, at *5 (S.D. Ohio Aug. 20, 2007); *see also Miller v. Nw. Region Libr. Bd.*, 348 F. Supp.

2d 563, 570 (M.D. N.C. 2004) (denying defendants' motion to dismiss plaintiff's Fourteenth Amendment due process claim, holding that access to public library computers was a protected liberty interest); *Hunt v. Hillsborough County*, No. 8:07-cv-01168-JSM-TBM, 2008 WL 4371343, at *3 (M.D. Fla. 2008) ("Plaintiff had a fundamental right to access the Law Library and receive the information provided therein."); *Dolan v. Tavares*, No. 1:10-cv-10249-NMG, 2011 WL 10676937, at *13 (D. Mass. May 16, 2011) ("[P]laintiff has a liberty interest in being able to access the law library"); *cf. Neinast v. Bd. of Trs. of Columbus Metro. Libr.*, 346 F.3d 585, 592 (6th Cir. 2003) (referring to the First Amendment right to receive information in public library books as a "fundamental right"); *Armstrong v. Dist. of Columbia Pub. Libr.*, 154 F. Supp. 2d 67, 82 (D.D.C. 2001) (recognizing that "access to a public library [] is at the core of our First Amendment values"). And even if this Court were to follow the Second Circuit's rationale, *Bicknell* only states that the right involved could not sustain a hearing requirement. *Bicknell*, 638 F.2d at 442. The court's analysis does not foreclose the possibility that Plaintiffs could be entitled to some form of post-removal appellate or review process.

The Court follows our many sister courts in holding that there is a protected liberty interest in access to information in a public library. Accordingly, the Court finds that Plaintiff has sufficiently stated a due process claim.

B. Plaintiffs' Motion for Preliminary Injunction

Having addressed Defendants' motion to dismiss, the Court will now evaluate whether Plaintiffs are entitled to a preliminary injunction. Plaintiffs seek an injunction ordering Defendants to: (1) return the physical books at issue to their original locations and (2) update the Library Service's catalog to reflect that the books have been returned and are available for checkout, and enjoining Defendants from: (1) removing any books from the Llano County's physical shelves during the pendency of the action, and (2) closing future Library Board meetings to members of the public.

(Proposed Ord., Dkt. 22-12). Plaintiffs originally requested a preliminary injunction regarding access to OverDrive, but the Court will not address this relief because it has dismissed those claims. Furthermore, Plaintiffs request relief related to their Due Process claim but do not actually present any arguments on the issue. Accordingly, the Court will deny the motion as to their request for access to the library board meetings.

For the rest of the preliminary injunction, Plaintiffs must show (1) a substantial likelihood of success on the merits; (2) a substantial threat of irreparable harm if the injunction is not granted; (3) that the threatened injury outweighs any harm that the injunction might cause to the defendant; and (4) that the injunction will not disserve the public interest.” *Opulent Life Church v. City of Holly Springs, Miss.*, 697 F.3d 279, 288 (5th Cir. 2012). Plaintiffs have carried their burden on each of these elements.

1. Likelihood of Success on the Merits

a. Viewpoint Discrimination

As the Court stated earlier, the First Amendment “protect[s] the right to receive information.” *Sund v. City of Wichita Falls, Tex.*, 121 F. Supp. 2d 530, 547 (N.D. Tex. 2000) (citing *Reno v. American Civil Liberties Union*, 521 U.S. 844 (1997)). In a book removal case, “the key inquiry . . . is the school officials’ substantial motivation in arriving at the removal decision.” *Campbell*, 64 F.3d at 190.

Plaintiffs have made a clear showing that they are likely to succeed on their viewpoint discrimination claim. Although libraries are afforded great discretion for their selection and acquisition decisions, the First Amendment prohibits the removal of books from libraries based on either viewpoint or content discrimination. *See Pico*, 457 U.S. at 871. “Official censorship based on a state actor’s subjective judgment that the content of protected speech is offensive or inappropriate is viewpoint discrimination.” *Robinson v. Hunt County*, 921 F.3d 440, 447 (5th Cir. 2019) (citing *Matal v.*

Tam, 137 S. Ct. 1744, 1763 (2017). In a book removal case, plaintiffs must show that an intent to deny library users access to viewpoints with which they disagreed was a “substantial factor” in making the removal decision. *Id.* at 188 n.21 (citing *Pico*, 457 U.S. at 872); *id.* at 190.

Here, the evidence shows Defendants targeted and removed books, including well-regarded, prize-winning books, based on complaints that the books were inappropriate. For example, between early and mid-July 2021, Wells and other citizens contacted Milum to complain about the appropriateness of the “Butt and Fart Books.” (Call Log, Dkt. 59-1, at 72; Complaint Logs, Dkt. 59-1, at 77–89). By August 5, 2021, Commissioners Cunningham and Moss had contacted Milum to recommend removing them from the shelves. Milum then deleted these books from the catalog system. (Cunningham Email, Dkt. 59-1, at 74–75; Mt’g Logs, Dkt. 59-1, at 76, 92).

Similarly, between October 28, 2021, and December 22, 2021, a span of two months, Wallace and Wells had contacted Defendants Cunningham and Moss with a list of books they considered inappropriate, labeling them “pornographic filth” and “CRT and LGBTQ books” and advocating for their removal and relocation. (Wallace Emails, Dkt. 22-10, at 67–69; Wells Emails, Dkt. 22-10, at 71–72; Hr’g Tr. Vol 1, at 89:23–90:4; 97:2–100:2). Cunningham and Moss then instructed Milum, the library director, to pull out these books. (Wallace Emails, Dkt. 22-10, at 67; Wells Emails, Dkt. 22-10, at 71–72). Milum, in turn, removed some of the books and soon thereafter the library was closed for three days at the direction of the Commissioners Court, for the purpose of “checking [the] shelves for ‘inappropriate’ books.” (Macdougall Emails, Dkt. 22-10, at 79–80; Hr’g Tr. Vol 1, at 151:1–152:13).

Admittedly, Wallace, Wells, and other complainants were members of the public, not library board members, at the time. (Hr’g Tr. Vol. 2, at 25:2–25:13). Furthermore, at least one Defendant admitted in his testimony that he did not have personal knowledge of the content of the books at issue. (Hr’g Tr. Vol. 1, at 170:23–172:1; 174:21–175:7). But by responding so quickly and uncritically,

Milum and the Commissioners may be seen to have adopted Wallace's and Wells's motivations. The Court finds that Plaintiffs have clearly shown that Defendants' decisions were likely motivated by a desire to limit access to the viewpoints to which Wallace and Wells objected.

Defendants aver that any cataloguing and removal that occurred was simply part of the library system's routine weeding process, for which Milum was ultimately responsible. (Hr'g Tr. Vol. 1, at 82:8–82:16). Yet Milum testified that the books that she pulled were books that Wallace, Wells, or the Commissioners identified as “inappropriate.” (Hr'g Tr. Vol. 1, at 83:5–84:7). The Commissioners, her superiors and final policymakers with power over the library system,⁵ instructed her to review the books—and even to remove some of them—based on people's perception of their content or viewpoints. (Hr'g Tr. Vol. 1 at 68:15-18). The short amount of time between the complaints, commissioners' actions, and Millum's removal strongly suggests that the actions were in response to each other. . Plaintiffs have made a clear showing about what Defendants' substantial motivations may have been and how these may have led to the book removals.

Finally, Defendants argue, as they did in their motion to dismiss, that even if their actions amount to viewpoint discrimination, the library's weeding decisions are only subject to rational-basis review. Not so. The Fifth Circuit's precedent recognizing a right to access to information is not “nonsense.” (Post-Hr'g Corr. Resp., Dkt. 100, at 25); *see also Campbell*, 64 F.3d at 189–90 (finding that the “decision to remove [books] must withstand greater scrutiny within the context of the First Amendment than would a decision involving a curricular matter.”). Defendants' attempts to convince the Court otherwise simply confirm what the Court already addressed in Defendants'

⁵ Tex. Const. art. 5, § 18(b) (“[T]he County Commissioners Court . . . shall exercise such powers and jurisdiction over all county business, as is conferred by this Constitution and the laws of the State[.]”); Tex. Loc. Gov't Code. § 323.006 (“The county library is under the general supervision of the commissioners court.”); *see also Doe A1W v. Burseson Cnty.*, No. 1:20-CV-00126-SH, 2022 WL 875912, at *4 (W.D. Tex. Mar. 24, 2022) (holding county commissioners court has final policymaking authority over all areas entrusted to them by the state constitution and statutes).

motion to dismiss: that “content discrimination is permissible and inevitable in library-book selection.” (Post-Hr’g Corr. Resp., Dkt. 100, at 25). It does not follow from this proposition that such discrimination is equally permissible in removal decisions. To hold otherwise would be to entirely disregard *Campbell*.

b. Content Discrimination

Even if Plaintiffs had not shown a likelihood of success on their viewpoint discrimination claim, the Court finds that Plaintiffs clearly met their burden to show that these are content-based restrictions that are unlikely to pass constitutional muster. Content-based restrictions on speech are presumptively unconstitutional and subject to strict scrutiny. *Reed v. Town of Gilbert, Ariz.*, 576 U.S. 155 (2015); *United States v. Playboy Entm’t Grp., Inc.*, 529 U.S. 803, 813 (2000). A restriction is content-based if it “applies to particular speech because of the topic discussed or the idea or message expressed.” *Reed*, 576 U.S. at 163. But, as discussed above, multiple Defendants acknowledged during the hearing that each of the books in question were slated for review (and ultimately removal) precisely because certain patrons and county officials complained that their contents were objectionable.⁶

Although Defendants now argue that each of these books were subject to routine “weeding” from the library’s catalogue based on content-neutral factors, Plaintiffs have offered sufficient evidence to suggest this post-hoc justification is pretextual. Whether or not the books in fact qualified for “weeding” under the library’s existing policies,⁷ there is no real question that the

⁶ Hr’g Tr. Vol. 1 at 127:24-128:5; *see also* Ex. 52 at 1-2; Ex. 2A; Ex. 2; Hr’g Tr. Vol. 1 at 66:9-14 (Butt and Fart books); Hr’g Tr. Vol. 1 at 70:13-18, 71:9-15; Ex. 19 (*In the Night Kitchen*, and *It’s Perfectly Normal*); Hr’g Tr. Vol. 1 at 82:3-10, 82:24-83:3, 84:12-21, 94:23-25 (LGBTQ and CRT books).

⁷ The record contains competing testimony on this point. Milum stated in her declarations and testimony that she weeded the 17 disputed books because she believed that each of them met the library’s criteria for weeding under the CREW and MUSTIE factors. *See* Milum Decl., Dkt. No. 49-1, at ¶¶ 8, 12–16; Hr’g Tr. Vol. 2 95:16–106:20. In contrast, Tina Castelan stated that Milum’s decisions to weed some of disputed books violated the library’s weeding policies. *See id.* at 6–9; Hr’g Tr. Vol. 1 at 33:15–45:18. It appears to be

targeted review was directly prompted by complaints from patrons and county officials over the contents of these titles. Defendants' contemporaneous communications, as well as testimony at the hearing, amply show this. For example, Ms. Wells testified at the hearing that "if there was any book that [in her opinion] was harmful to minors that was in the library, I would speak with the director, [Milum] to have it removed." (Hr'g Tr. Vol. 1 at 205:9-14). In turn, Milum acknowledged that "the reason that [the books] were selected to be weeded and reviewed to be weeded, as opposed to other books, w[as] because Ms. Wallace had them on her list" of objectionable books. (*Id.* at 82:24-83:3). And, notably, there is no evidence that any of the books were slated to be reviewed for weeding prior to the receipt of these complaints; to the contrary, many other books eligible for weeding based on the same factors appear to have remained on the shelves for many years.⁸

Defendants' insist that "[t]he notion that librarians cannot engage in 'content discrimination' when weeding books is absurd" because "[w]eeding inherently involves content discrimination." This is unavailing. In the context of weeding, the test the Fifth Circuit stated in *Campbell* provides flexibility for the type of content considerations Defendants warn about. In a book removal case, "the key inquiry . . . is the [library] officials' substantial motivation in arriving at the removal decision." *Campbell*, 64 F.3d at 190. Although some of the MUSTIE criteria consider content, overall, the library weeding process appears to be directed towards managing the size and quality of the library collection. That is, the Llano County Library System has discretion to weed books, using professional criteria, when its "substantial motivation" is to curate the collection and allow space for new volumes. As long as its motivation remains as such, the library system may cull and curate its collection as needed.

undisputed that, given its subjective nature, reasonable minds may disagree over how to apply the CREW and MUSTIE criteria. *Id.* at 127:6-8.

⁸ Compare Ex. 52 with Ex. 79A; see also, e.g., Hr'g Tr. Vol. 2 at 127:21-25, 136:4-7.

Conversely, when the governments’ “substantial motivation” appears to be a desire to prevent access to particular views, like in this case, Defendants’ actions deserve greater First Amendment scrutiny. The Court finds that Plaintiffs made a clear showing that the “substantial motivation” for Defendants actions appears to be discrimination, as opposed to mere weeding.

Under the strict scrutiny analysis, the Defendants bear the burden of proving that the removals are narrowly tailored to serve a compelling interest. *Reed*, 135 S. Ct. at 2226; *Turner Broad. Sys.*, 512 U.S. at 664–65. Applying this standard, the Court finds it substantially likely that the removals do not further any substantial governmental interest—much less any compelling one. Indeed, the Defendants’ briefing doesn’t argue that their actions can survive heightened scrutiny, nor have they set forth any governmental interests that are served by the removals. On this record, the Court will not endeavor to guess what interests Defendants may eventually proffer. As content-based restrictions on Plaintiffs’ right to receive information, Plaintiffs have clearly shown the removals are likely to be constitutionally infirm because they are not narrowly tailored to serve a compelling state interest.

2. Irreparable Harm

The “loss of First Amendment freedoms for even minimal periods of time constitutes irreparable injury.” *Texans for Free Enter v. Texas Ethics Comm’n*, 732 F.3d 535, 539 (5th Cir. 2013). “When an alleged deprivation of a constitutional right is involved, most courts hold that no further showing of irreparable injury is necessary.” *Opulent Life Church*, 697 F.3d at 295. Because Plaintiffs have clearly shown Defendants actions likely violate their First Amendment right to access to information, they have clearly shown they are suffering irreparable harm.

Attempting to deny this harm, Defendants contend that Plaintiffs can access every one of the books through either the InterLibrary Loan system, Bibliotheca, or the library system’s in-house checkout system. None of these options mitigate the constitutional harm Plaintiffs are suffering. First,

the InterLibrary Loan system is not a replacement for access to books within the Llano County Library System. Patrons must pay for postage and wait for weeks for books to arrive. (Milum Decl., Dkt. No. 49-1, at 10; Hr’g Tr. Vol. 2 at 124:24-125:1). Furthermore, to allow the InterLibrary loan system to stand in for purported “access” to the books would absolve any government official from liability for unconstitutional book removals, no matter how egregiously unconstitutional their intent, as long as the official could find, *ex post facto*, a library or network from which it could secure a loan.

Likewise, access through Bibliotheca is not a replacement for access to the physical books at issue. E-books and physical books are tangibly different. Using Bibliotheca requires access to a compatible device, and most of the books are not available through Bibliotheca at all. (Milum Decl., Dkt. 49-1, at 6–7; Hr’g Tr. Vol. 2 at 47:2-4). Furthermore, as early as March 2022, Defendants were trying to remove books they had already purchased through Bibliotheca, due to concerns about their appropriateness. (Wallace Depo., Dkt. 59-1, at 114:4-10, 126:12-15; Bibliotheca Emails, Dkt. 59-1, at 104–107). Even if the Court were to find that access to these e-books is equivalent to access to the physical books, there is sufficient evidence to raise concerns that the books would not remain in place without an injunction.

The Court’s reservations about Defendants’ in-house checkout system are even greater. As noted above, the books that are supposedly “available” for checkout are absent from the library’s catalog. They are, to the extent they exist, not accessible from the library shelves. A patron must, notwithstanding the fact that the books’ existence is not reflected in the library catalog, know that the books can be requested. They must then make a special request for the book to be retrieved from behind the counter. This is, of course, an obvious and intentional effort by Defendants to make it difficult if not impossible to access the materials Plaintiffs seek. This ongoing infringement warrants an interim remedy precisely because the harm is ongoing and irreparable.

3. Balance of Equities and Public Interest

As to the last two factors, Defendants once again insist that the balance of equities and public interest cannot support an injunction because Plaintiffs have not, will not, and could not have suffered constitutional harm. This Court found otherwise. “[I]njunctive relief protecting First Amendment freedoms are always in the public interest.” *Texans for Free Enter.*, 732 F.3d at 539 (quoting *Christian Legal Society v. Walker*, 453 F.3d 853, 859 (7th Cir. 2006)). As Plaintiffs request an injunction protecting their First Amendment Freedoms, and there is no evidence that the equities tilt in Defendants favor, the Court finds Plaintiffs have clearly shown these factors are in their favor.

4. Remedy

Although Plaintiffs have demonstrated they are entitled to a preliminary injunction, their evidence cannot sustain some of the remedies they seek. The evidence demonstrates that, without an injunction, Defendants will continue to make access to the subject books difficult or impossible. Defendants must therefore be prevented from removing the books, and the books at issue be made available for checkout through the Library System’s catalogs. (Proposed Ord., Dkt. 22-12⁹).

However, Plaintiffs focused on book removals, not on relocations. Therefore, the Court cannot find that they are entitled to their request to return the physical books to their original locations. The Court will not invade the prerogative of the Library with regard to proper placement of books or restrictions on access.

Although Plaintiffs originally requested a preliminary injunction regarding access to OverDrive, the Court will not grant the relief because it has dismissed those claims. Finally, Plaintiffs requested relief related to their Due Process claim but did not actually present any arguments or evidence on the issue. Accordingly, the Court will deny the motion as to their request for access to the library board meetings.

⁹ Librarian Milum testified at the hearing that the Library System does not plan to weed or add any books to the Library for the pendency of this litigation; therefore, an injunction preventing book removals is unlikely to be burdensome. (Hr’g Tr. Vol. 1, at 130:5–15).

IV. CONCLUSION

For the reasons given above, **IT IS ORDERED** that Defendants' motion to dismiss, (Dkt. 42), is **GRANTED. IN PART** and **DENIED IN PART**. Plaintiffs' OverDrive related claims are dismissed **WITHOUT PREJUDICE**. Defendants' motion is denied as to all other claims.

IT IS FURTHER ORDERED that Plaintiffs' Motion for Preliminary Injunction, (Dkt. 22), is **PARTIALLY GRANTED. IT IS ORDERED THAT:**

1. Within twenty-four hours of the issuance of this Order, Defendants shall return all print books that were removed because of their viewpoint or content, including the following print books, to the Llano County Libraries:
 - a. *Caste: The Origins of Our Discontent* by Isabel Wilkerson;
 - b. *Called Themselves the K.K.K.: The Birth of an American Terrorist Group* by Susan Campbell Bartoletti;
 - c. *Spinning* by Tillie Walden;
 - d. *In the Night Kitchen* by Maurice Sendak;
 - e. *It's Perfectly Normal: Changing Bodies, Growing Up, Sex and Sexual Health* by Robie Harris;
 - f. *My Butt is So Noisy!, I Broke My Butt!, and I Need a New Butt!* by Dawn McMillan;
 - g. *Larry the Farting Leprechaun, Gary the Goose and His Gas on the Loose, Freddie the Farting Snowman, and Harvey the Heart Has Too Many Farts* by Jane Bexley;
 - h. *Being Jazz: My Life as a (Transgender) Teen* by Jazz Jennings;
 - i. *Shine* by Lauren Myracle;
 - j. *Under the Moon: A Catwoman Tale* by Lauren Myracle;

- k. *Gabi, a Girl in Pieces* by Isabel Quintero; and
 - l. *Freakboy* by Kristin Elizabeth Clark.
2. Immediately after returning the books to the Libraries as ordered in (1) above, Defendants shall update all Llano County Library Service's catalogs to reflect that these books are available for checkout.
 3. Defendants are hereby enjoined from removing any books from the Llano County Library Service's catalog for any reason during the pendency of this action.

SIGNED on March 30, 2023.



ROBERT PITMAN
UNITED STATES DISTRICT JUDGE

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item: New Business

SUBJECT: NEZ Applications from Commonwealth Developments

BACKGROUND PROVIDED BY: Sam Fry, Marketing & Econ. Development Coordinator

Eight applications dated July 5, 2023 requesting Neighborhood Enterprise Zone Certificates were submitted to the City Clerk's Office by Commonwealth Developments for proposed new facilities to be built on property the developer owns at 232, 233, 234, 235, 242, 243, 244, and 245 Auseon Court, located within NEZ #4, which was established by City Council resolution on November 18, 2019.

Staff has reviewed the applications and find they appear to be complete and in correct form. Section 5 of the Neighborhood Enterprise Zone Act (Public Act 147 of 1992) states, "Not more than 60 days after receipt by its clerk of an application under section 4, the governing body of the local government unit by resolution shall approve the application for a neighborhood enterprise zone certificate."

RECOMMENDATION:

City staff and the Economic Development Corporation of Hillsdale's Business Review Committee recommends that City Council adopt the attached resolutions to approve applications for new Neighborhood Enterprise Zone Certificates for these eight properties.

Application for Neighborhood Enterprise Zone Certificate

Issued under authority of Public Act 147 of 1992, as amended.

RECEIVED
JUL 05 2023

LOCAL GOVERNMENTAL UNIT USE ONLY	
Application No.	Date Received
STATE USE ONLY	
Application No.	Date Received

Read the instructions before completing the application. This application must be filed prior to building permit issuance and start of construction except as provided in the instructions on page 3 under Owner/Developer/Applicant Instructions. Initially file completed application and required documents with the clerk of the local governmental unit. The additional documents to complete the application process will be required by the State of Michigan only after the original application is filed with the clerk of the local governmental unit (LGU). This form is also used to file a request for the transfer of an existing NEZ certificate. Please see the instruction sheet.

PART 1: OWNER/DEVELOPER/APPLICANT INFORMATION (Applicant must complete all fields)

Owner/Developer/Applicant Name Commonwealth Developments			Type of NEZ <input type="checkbox"/> OPRA eligible community NEZ <input type="checkbox"/> Workforce Housing NEZ		
Facility's Street Address 232 Auseon Court			Type of Approval Requested		
City Hillsdale	State MI	ZIP Code 49242	<input checked="" type="checkbox"/> New Facility <input type="checkbox"/> Rehabilitated Facility <input type="checkbox"/> Transfer (1 copy only)		
Name of City, Township or Village (taxing authority) Hillsdale			No. of years requested for exemption (6-15; 11-17 for qualified historic building) 10		
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village			Is the facility owned or rented by occupants? <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Rented		
County Hillsdale			Type of Property (check one)		
School District Hillsdale Community			<input type="checkbox"/> House <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Condo <input type="checkbox"/> Loft <input type="checkbox"/> Apartment - No. of Units _____		
Name of LGU that established district City of Hillsdale		Name or Number of Neighborhood Enterprise Zone #4		Date district was established 11/18/2019	
Identify who will complete the work <input checked="" type="checkbox"/> Licensed Contractor <input type="checkbox"/> Other _____			Estimated Project Cost (per unit) \$220,000.00		

Describe the general nature and extent of the new construction or rehabilitation to be undertaken. For rehabilitation only, include Breakdown of Investment Costs. Use attachments if necessary.

Hillsdale Commons Condominium Development - 36 units
New underground water and sewer and all new utilities
All units on poured concrete basements
Concrete sidewalks and asphalt roads

Property Purchase - \$146,000
Buildings & Infrastructure - \$7,500,000
Overhead - \$370,000

Timetable for undertaking and completing the rehabilitation or construction of the facility.		Additional Timetable Information (if applicable)	
Begin Date 7/10/23	End Date 12/31/23		

PART 2: OWNER/DEVELOPER/APPLICANT CERTIFICATION

Contact Name Rick Jenkins			
Contact Telephone Number (517) 849-7470		Contact Email Address rjenkins@stollcm.com	
Owner/Developer/Applicant Name Steve Stoll			
Owner/Developer/Applicant Telephone Number (517) 849-7470		Owner/Developer/Applicant Email Address sstoll@stollcm.com	
Owner/Developer/Applicant Mailing Address 590 Olds St.		City	State ZIP Code

I certify the information contained herein and in the attachments are true and that all are truly descriptive of the residential real property for which this application is being submitted.

I certify I am familiar with the provisions of Public Act 147 of 1992, as amended, (MCL 207.771 to 207.787) and to the best of my knowledge, I have complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the LGU and the issuance of Neighborhood Enterprise Zone Certificate by the State Tax Commission.

Owner/Developer/Applicant Signature 	Date: 7/5/23
-----------------------------------------	------------------------

PART 3: LGU ASSESSOR CERTIFICATION (Assessor of LGU must complete Part 3)

The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Neighborhood Enterprise Zone Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Neighborhood Enterprise Zone Exemption that would also put the same property on the Neighborhood Enterprise Zone specific tax roll.

By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Neighborhood Enterprise Zone Exemption specific tax roll and not on any other specific tax roll.

Name of LGU

Name of Assessor (First and last name)

Telephone Number

Email Address

I certify that, to the best of my knowledge, the information contained in Part 3 of this application is complete and accurate.

Assessor's Signature

Date

PART 4: LGU ACTION/CERTIFICATION (LGU clerk must complete this section before submitting to the State Tax Commission)

Action taken by LGU:

Exemption Approved for _____ Years (6-15)

Exemption Approved for _____ Years ,
(11-17 qualified historic building)

Exemption Denied (include Resolution Denying)

Date of resolution approving/denying this application

Clerk's Name (First and Last)

Telephone Number

Email Address

Mailing Address

The State Tax Commission requires the following documents be filed for an administratively complete application:

1. Original Application

2. Legal description of the real property with parcel identification number

3. Resolution approving the zone.

4. Resolution approving the application.

5. **REHABILITATION APPLICATIONS ONLY.**

Statement by the assessor showing the taxable value of the rehabilitated facility not including the land, for the tax year immediately preceding the effective date of the rehabilitation.

City

State

ZIP Code

I certify that I have reviewed this application for complete and accurate information and determined that the subject property is located within a qualified Neighborhood Enterprise Zone.

I certify this application meets the requirements as outlined by Public Act 147 of 1992 and hereby request the State Tax Commission issue a Neighborhood Enterprise Zone Certificate.

Clerk Signature

Date

For faster service, the LGU should email the completed application and required documents to PTE@michigan.gov.

An additional submission option is to mail the completed application and required documents to:

Michigan Department of Treasury, State Tax Commission
P.O. Box 30471
Lansing, MI 48909

Note: Additional documentation will be required for further processing of the application and for the issuance of the certificate of exemption. These documents should be sent by email or mail directly to the State of Michigan only after the original application is filed with the LGU clerk and approved by the LGU. See the instruction sheet attached.

Any questions concerning the completion of this application should be directed to the LGU clerk.

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/13/2023 12:32 PM

Parcel:	006-426-403-21	Current Class:	407.RESIDENTIAL CONDOMINIUMS
Owner's Name:	COMMONWEALTH DEV & PROPERTIES LLC	Previous Class:	407.RESIDENTIAL CONDOMINIUMS
Property Address:	232 AUSEON CT HILLSDALE, MI 49242	Taxable Status:	TAXABLE
Liber/Page:	1762/0201	Prev. Taxable Statu:	TAXABLE
Split:	06/24/2020	Gov. Unit:	006 CITY OF HILLSDALE
Public Impr.:	None	MAP #	WARD 4
Topography:	None	School:	30020 HILLSDALE COMM PUBLIC SCHS
		Neighborhood:	4N4HC 4N4HC.WARD 4 NEZ 4 HILLSDALE COMMONS

Mailing Address:

COMMONWEALTH DEV & PROPERTIES
LLC
HILLSDALE COMMONS CONDOMINIUM
590 OLDS ST
JONESVILLE MI 49250

Description:

UNIT HC #21 HILLSDALE COMMONS CONDO SEC 26 T6S R3W FOURTH WARD
SPLIT ON 06/22/2020 FROM 006-426-401-06;

Most Recent Sale Information

None Found

Most Recent Permit Information

None Found

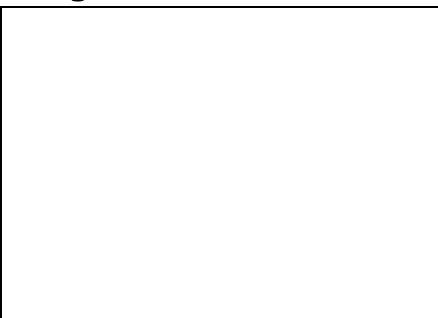
Physical Property Characteristics

2024 S.E.V.:	Tentative	2024 Taxable:	Tentative	Lot Dimensions:	
2023 S.E.V.:	2,000	2023 Taxable:	2,000	Acreage:	0.00
Zoning:	RD-1	Land Value:	4,030	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

None

Image



2023 Land Taxes:		\$		83.98			
Without NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 non-NEZ taxes adjusted for land and PRE		Comments	NEZ Certificate info
1	12/8/2020	\$ 323,000	\$ 162,000	\$	6,754.95	Not eligible (developer did not file applications prior to pulling permits); returned to developer, resold 6/28/2023 for \$355,000	n/a
2	11/23/2020	\$ 275,905	\$ 142,500	\$	5,906.61	Not eligible (developer did not file applications prior to pulling permits)	n/a
3	6/1/2021	\$ 324,000	\$ 163,000	\$	6,797.16	Not eligible (developer did not file applications prior to pulling permits), not owner's principal residence	n/a
4	10/20/2021	\$ 294,500	\$ 144,000	\$	5,969.66	Not eligible (developer did not file applications prior to pulling permits), owner is appealing disabled veterans exemption denial for 2023	n/a
6	10/28/2021	\$ 309,215	\$ 150,150	\$	6,228.21	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2020-159 (abeyance expires 12/15/2023)
9	5/2/2022	\$ 393,925	\$ 181,200	\$	7,565.49	not owner's principal residence	N2021-142 (abeyance expires 10/12/2024)
10	1/26/2023	\$ 399,900	\$ 176,105	\$	7,319.32	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2021-140 (abeyance expires 10/12/2024)
13	3/2/2023	\$ 447,946	\$ 137,800	\$	5,733.31	not completed as of 12/31/2022, not owner's principal residence	N2021-135 (abeyance expires 10/12/2024)
14	12/22/2022	\$ 402,365	\$ 182,600	\$	7,624.61	not owner's principal residence	N2021-137 (abeyance expires 10/12/2024)
Averages		\$ 352,306	\$ 159,928	\$	6,655.48		

With NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 taxes with NEZ (building only)		Comments	NEZ Certificate info
5	9/10/2021	\$ 392,906	\$ 178,700	\$	3,157.58		N2020-158 thru 12/30/2031
7	7/6/2021	\$ 286,015	\$ 144,100	\$	2,546.17		N2020-160 thru 12/30/2031
8	12/20/2021	\$ 302,370	\$ 158,500	\$	2,800.62		N2020-161 thru 12/30/2031
Averages		\$ 327,097	\$ 160,433	\$	2,834.79		

Average difference: \$ 3,820.69
 x 10 years
 \$ 38,206.90 Total average tax loss per unit over 10 year abatement

The reported costs for the condominium units from the applications are not representative of the actual market value. Therefore this analysis is based on sales and taxes of existing units constructed and sold since 2020 in this condominium development.

Resolution # _____

A Resolution to Approve an Application for Neighborhood Enterprise Zone New Certificate, PA 147 of 1992, as amended

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on August 7, 2023, at City Hall, 97 North Broad Street in Hillsdale, Michigan at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____, and supported by _____.

Resolution # _____ Approving an Application for a Neighborhood Enterprise Zone New Certificate for Commonwealth Developments Located at 232 Auseon Court, Hillsdale, Michigan 49242.

WHEREAS, the Common City Council of the City of Hillsdale established a Neighborhood Enterprise Zone on November 18, 2019 as required under PA 147 of 1992 after a public hearing held on October 21, 2019; and

WHEREAS, the applicant Commonwealth Developments is not delinquent on any taxes related to the facility, and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Hillsdale

Be and hereby is granted a Neighborhood Enterprise Zone New Facility Exemption for property located at 232 Auseon Court, Hillsdale, Michigan for a period of 10 years, beginning December 31, 2024, and ending December 31, 2034, pursuant to the provisions of PA 147 of 1992, as amended.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

PASSED IN OPEN COUNCIL MEETING THIS 7th DAY OF AUGUST, 2023.

Adam Stockford, Mayor

ATTEST:

Katy Price, Clerk

Application for Neighborhood Enterprise Zone Certificate

Issued under authority of Public Act 147 of 1992, as amended.

RECEIVED

CITY OF HILLSDALE
OFFICE OF THE SALE
OFFICE CLERK'S OFFICE

JUL 05 2023

LOCAL GOVERNMENTAL UNIT USE ONLY	
Application No.	Date Received
STATE USE ONLY	
Application No.	Date Received

Read the instructions before completing the application. This application must be filed prior to building permit issuance and start of construction except as provided in the instructions on page 3 under Owner/Developer/Applicant Instructions. Initially file completed application and required documents with the clerk of the local governmental unit. The additional documents to complete the application process will be required by the State of Michigan only after the original application is filed with the clerk of the local governmental unit (LGU). This form is also used to file a request for the transfer of an existing NEZ certificate. Please see the instruction sheet.

PART 1: OWNER/DEVELOPER/APPLICANT INFORMATION (Applicant must complete all fields)			
Owner/Developer/Applicant Name Commonwealth Developments		Type of NEZ <input type="checkbox"/> OPRA eligible community NEZ <input type="checkbox"/> Workforce Housing NEZ	
Facility's Street Address 233 Auseon Court		Type of Approval Requested <input checked="" type="checkbox"/> New Facility <input type="checkbox"/> Rehabilitated Facility <input type="checkbox"/> Transfer (1 copy only)	
City Hillsdale	State MI	ZIP Code 49242	No. of years requested for exemption (6-15; 11-17 for qualified historic building) 10
Name of City, Township or Village (taxing authority) Hillsdale		Is the facility owned or rented by occupants? <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Rented	
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village		Type of Property (check one) <input type="checkbox"/> House <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Condo <input type="checkbox"/> Loft <input type="checkbox"/> Apartment - No. of Units _____	
County Hillsdale		Date district was established 11/18/2019	
School District Hillsdale Community		Name or Number of Neighborhood Enterprise Zone #4	
Name of LGU that established district City of Hillsdale		Estimated Project Cost (per unit) \$220,000.00	
Identify who will complete the work <input checked="" type="checkbox"/> Licensed Contractor <input type="checkbox"/> Other _____		Describe the general nature and extent of the new construction or rehabilitation to be undertaken. For rehabilitation only, include Breakdown of Investment Costs. Use attachments if necessary. Hillsdale Commons Condominium Development - 36 units New underground water and sewer and all new utilities All units on poured concrete basements Concrete sidewalks and asphalt roads	
		Property Purchase - \$146,000 Buildings & Infrastructure - \$7,500,000 Overhead - \$370,000	
Timetable for undertaking and completing the rehabilitation or construction of the facility.		Additional Timetable Information (if applicable)	
Begin Date 7/10/23	End Date 12/31/23		
PART 2: OWNER/DEVELOPER/APPLICANT CERTIFICATION			
Contact Name Rick Jenkins			
Contact Telephone Number (517) 849-7470		Contact Email Address rjenkins@stollicm.com	
Owner/Developer/Applicant Name Steve Stoll			
Owner/Developer/Applicant Telephone Number (517) 849-7470		Owner/Developer/Applicant Email Address sstoll@stollicm.com	
Owner/Developer/Applicant Mailing Address 590 Olds St.		City	State ZIP Code
I certify the information contained herein and in the attachments are true and that all are truly descriptive of the residential real property for which this application is being submitted.			
I certify I am familiar with the provisions of Public Act 147 of 1992, as amended, (MCL 207.771 to 207.787) and to the best of my knowledge, I have complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the LGU and the issuance of Neighborhood Enterprise Zone Certificate by the State Tax Commission.			
Owner/Developer/Applicant Signature 		Date 7/5/23	

PART 3: LGU ASSESSOR CERTIFICATION (Assessor of LGU must complete Part 3)

The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Neighborhood Enterprise Zone Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Neighborhood Enterprise Zone Exemption that would also put the same property on the Neighborhood Enterprise Zone specific tax roll.

By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Neighborhood Enterprise Zone Exemption specific tax roll and not on any other specific tax roll.

Name of LGU

Name of Assessor (First and last name)

Telephone Number

Email Address

I certify that, to the best of my knowledge, the information contained in Part 3 of this application is complete and accurate.

Assessor's Signature

Date

PART 4: LGU ACTION/CERTIFICATION (LGU clerk must complete this section before submitting to the State Tax Commission)

Action taken by LGU:

Exemption Approved for _____ Years (6-15)

Exemption Approved for _____ Years
(11-17 qualified historic building)

Exemption Denied (include Resolution Denying)

Date of resolution approving/denying this application

Clerk's Name (First and Last)

Telephone Number

Email Address

Mailing Address

The State Tax Commission requires the following documents be filed for an administratively complete application:

1. Original Application

2. Legal description of the real property with parcel identification number

3. Resolution approving the zone.

4. Resolution approving the application.

5. **REHABILITATION APPLICATIONS ONLY.**

Statement by the assessor showing the taxable value of the rehabilitated facility not including the land, for the tax year immediately preceding the effective date of the rehabilitation.

City

State

ZIP Code

I certify that I have reviewed this application for complete and accurate information and determined that the subject property is located within a qualified Neighborhood Enterprise Zone.

I certify this application meets the requirements as outlined by Public Act 147 of 1992 and hereby request the State Tax Commission issue a Neighborhood Enterprise Zone Certificate.

Clerk Signature

Date

For faster service, the LGU should email the completed application and required documents to PTE@michigan.gov.

An additional submission option is to mail the completed application and required documents to:

Michigan Department of Treasury, State Tax Commission
P.O. Box 30471
Lansing, MI 48909

Note: Additional documentation will be required for further processing of the application and for the issuance of the certificate of exemption. These documents should be sent by email or mail directly to the State of Michigan only after the original application is filed with the LGU clerk and approved by the LGU. See the instruction sheet attached.

Any questions concerning the completion of this application should be directed to the LGU clerk.

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/13/2023 12:32 PM

Parcel:	006-426-403-20	Current Class:	407.RESIDENTIAL CONDOMINIUMS
Owner's Name:	COMMONWEALTH DEV & PROPERTIES LLC	Previous Class:	407.RESIDENTIAL CONDOMINIUMS
Property Address:	233 AUSEON CT HILLSDALE, MI 49242	Taxable Status:	TAXABLE
Liber/Page:	1762/0201	Prev. Taxable Statu:	TAXABLE
Split:	06/24/2020	Gov. Unit:	006 CITY OF HILLSDALE
Public Impr.:	None	MAP #	WARD 4
Topography:	None	School:	30020 HILLSDALE COMM PUBLIC SCHS
		Neighborhood:	4N4HC 4N4HC.WARD 4 NEZ 4 HILLSDALE COMMONS

Mailing Address:

COMMONWEALTH DEV & PROPERTIES
LLC
HILLSDALE COMMONS CONDOMINIUM
590 OLDS ST
JONESVILLE MI 49250

Description:

UNIT HC #20 HILLSDALE COMMONS CONDO SEC 26 T6S R3W FOURTH WARD
SPLIT ON 06/22/2020 FROM 006-426-401-06;

Most Recent Sale Information

None Found

Most Recent Permit Information

None Found

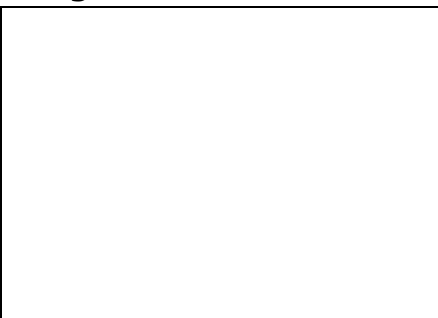
Physical Property Characteristics

2024 S.E.V.:	Tentative	2024 Taxable:	Tentative	Lot Dimensions:	
2023 S.E.V.:	2,000	2023 Taxable:	2,000	Acreage:	0.00
Zoning:	RD-1	Land Value:	4,030	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

None

Image



2023 Land Taxes:		\$		83.98			
Without NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 non-NEZ taxes adjusted for land and PRE		Comments	NEZ Certificate info
1	12/8/2020	\$ 323,000	\$ 162,000	\$	6,754.95	Not eligible (developer did not file applications prior to pulling permits); returned to developer, resold 6/28/2023 for \$355,000	n/a
2	11/23/2020	\$ 275,905	\$ 142,500	\$	5,906.61	Not eligible (developer did not file applications prior to pulling permits)	n/a
3	6/1/2021	\$ 324,000	\$ 163,000	\$	6,797.16	Not eligible (developer did not file applications prior to pulling permits), not owner's principal residence	n/a
4	10/20/2021	\$ 294,500	\$ 144,000	\$	5,969.66	Not eligible (developer did not file applications prior to pulling permits), owner is appealing disabled veterans exemption denial for 2023	n/a
6	10/28/2021	\$ 309,215	\$ 150,150	\$	6,228.21	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2020-159 (abeyance expires 12/15/2023)
9	5/2/2022	\$ 393,925	\$ 181,200	\$	7,565.49	not owner's principal residence	N2021-142 (abeyance expires 10/12/2024)
10	1/26/2023	\$ 399,900	\$ 176,105	\$	7,319.32	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2021-140 (abeyance expires 10/12/2024)
13	3/2/2023	\$ 447,946	\$ 137,800	\$	5,733.31	not completed as of 12/31/2022, not owner's principal residence	N2021-135 (abeyance expires 10/12/2024)
14	12/22/2022	\$ 402,365	\$ 182,600	\$	7,624.61	not owner's principal residence	N2021-137 (abeyance expires 10/12/2024)
Averages		\$ 352,306	\$ 159,928	\$	6,655.48		

With NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 taxes with NEZ (building only)		Comments	NEZ Certificate info
5	9/10/2021	\$ 392,906	\$ 178,700	\$	3,157.58		N2020-158 thru 12/30/2031
7	7/6/2021	\$ 286,015	\$ 144,100	\$	2,546.17		N2020-160 thru 12/30/2031
8	12/20/2021	\$ 302,370	\$ 158,500	\$	2,800.62		N2020-161 thru 12/30/2031
Averages		\$ 327,097	\$ 160,433	\$	2,834.79		

Average difference: \$ 3,820.69
 x 10 years
 \$ 38,206.90 Total average tax loss per unit over 10 year abatement

The reported costs for the condominium units from the applications are not representative of the actual market value. Therefore this analysis is based on sales and taxes of existing units constructed and sold since 2020 in this condominium development.

Resolution # _____

A Resolution to Approve an Application for Neighborhood Enterprise Zone New Certificate, PA 147 of 1992, as amended

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on August 7, 2023, at City Hall, 97 North Broad Street in Hillsdale, Michigan at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____, and supported by _____.

Resolution # _____ Approving an Application for a Neighborhood Enterprise Zone New Certificate for Commonwealth Developments Located at 233 Auseon Court, Hillsdale, Michigan 49242.

WHEREAS, the Common City Council of the City of Hillsdale established a Neighborhood Enterprise Zone on November 18, 2019 as required under PA 147 of 1992 after a public hearing held on October 21, 2019; and

WHEREAS, the applicant Commonwealth Developments is not delinquent on any taxes related to the facility, and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Hillsdale

Be and hereby is granted a Neighborhood Enterprise Zone New Facility Exemption for property located at 233 Auseon Court, Hillsdale, Michigan for a period of 10 years, beginning December 31, 2024, and ending December 31, 2034, pursuant to the provisions of PA 147 of 1992, as amended.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

PASSED IN OPEN COUNCIL MEETING THIS 7th DAY OF AUGUST, 2023.

Adam Stockford, Mayor

ATTEST:

Katy Price, Clerk

Application for Neighborhood Enterprise Zone Certificate

Issued under authority of Public Act 147 of 1992, as amended.

RECEIVED

JUL 05 2023

LOCAL GOVERNMENTAL UNIT USE ONLY	
Application No.	Date Received
STATE USE ONLY	
Application No.	Date Received

Read the instructions before completing the application. This application must be filed prior to building permit issuance and start of construction except as provided in the instructions on page 3 under Owner/Developer/Applicant Instructions. Initially file completed application and required documents with the clerk of the local governmental unit. The additional documents to complete the application process will be required by the State of Michigan only after the original application is filed with the clerk of the local governmental unit (LGU). This form is also used to file a request for the transfer of an existing NEZ certificate. Please see the instruction sheet.

PART 1: OWNER/DEVELOPER/APPLICANT INFORMATION (Applicant must complete all fields)

Owner/Developer/Applicant Name Commonwealth Developments			Type of NEZ <input type="checkbox"/> OPRA eligible community NEZ <input type="checkbox"/> Workforce Housing NEZ		
Facility's Street Address 234 Auseon Court			Type of Approval Requested <input checked="" type="checkbox"/> New Facility <input type="checkbox"/> Rehabilitated Facility <input type="checkbox"/> Transfer (1 copy only)		
City Hillsdale	State MI	ZIP Code 49242	No. of years requested for exemption (6-15; 11-17 for qualified historic building) 10		
Name of City, Township or Village (taxing authority) Hillsdale			Is the facility owned or rented by occupants? <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Rented		
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village			Type of Property (check one) <input type="checkbox"/> House <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Condo <input type="checkbox"/> Loft <input type="checkbox"/> Apartment - No. of Units _____		
County Hillsdale			Date district was established 11/18/2019		
Name of LGU that established district City of Hillsdale		Name or Number of Neighborhood Enterprise Zone #4		Date district was established 11/18/2019	
Identify who will complete the work <input checked="" type="checkbox"/> Licensed Contractor <input type="checkbox"/> Other _____			Estimated Project Cost (per unit) \$220,000.00		

Describe the general nature and extent of the new construction or rehabilitation to be undertaken. For rehabilitation only, include Breakdown of Investment Costs. Use attachments if necessary.

Hillsdale Commons Condominium Development - 36 units
New underground water and sewer and all new utilities
All units on poured concrete basements
Concrete sidewalks and asphalt roads

Property Purchase - \$146,000
Buildings & Infrastructure - \$7,500,000
Overhead - \$370,000


Timetable for undertaking and completing the rehabilitation or construction of the facility.		Additional Timetable Information (if applicable)	
Begin Date 7/10/23	End Date 12/31/23		

PART 2: OWNER/DEVELOPER/APPLICANT CERTIFICATION

Contact Name Rick Jenkins			
Contact Telephone Number (517) 849-7470		Contact Email Address rjenkins@stollcm.com	
Owner/Developer/Applicant Name Steve Stoll			
Owner/Developer/Applicant Telephone Number (517) 849-7470		Owner/Developer/Applicant Email Address sstoll@stollcm.com	
Owner/Developer/Applicant Mailing Address 590 Olds St.		City	State
		ZIP Code	

I certify the information contained herein and in the attachments are true and that all are truly descriptive of the residential real property for which this application is being submitted.

I certify I am familiar with the provisions of Public Act 147 of 1992, as amended, (MCL 207.771 to 207.787) and to the best of my knowledge, I have complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the LGU and the issuance of Neighborhood Enterprise Zone Certificate by the State Tax Commission.

Owner/Developer/Applicant Signature 	Date 7/5/23
---------------------------------------------------------------------------------------------------------------------------	----------------

PART 3: LGU ASSESSOR CERTIFICATION (Assessor of LGU must complete Part 3)

The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Neighborhood Enterprise Zone Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Neighborhood Enterprise Zone Exemption that would also put the same property on the Neighborhood Enterprise Zone specific tax roll.

By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Neighborhood Enterprise Zone Exemption specific tax roll and not on any other specific tax roll.

Name of LGU

Name of Assessor (First and last name)

Telephone Number

Email Address

I certify that, to the best of my knowledge, the information contained in Part 3 of this application is complete and accurate.

Assessor's Signature

Date

PART 4: LGU ACTION/CERTIFICATION (LGU clerk must complete this section before submitting to the State Tax Commission)

Action taken by LGU:

Exemption Approved for _____ Years (6-15)

Exemption Approved for _____ Years
(11-17 qualified historic building)

Exemption Denied (include Resolution Denying)

Date of resolution approving/denying this application

Clerk's Name (First and Last)

Telephone Number

Email Address

Mailing Address

The State Tax Commission requires the following documents be filed for an administratively complete application:

1. Original Application

2. Legal description of the real property with parcel identification number

3. Resolution approving the zone.

4. Resolution approving the application.

5. **REHABILITATION APPLICATIONS ONLY.**

Statement by the assessor showing the taxable value of the rehabilitated facility not including the land, for the tax year immediately preceding the effective date of the rehabilitation.

City

State

ZIP Code

I certify that I have reviewed this application for complete and accurate information and determined that the subject property is located within a qualified Neighborhood Enterprise Zone.

I certify this application meets the requirements as outlined by Public Act 147 of 1992 and hereby request the State Tax Commission issue a Neighborhood Enterprise Zone Certificate.

Clerk Signature

Date

For faster service, the LGU should email the completed application and required documents to PTE@michigan.gov.

An additional submission option is to mail the completed application and required documents to:

Michigan Department of Treasury, State Tax Commission
P.O. Box 30471
Lansing, MI 48909

Note: Additional documentation will be required for further processing of the application and for the issuance of the certificate of exemption. These documents should be sent by email or mail directly to the State of Michigan only after the original application is filed with the LGU clerk and approved by the LGU. See the instruction sheet attached.

Any questions concerning the completion of this application should be directed to the LGU clerk.

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/13/2023 12:32 PM

Parcel:	006-426-403-22	Current Class:	407.RESIDENTIAL CONDOMINIUMS
Owner's Name:	COMMONWEALTH DEV & PROPERTIES LLC	Previous Class:	407.RESIDENTIAL CONDOMINIUMS
Property Address:	234 AUSEON CT HILLSDALE, MI 49242	Taxable Status:	TAXABLE
Liber/Page:	1762/0201	Prev. Taxable Statu:	TAXABLE
Split:	06/24/2020	Gov. Unit:	006 CITY OF HILLSDALE
Public Impr.:	None	MAP #	WARD 4
Topography:	None	School:	30020 HILLSDALE COMM PUBLIC SCHS
		Neighborhood:	4N4HC 4N4HC.WARD 4 NEZ 4 HILLSDALE COMMONS

Mailing Address:

COMMONWEALTH DEV & PROPERTIES
LLC
HILLSDALE COMMONS CONDOMINIUM
590 OLDS ST
JONESVILLE MI 49250

Description:

UNIT HC #22 HILLSDALE COMMONS CONDO SEC 26 T6S R3W FOURTH WARD
SPLIT ON 06/22/2020 FROM 006-426-401-06;

Most Recent Sale Information

None Found

Most Recent Permit Information

None Found

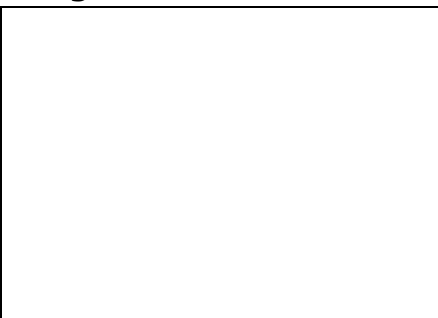
Physical Property Characteristics

2024 S.E.V.:	Tentative	2024 Taxable:	Tentative	Lot Dimensions:	
2023 S.E.V.:	2,000	2023 Taxable:	2,000	Acreage:	0.00
Zoning:	RD-1	Land Value:	4,030	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

None

Image



2023 Land Taxes:		\$ 83.98				
Without NEZ						
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 non-NEZ taxes adjusted for land and PRE	Comments	NEZ Certificate info
1	12/8/2020	\$ 323,000	\$ 162,000	\$ 6,754.95	Not eligible (developer did not file applications prior to pulling permits); returned to developer, resold 6/28/2023 for \$355,000	n/a
2	11/23/2020	\$ 275,905	\$ 142,500	\$ 5,906.61	Not eligible (developer did not file applications prior to pulling permits)	n/a
3	6/1/2021	\$ 324,000	\$ 163,000	\$ 6,797.16	Not eligible (developer did not file applications prior to pulling permits), not owner's principal residence	n/a
4	10/20/2021	\$ 294,500	\$ 144,000	\$ 5,969.66	Not eligible (developer did not file applications prior to pulling permits), owner is appealing disabled veterans exemption denial for 2023	n/a
6	10/28/2021	\$ 309,215	\$ 150,150	\$ 6,228.21	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2020-159 (abeyance expires 12/15/2023)
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10	1/26/2023	\$ 399,900	\$ 176,105	\$ 7,319.32	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2021-140 (abeyance expires 10/12/2024)
13	3/2/2023	\$ 447,946	\$ 137,800	\$ 5,733.31	not completed as of 12/31/2022, not owner's principal residence	N2021-135 (abeyance expires 10/12/2024)
14	12/22/2022	\$ 402,365	\$ 182,600	\$ 7,624.61	not owner's principal residence	N2021-137 (abeyance expires 10/12/2024)
Averages		\$ 352,306	\$ 159,928	\$ 6,655.48		

With NEZ						
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 taxes with NEZ (building only)	Comments	NEZ Certificate info
5	9/10/2021	\$ 392,906	\$ 178,700	\$ 3,157.58		N2020-158 thru 12/30/2031
7	7/6/2021	\$ 286,015	\$ 144,100	\$ 2,546.17		N2020-160 thru 12/30/2031
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Average difference: \$ 3,820.69
 x 10 years
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The reported costs for the condominium units from the applications are not representative of the actual market value. Therefore this analysis is based on sales and taxes of existing units constructed and sold since 2020 in this condominium development.

Resolution # _____

A Resolution to Approve an Application for Neighborhood Enterprise Zone New Certificate, PA 147 of 1992, as amended

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on August 7, 2023, at City Hall, 97 North Broad Street in Hillsdale, Michigan at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____, and supported by _____.

Resolution # _____ Approving an Application for a Neighborhood Enterprise Zone New Certificate for Commonwealth Developments Located at 234 Auseon Court, Hillsdale, Michigan 49242.

WHEREAS, the Common City Council of the City of Hillsdale established a Neighborhood Enterprise Zone on November 18, 2019 as required under PA 147 of 1992 after a public hearing held on October 21, 2019; and

WHEREAS, the applicant Commonwealth Developments is not delinquent on any taxes related to the facility, and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Hillsdale

Be and hereby is granted a Neighborhood Enterprise Zone New Facility Exemption for property located at 234 Auseon Court, Hillsdale, Michigan for a period of 10 years, beginning December 31, 2024, and ending December 31, 2034, pursuant to the provisions of PA 147 of 1992, as amended.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

PASSED IN OPEN COUNCIL MEETING THIS 7th DAY OF AUGUST, 2023.

Adam Stockford, Mayor

ATTEST:

Katy Price, Clerk

Application for Neighborhood Enterprise Zone Certificate

Issued under authority of Public Act 147 of 1992, as amended.

RECEIVED

JUL 05 2023

LOCAL GOVERNMENTAL UNIT USE ONLY	
Application No.	Date Received
STATE USE ONLY	
Application No.	Date Received

Read the instructions before completing the application. This application must be filed prior to building permit issuance and start of construction except as provided in the instructions on page 3, under Owner/Developer/Applicant Instructions. Initially file completed application and required documents with the clerk of the local governmental unit. The additional documents to complete the application process will be required by the State of Michigan only after the original application is filed with the clerk of the local governmental unit (LGU). This form is also used to file a request for the transfer of an existing NEZ certificate. Please see the instruction sheet.

PART 1: OWNER/DEVELOPER/APPLICANT INFORMATION (Applicant must complete all fields)			
Owner/Developer/Applicant Name Commonwealth Developments		Type of NEZ <input type="checkbox"/> OPRA eligible community NEZ <input type="checkbox"/> Workforce Housing NEZ	
Facility's Street Address 235 Auseon Court		Type of Approval Requested <input checked="" type="checkbox"/> New Facility <input type="checkbox"/> Rehabilitated Facility <input type="checkbox"/> Transfer (1 copy only)	
City Hillsdale	State MI	ZIP Code 49242	No. of years requested for exemption (6-15; 11-17 for qualified historic building) 10
Name of City, Township or Village (taxing authority) Hillsdale		Is the facility owned or rented by occupants? <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Rented	
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village		Type of Property (check one) <input type="checkbox"/> House <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Condo <input type="checkbox"/> Loft <input type="checkbox"/> Apartment - No. of Units _____	
County Hillsdale		School District Hillsdale Community	
Name of LGU that established district City of Hillsdale		Name or Number of Neighborhood Enterprise Zone #4	Date district was established 11/18/2019
Identify who will complete the work <input checked="" type="checkbox"/> Licensed Contractor <input type="checkbox"/> Other _____		Estimated Project Cost (per unit) \$220,000.00	
Describe the general nature and extent of the new construction or rehabilitation to be undertaken. For rehabilitation only, include Breakdown of Investment Costs. Use attachments if necessary. Hillsdale Commons Condominium Development - 36 units New underground water and sewer and all new utilities All units on poured concrete basements Concrete sidewalks and asphalt roads			
		Property Purchase - \$146,000 Buildings & Infrastructure - \$7,500,000 Overhead - \$370,000	
Timetable for undertaking and completing the rehabilitation or construction of the facility.		Additional Timetable Information (if applicable)	
Begin Date 7/10/23	End Date 12/31/23		
PART 2: OWNER/DEVELOPER/APPLICANT CERTIFICATION			
Contact Name Rick Jenkins			
Contact Telephone Number (517) 849-7470		Contact Email Address rjenkins@stollcm.com	
Owner/Developer/Applicant Name Steve Stoll			
Owner/Developer/Applicant Telephone Number (517) 849-7470		Owner/Developer/Applicant Email Address sstoll@stollcm.com	
Owner/Developer/Applicant Mailing Address 590 Olds St.		City	State
		ZIP Code	
<i>I certify the information contained herein and in the attachments are true and that all are truly descriptive of the residential real property for which this application is being submitted.</i>			
<i>I certify I am familiar with the provisions of Public Act 147 of 1992, as amended, (MCL 207.771 to 207.787) and to the best of my knowledge, I have complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the LGU and the issuance of Neighborhood Enterprise Zone Certificate by the State Tax Commission.</i>			
Owner/Developer/Applicant Signature 		Date 7/5/23	

PART 3: LGU ASSESSOR CERTIFICATION (Assessor of LGU must complete Part 3)

The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Neighborhood Enterprise Zone Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Neighborhood Enterprise Zone Exemption that would also put the same property on the Neighborhood Enterprise Zone specific tax roll.

By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Neighborhood Enterprise Zone Exemption specific tax roll and not on any other specific tax roll.

Name of LGU

Name of Assessor (First and last name)

Telephone Number

Email Address

I certify that, to the best of my knowledge, the information contained in Part 3 of this application is complete and accurate.

Assessor's Signature

Date

PART 4: LGU ACTION/CERTIFICATION (LGU clerk must complete this section before submitting to the State Tax Commission)

Action taken by LGU:

Exemption Approved for _____ Years (6-15)

Exemption Approved for _____ Years
(11-17 qualified historic building)

Exemption Denied (include Resolution Denying)

Date of resolution approving/denying this application

Clerk's Name (First and Last)

Telephone Number

Email Address

Mailing Address

The State Tax Commission requires the following documents be filed for an administratively complete application:

1. Original Application

2. Legal description of the real property with parcel identification number

3. Resolution approving the zone.

4. Resolution approving the application.

5. **REHABILITATION APPLICATIONS ONLY.**

Statement by the assessor showing the taxable value of the rehabilitated facility not including the land, for the tax year immediately preceding the effective date of the rehabilitation.

I certify that I have reviewed this application for complete and accurate information and determined that the subject property is located within a qualified Neighborhood Enterprise Zone.

I certify this application meets the requirements as outlined by Public Act 147 of 1992 and hereby request the State Tax Commission issue a Neighborhood Enterprise Zone Certificate.

Clerk Signature

Date

For faster service, the LGU should email the completed application and required documents to PTE@michigan.gov.

An additional submission option is to mail the completed application and required documents to:

Michigan Department of Treasury, State Tax Commission
P.O. Box 30471
Lansing, MI 48909

Note: Additional documentation will be required for further processing of the application and for the issuance of the certificate of exemption. These documents should be sent by email or mail directly to the State of Michigan only after the original application is filed with the LGU clerk and approved by the LGU. See the instruction sheet attached.

Any questions concerning the completion of this application should be directed to the LGU clerk.

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/13/2023 12:32 PM

Parcel:	006-426-403-19	Current Class:	407.RESIDENTIAL CONDOMINIUMS
Owner's Name:	COMMONWEALTH DEV & PROPERTIES LLC	Previous Class:	407.RESIDENTIAL CONDOMINIUMS
Property Address:	235 AUSEON CT HILLSDALE, MI 49242	Taxable Status:	TAXABLE
Liber/Page:	1762/0201	Prev. Taxable Statu:	TAXABLE
Split:	06/24/2020	Gov. Unit:	006 CITY OF HILLSDALE
Public Impr.:	None	MAP #	WARD 4
Topography:	None	School:	30020 HILLSDALE COMM PUBLIC SCHS
		Neighborhood:	4N4HC 4N4HC.WARD 4 NEZ 4 HILLSDALE COMMONS

Mailing Address:

COMMONWEALTH DEV & PROPERTIES
LLC
HILLSDALE COMMONS CONDOMINIUM
590 OLDS ST
JONESVILLE MI 49250

Description:

UNIT HC #19 HILLSDALE COMMONS CONDO SEC 27 T6S R3W FOURTH WARD
SPLIT ON 06/22/2020 FROM 006-426-401-06;

Most Recent Sale Information

None Found

Most Recent Permit Information

None Found

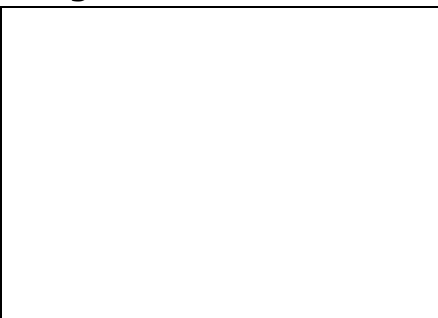
Physical Property Characteristics

2024 S.E.V.:	Tentative	2024 Taxable:	Tentative	Lot Dimensions:	
2023 S.E.V.:	2,000	2023 Taxable:	2,000	Acreage:	0.00
Zoning:	RD-1	Land Value:	4,030	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

None

Image



2023 Land Taxes:		\$		83.98			
Without NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 non-NEZ taxes adjusted for land and PRE		Comments	NEZ Certificate info
1	12/8/2020	\$ 323,000	\$ 162,000	\$	6,754.95	Not eligible (developer did not file applications prior to pulling permits); returned to developer, resold 6/28/2023 for \$355,000	n/a
2	11/23/2020	\$ 275,905	\$ 142,500	\$	5,906.61	Not eligible (developer did not file applications prior to pulling permits)	n/a
3	6/1/2021	\$ 324,000	\$ 163,000	\$	6,797.16	Not eligible (developer did not file applications prior to pulling permits), not owner's principal residence	n/a
4	10/20/2021	\$ 294,500	\$ 144,000	\$	5,969.66	Not eligible (developer did not file applications prior to pulling permits), owner is appealing disabled veterans exemption denial for 2023	n/a
6	10/28/2021	\$ 309,215	\$ 150,150	\$	6,228.21	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2020-159 (abeyance expires 12/15/2023)
9	5/2/2022	\$ 393,925	\$ 181,200	\$	7,565.49	not owner's principal residence	N2021-142 (abeyance expires 10/12/2024)
10	1/26/2023	\$ 399,900	\$ 176,105	\$	7,319.32	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2021-140 (abeyance expires 10/12/2024)
13	3/2/2023	\$ 447,946	\$ 137,800	\$	5,733.31	not completed as of 12/31/2022, not owner's principal residence	N2021-135 (abeyance expires 10/12/2024)
14	12/22/2022	\$ 402,365	\$ 182,600	\$	7,624.61	not owner's principal residence	N2021-137 (abeyance expires 10/12/2024)
Averages		\$ 352,306	\$ 159,928	\$	6,655.48		

With NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 taxes with NEZ (building only)		Comments	NEZ Certificate info
5	9/10/2021	\$ 392,906	\$ 178,700	\$	3,157.58		N2020-158 thru 12/30/2031
7	7/6/2021	\$ 286,015	\$ 144,100	\$	2,546.17		N2020-160 thru 12/30/2031
8	12/20/2021	\$ 302,370	\$ 158,500	\$	2,800.62		N2020-161 thru 12/30/2031
Averages		\$ 327,097	\$ 160,433	\$	2,834.79		

Average difference: \$ 3,820.69
 x 10 years
 \$ 38,206.90 Total average tax loss per unit over 10 year abatement

The reported costs for the condominium units from the applications are not representative of the actual market value. Therefore this analysis is based on sales and taxes of existing units constructed and sold since 2020 in this condominium development.

Resolution # _____

A Resolution to Approve an Application for Neighborhood Enterprise Zone New Certificate, PA 147 of 1992, as amended

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on August 7, 2023, at City Hall, 97 North Broad Street in Hillsdale, Michigan at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____, and supported by _____.

Resolution # _____ Approving an Application for a Neighborhood Enterprise Zone New Certificate for Commonwealth Developments Located at 235 Auseon Court, Hillsdale, Michigan 49242.

WHEREAS, the Common City Council of the City of Hillsdale established a Neighborhood Enterprise Zone on November 18, 2019 as required under PA 147 of 1992 after a public hearing held on October 21, 2019; and

WHEREAS, the applicant Commonwealth Developments is not delinquent on any taxes related to the facility, and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Hillsdale

Be and hereby is granted a Neighborhood Enterprise Zone New Facility Exemption for property located at 235 Auseon Court, Hillsdale, Michigan for a period of 10 years, beginning December 31, 2024, and ending December 31, 2034, pursuant to the provisions of PA 147 of 1992, as amended.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

PASSED IN OPEN COUNCIL MEETING THIS 7th DAY OF AUGUST, 2023.

Adam Stockford, Mayor

ATTEST:

Katy Price, Clerk

Application for Neighborhood Enterprise Zone Certificate

Issued under authority of Public Act 147 of 1992, as amended.

RECEIVED
JUL 05 2023


LOCAL GOVERNMENTAL UNIT USE ONLY	
Application No.	Date Received
STATE USE ONLY	
Application No.	Date Received

Read the instructions before completing the application. This application must be filed prior to building permit issuance and start of construction except as provided in the instructions on page 3 under Owner/Developer/Applicant Instructions. Initially file completed application and required documents with the clerk of the local governmental unit. The additional documents to complete the application process will be required by the State of Michigan only after the original application is filed with the clerk of the local governmental unit (LGU). This form is also used to file a request for the transfer of an existing NEZ certificate. Please see the instruction sheet.

PART 1: OWNER/DEVELOPER/APPLICANT INFORMATION (Applicant must complete all fields)

Owner/Developer/Applicant Name Commonwealth Developments			Type of NEZ <input type="checkbox"/> OPRA eligible community NEZ <input type="checkbox"/> Workforce Housing NEZ		
Facility's Street Address 242 Auseon Court			Type of Approval Requested <input checked="" type="checkbox"/> New Facility <input type="checkbox"/> Rehabilitated Facility <input type="checkbox"/> Transfer (1 copy only)		
City Hillsdale	State MI	ZIP Code 49242	No. of years requested for exemption (8-15; 11-17 for qualified historic building) 10		
Name of City, Township or Village (taxing authority) Hillsdale			Is the facility owned or rented by occupants? <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Rented		
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village			Type of Property (check one) <input type="checkbox"/> House <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Condo <input type="checkbox"/> Loft <input type="checkbox"/> Apartment - No. of Units _____		
County Hillsdale		School District Hillsdale Community		Name of LGU that established district City of Hillsdale	
Name of LGU that established district City of Hillsdale		Name or Number of Neighborhood Enterprise Zone #4		Date district was established 11/18/2019	
Identify who will complete the work <input checked="" type="checkbox"/> Licensed Contractor <input type="checkbox"/> Other _____			Estimated Project Cost (per unit) \$220,000.00		
Describe the general nature and extent of the new construction or rehabilitation to be undertaken. For rehabilitation only, include Breakdown of Investment Costs. Use attachments if necessary. Hillsdale Commons Condominium Development - 36 units New underground water and sewer and all new utilities All units on poured concrete basements Concrete sidewalks and asphalt roads					
			Property Purchase - \$146,000 Buildings & Infrastructure - \$7,500,000 Overhead - \$370,000		
Timetable for undertaking and completing the rehabilitation or construction of the facility.			Additional Timetable Information (if applicable)		
Begin Date 7/10/23	End Date 12/31/23				

PART 2: OWNER/DEVELOPER/APPLICANT CERTIFICATION

Contact Name Rick Jenkins			
Contact Telephone Number (517) 849-7470		Contact Email Address rjenkins@stollcm.com	
Owner/Developer/Applicant Name Steve Stoll			
Owner/Developer/Applicant Telephone Number (517) 849-7470		Owner/Developer/Applicant Email Address sstoll@stollcm.com	
Owner/Developer/Applicant Mailing Address 590 Olds St.		City	State
<p><i>I certify the information contained herein and in the attachments are true and that all are truly descriptive of the residential real property for which this application is being submitted.</i></p> <p><i>I certify I am familiar with the provisions of Public Act 147 of 1992, as amended, (MCL 207.771 to 207.787) and to the best of my knowledge, I have complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the LGU and the issuance of Neighborhood Enterprise Zone Certificate by the State Tax Commission.</i></p>			
Owner/Developer/Applicant Signature 		Date 7/5/23	

PART 3: LGU ASSESSOR CERTIFICATION (Assessor of LGU must complete Part 3)

The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Neighborhood Enterprise Zone Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Neighborhood Enterprise Zone Exemption that would also put the same property on the Neighborhood Enterprise Zone specific tax roll.

By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Neighborhood Enterprise Zone Exemption specific tax roll and not on any other specific tax roll.

Name of LGU

Name of Assessor (First and last name)

Telephone Number

Email Address

I certify that, to the best of my knowledge, the information contained in Part 3 of this application is complete and accurate.

Assessor's Signature

Date

PART 4: LGU ACTION/CERTIFICATION (LGU clerk must complete this section before submitting to the State Tax Commission)

Action taken by LGU:

Exemption Approved for _____ Years (6-15)

Exemption Approved for _____ Years
(11-17 qualified historic building)

Exemption Denied (include Resolution Denying)

Date of resolution approving/denying this application

Clerk's Name (First and Last)

Telephone Number

Email Address

Mailing Address

The State Tax Commission requires the following documents be filed for an administratively complete application:

1. Original Application

2. Legal description of the real property with parcel identification number

3. Resolution approving the zone.

4. Resolution approving the application.

5. **REHABILITATION APPLICATIONS ONLY.**

Statement by the assessor showing the taxable value of the rehabilitated facility not including the land, for the tax year immediately preceding the effective date of the rehabilitation.

City

State

ZIP Code

I certify that I have reviewed this application for complete and accurate information and determined that the subject property is located within a qualified Neighborhood Enterprise Zone.

I certify this application meets the requirements as outlined by Public Act 147 of 1992 and hereby request the State Tax Commission issue a Neighborhood Enterprise Zone Certificate.

Clerk Signature

Date

For faster service, the LGU should email the completed application and required documents to PTE@michigan.gov.

An additional submission option is to mail the completed application and required documents to:

Michigan Department of Treasury, State Tax Commission
P.O. Box 30471
Lansing, MI 48909

Note: Additional documentation will be required for further processing of the application and for the issuance of the certificate of exemption. These documents should be sent by email or mail directly to the State of Michigan only after the original application is filed with the LGU clerk and approved by the LGU. See the instruction sheet attached.

Any questions concerning the completion of this application should be directed to the LGU clerk.

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/13/2023 12:32 PM

Parcel:	006-426-403-23	Current Class:	407.RESIDENTIAL CONDOMINIUMS
Owner's Name:	COMMONWEALTH DEV & PROPERTIES LLC	Previous Class:	407.RESIDENTIAL CONDOMINIUMS
Property Address:	242 AUSEON CT HILLSDALE, MI 49242	Taxable Status:	TAXABLE
Liber/Page:	1762/0201	Prev. Taxable Statu:	TAXABLE
Split:	06/24/2020	Gov. Unit:	006 CITY OF HILLSDALE
Public Impr.:	None	MAP #	WARD 4
Topography:	None	School:	30020 HILLSDALE COMM PUBLIC SCHS
		Neighborhood:	4N4HC 4N4HC.WARD 4 NEZ 4 HILLSDALE COMMONS

Mailing Address:

COMMONWEALTH DEV & PROPERTIES
LLC
HILLSDALE COMMONS CONDOMINIUM
590 OLDS ST
JONESVILLE MI 49250

Description:

UNIT HC #23 HILLSDALE COMMONS CONDO SEC 26 T6S R3W FOURTH WARD
SPLIT ON 06/22/2020 FROM 006-426-401-06;

Most Recent Sale Information

None Found

Most Recent Permit Information

None Found

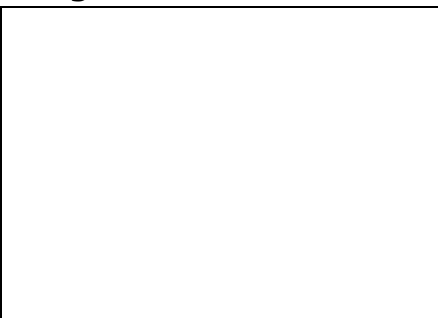
Physical Property Characteristics

2024 S.E.V.:	Tentative	2024 Taxable:	Tentative	Lot Dimensions:	
2023 S.E.V.:	2,000	2023 Taxable:	2,000	Acreage:	0.00
Zoning:	RD-1	Land Value:	4,030	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

None

Image



2023 Land Taxes:		\$ 83.98				
Without NEZ						
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 non-NEZ taxes adjusted for land and PRE	Comments	NEZ Certificate info
1	12/8/2020	\$ 323,000	\$ 162,000	\$ 6,754.95	Not eligible (developer did not file applications prior to pulling permits); returned to developer, resold 6/28/2023 for \$355,000	n/a
2	11/23/2020	\$ 275,905	\$ 142,500	\$ 5,906.61	Not eligible (developer did not file applications prior to pulling permits)	n/a
3	6/1/2021	\$ 324,000	\$ 163,000	\$ 6,797.16	Not eligible (developer did not file applications prior to pulling permits), not owner's principal residence	n/a
4	10/20/2021	\$ 294,500	\$ 144,000	\$ 5,969.66	Not eligible (developer did not file applications prior to pulling permits), owner is appealing disabled veterans exemption denial for 2023	n/a
6	10/28/2021	\$ 309,215	\$ 150,150	\$ 6,228.21	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2020-159 (abeyance expires 12/15/2023)
9	5/2/2022	\$ 393,925	\$ 181,200	\$ 7,565.49	not owner's principal residence	N2021-142 (abeyance expires 10/12/2024)
10	1/26/2023	\$ 399,900	\$ 176,105	\$ 7,319.32	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2021-140 (abeyance expires 10/12/2024)
13	3/2/2023	\$ 447,946	\$ 137,800	\$ 5,733.31	not completed as of 12/31/2022, not owner's principal residence	N2021-135 (abeyance expires 10/12/2024)
14	12/22/2022	\$ 402,365	\$ 182,600	\$ 7,624.61	not owner's principal residence	N2021-137 (abeyance expires 10/12/2024)
Averages		\$ 352,306	\$ 159,928	\$ 6,655.48		

With NEZ						
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 taxes with NEZ (building only)	Comments	NEZ Certificate info
5	9/10/2021	\$ 392,906	\$ 178,700	\$ 3,157.58		N2020-158 thru 12/30/2031
7	7/6/2021	\$ 286,015	\$ 144,100	\$ 2,546.17		N2020-160 thru 12/30/2031
8	12/20/2021	\$ 302,370	\$ 158,500	\$ 2,800.62		N2020-161 thru 12/30/2031
Averages		\$ 327,097	\$ 160,433	\$ 2,834.79		

Average difference: \$ 3,820.69
 x 10 years
 \$ 38,206.90 Total average tax loss per unit over 10 year abatement

The reported costs for the condominium units from the applications are not representative of the actual market value. Therefore this analysis is based on sales and taxes of existing units constructed and sold since 2020 in this condominium development.

Resolution # _____

A Resolution to Approve an Application for Neighborhood Enterprise Zone New Certificate, PA 147 of 1992, as amended

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on August 7, 2023, at City Hall, 97 North Broad Street in Hillsdale, Michigan at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____, and supported by _____.

Resolution # _____ Approving an Application for a Neighborhood Enterprise Zone New Certificate for Commonwealth Developments Located at 242 Auseon Court, Hillsdale, Michigan 49242.

WHEREAS, the Common City Council of the City of Hillsdale established a Neighborhood Enterprise Zone on November 18, 2019 as required under PA 147 of 1992 after a public hearing held on October 21, 2019; and

WHEREAS, the applicant Commonwealth Developments is not delinquent on any taxes related to the facility, and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Hillsdale

Be and hereby is granted a Neighborhood Enterprise Zone New Facility Exemption for property located at 242 Auseon Court, Hillsdale, Michigan for a period of 10 years, beginning December 31, 2024, and ending December 31, 2034, pursuant to the provisions of PA 147 of 1992, as amended.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

PASSED IN OPEN COUNCIL MEETING THIS 7th DAY OF AUGUST, 2023.

Adam Stockford, Mayor

ATTEST:

Katy Price, Clerk

RECEIVED

Application for Neighborhood Enterprise Zone Certificate

Issued under authority of Public Act 147 of 1992, as amended.

JUL 05 2023

LOCAL GOVERNMENTAL UNIT USE ONLY	
Application No.	Date Received
STATE USE ONLY	
Application No.	Date Received

Read the instructions before completing the application. This application must be filed prior to building permit issuance and start of construction except as provided in the instructions on page 3 under Owner/Developer/Applicant Instructions. Initially file completed application and required documents with the clerk of the local governmental unit. The additional documents to complete the application process will be required by the State of Michigan only after the original application is filed with the clerk of the local governmental unit (LGU). This form is also used to file a request for the transfer of an existing NEZ certificate. Please see the instruction sheet.

CITY OF HILLSDALE
CITY CLERK'S OFFICE

PART 1: OWNER/DEVELOPER/APPLICANT INFORMATION (Applicant must complete all fields)

Owner/Developer/Applicant Name Commonwealth Developments			Type of NEZ <input type="checkbox"/> OPRA eligible community NEZ <input type="checkbox"/> Workforce Housing NEZ		
Facility's Street Address 243 Auseon Court			Type of Approval Requested <input checked="" type="checkbox"/> New Facility <input type="checkbox"/> Rehabilitated Facility <input type="checkbox"/> Transfer (1 copy only)		
City Hillsdale	State MI	ZIP Code 49242	No. of years requested for exemption (6-15; 11-17 for qualified historic building) 10		
Name of City, Township or Village (taxing authority) Hillsdale			Is the facility owned or rented by occupants? <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Rented		
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village			Type of Property (check one) <input type="checkbox"/> House <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Condo <input type="checkbox"/> Loft <input type="checkbox"/> Apartment - No. of Units _____		
County Hillsdale		School District Hillsdale Community		Name of LGU that established district City of Hillsdale	
Name of LGU that established district City of Hillsdale		Name or Number of Neighborhood Enterprise Zone #4		Date district was established 11/18/2019	
Identify who will complete the work <input checked="" type="checkbox"/> Licensed Contractor <input type="checkbox"/> Other _____			Estimated Project Cost (per unit) \$220,000.00		

Describe the general nature and extent of the new construction or rehabilitation to be undertaken. For rehabilitation only, include Breakdown of Investment Costs. Use attachments if necessary.

Hillsdale Commons Condominium Development - 36 units
New underground water and sewer and all new utilities
All units on poured concrete basements
Concrete sidewalks and asphalt roads

Property Purchase - \$146,000
Buildings & Infrastructure - \$7,500,000
Overhead - \$370,000

Timetable for undertaking and completing the rehabilitation or construction of the facility.		Additional Timetable Information (if applicable)
Begin Date 7/10/23	End Date 12/31/23	

PART 2: OWNER/DEVELOPER/APPLICANT CERTIFICATION

Contact Name Rick Jenkins		
Contact Telephone Number (517) 849-7470	Contact Email Address rjenkins@stollcm.com	
Owner/Developer/Applicant Name Steve Stoll		
Owner/Developer/Applicant Telephone Number (517) 849-7470	Owner/Developer/Applicant Email Address sstoll@stollcm.com	
Owner/Developer/Applicant Mailing Address 590 Olds St.	City	State ZIP Code

I certify the information contained herein and in the attachments are true and that all are truly descriptive of the residential real property for which this application is being submitted.

I certify I am familiar with the provisions of Public Act 147 of 1992, as amended, (MCL 207.771 to 207.787) and to the best of my knowledge, I have complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the LGU and the issuance of Neighborhood Enterprise Zone Certificate by the State Tax Commission.

Owner/Developer/Applicant Signature 	Date 7/5/23
---------------------------------------------------------------------------------------------------------------------------	-----------------------

PART 3: LGU ASSESSOR CERTIFICATION (Assessor of LGU must complete Part 3)

The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Neighborhood Enterprise Zone Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Neighborhood Enterprise Zone Exemption that would also put the same property on the Neighborhood Enterprise Zone specific tax roll.

By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Neighborhood Enterprise Zone Exemption specific tax roll and not on any other specific tax roll.

Name of LGU

Name of Assessor (First and last name)

Telephone Number

Email Address

I certify that, to the best of my knowledge, the information contained in Part 3 of this application is complete and accurate.

Assessor's Signature

Date

PART 4: LGU ACTION/CERTIFICATION (LGU clerk must complete this section before submitting to the State Tax Commission)

Action taken by LGU:

Exemption Approved for _____ Years (6-15)

Exemption Approved for _____ Years
(11-17 qualified historic building)

Exemption Denied (include Resolution Denying)

Date of resolution approving/denying this application

Clerk's Name (First and Last)

Telephone Number

Email Address

Mailing Address

The State Tax Commission requires the following documents be filed for an administratively complete application:

1. Original Application

2. Legal description of the real property with parcel identification number

3. Resolution approving the zone.

4. Resolution approving the application.

5. **REHABILITATION APPLICATIONS ONLY.**

Statement by the assessor showing the taxable value of the rehabilitated facility not including the land, for the tax year immediately preceding the effective date of the rehabilitation.

City

State

ZIP Code

I certify that I have reviewed this application for complete and accurate information and determined that the subject property is located within a qualified Neighborhood Enterprise Zone.

I certify this application meets the requirements as outlined by Public Act 147 of 1992 and hereby request the State Tax Commission issue a Neighborhood Enterprise Zone Certificate.

Clerk Signature

Date

For faster service, the LGU should email the completed application and required documents to PTE@michigan.gov.

An additional submission option is to mail the completed application and required documents to:

Michigan Department of Treasury, State Tax Commission
P.O. Box 30471
Lansing, MI 48909

Note: Additional documentation will be required for further processing of the application and for the issuance of the certificate of exemption. These documents should be sent by email or mail directly to the State of Michigan only after the original application is filed with the LGU clerk and approved by the LGU. See the instruction sheet attached.

Any questions concerning the completion of this application should be directed to the LGU clerk.

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/13/2023 12:32 PM

Parcel:	006-426-403-18	Current Class:	407.RESIDENTIAL CONDOMINIUMS
Owner's Name:	COMMONWEALTH DEV & PROPERTIES LLC	Previous Class:	407.RESIDENTIAL CONDOMINIUMS
Property Address:	243 AUSEON CT HILLSDALE, MI 49242	Taxable Status:	TAXABLE
Liber/Page:	1762/0201	Prev. Taxable Statu:	TAXABLE
Split:	06/24/2020	Gov. Unit:	006 CITY OF HILLSDALE
Public Impr.:	None	MAP #	WARD 4
Topography:	None	School:	30020 HILLSDALE COMM PUBLIC SCHS
		Neighborhood:	4N4HC 4N4HC.WARD 4 NEZ 4 HILLSDALE COMMONS

Mailing Address:

COMMONWEALTH DEV & PROPERTIES
LLC
HILLSDALE COMMONS CONDOMINIUM
590 OLDS ST
JONESVILLE MI 49250

Description:

UNIT HC #18 HILLSDALE COMMONS CONDO SEC 26 T6S R3W FOURTH WARD
SPLIT ON 06/22/2020 FROM 006-426-401-06;

Most Recent Sale Information

None Found

Most Recent Permit Information

None Found

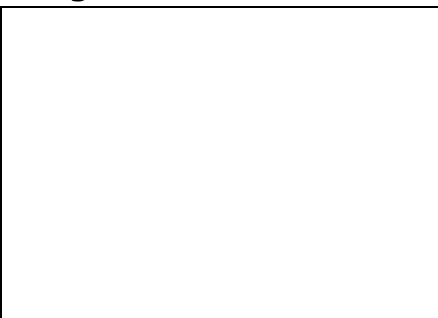
Physical Property Characteristics

2024 S.E.V.:	Tentative	2024 Taxable:	Tentative	Lot Dimensions:	
2023 S.E.V.:	2,000	2023 Taxable:	2,000	Acreage:	0.00
Zoning:	RD-1	Land Value:	4,030	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

None

Image



2023 Land Taxes:		\$		83.98			
Without NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 non-NEZ taxes adjusted for land and PRE		Comments	NEZ Certificate info
1	12/8/2020	\$ 323,000	\$ 162,000	\$	6,754.95	Not eligible (developer did not file applications prior to pulling permits); returned to developer, resold 6/28/2023 for \$355,000	n/a
2	11/23/2020	\$ 275,905	\$ 142,500	\$	5,906.61	Not eligible (developer did not file applications prior to pulling permits)	n/a
3	6/1/2021	\$ 324,000	\$ 163,000	\$	6,797.16	Not eligible (developer did not file applications prior to pulling permits), not owner's principal residence	n/a
4	10/20/2021	\$ 294,500	\$ 144,000	\$	5,969.66	Not eligible (developer did not file applications prior to pulling permits), owner is appealing disabled veterans exemption denial for 2023	n/a
6	10/28/2021	\$ 309,215	\$ 150,150	\$	6,228.21	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2020-159 (abeyance expires 12/15/2023)
9	5/2/2022	\$ 393,925	\$ 181,200	\$	7,565.49	not owner's principal residence	N2021-142 (abeyance expires 10/12/2024)
10	1/26/2023	\$ 399,900	\$ 176,105	\$	7,319.32	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2021-140 (abeyance expires 10/12/2024)
13	3/2/2023	\$ 447,946	\$ 137,800	\$	5,733.31	not completed as of 12/31/2022, not owner's principal residence	N2021-135 (abeyance expires 10/12/2024)
14	12/22/2022	\$ 402,365	\$ 182,600	\$	7,624.61	not owner's principal residence	N2021-137 (abeyance expires 10/12/2024)
Averages		\$ 352,306	\$ 159,928	\$	6,655.48		

With NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 taxes with NEZ (building only)		Comments	NEZ Certificate info
5	9/10/2021	\$ 392,906	\$ 178,700	\$	3,157.58		N2020-158 thru 12/30/2031
7	7/6/2021	\$ 286,015	\$ 144,100	\$	2,546.17		N2020-160 thru 12/30/2031
8	12/20/2021	\$ 302,370	\$ 158,500	\$	2,800.62		N2020-161 thru 12/30/2031
Averages		\$ 327,097	\$ 160,433	\$	2,834.79		

Average difference: \$ 3,820.69
 x 10 years
 \$ 38,206.90 Total average tax loss per unit over 10 year abatement

The reported costs for the condominium units from the applications are not representative of the actual market value. Therefore this analysis is based on sales and taxes of existing units constructed and sold since 2020 in this condominium development.

Resolution # _____

A Resolution to Approve an Application for Neighborhood Enterprise Zone New Certificate, PA 147 of 1992, as amended

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on August 7, 2023, at City Hall, 97 North Broad Street in Hillsdale, Michigan at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____, and supported by _____.

Resolution # _____ Approving an Application for a Neighborhood Enterprise Zone New Certificate for Commonwealth Developments Located at 243 Auseon Court, Hillsdale, Michigan 49242.

WHEREAS, the Common City Council of the City of Hillsdale established a Neighborhood Enterprise Zone on November 18, 2019 as required under PA 147 of 1992 after a public hearing held on October 21, 2019; and

WHEREAS, the applicant Commonwealth Developments is not delinquent on any taxes related to the facility, and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Hillsdale

Be and hereby is granted a Neighborhood Enterprise Zone New Facility Exemption for property located at 243 Auseon Court, Hillsdale, Michigan for a period of 10 years, beginning December 31, 2024, and ending December 31, 2034, pursuant to the provisions of PA 147 of 1992, as amended.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

PASSED IN OPEN COUNCIL MEETING THIS 7th DAY OF AUGUST, 2023.

Adam Stockford, Mayor

ATTEST:

Katy Price, Clerk

RECEIVED


JUL 05 2023

Application for Neighborhood Enterprise Zone Certificate

Issued under authority of Public Act 147 of 1992, as amended.

LOCAL GOVERNMENTAL UNIT USE ONLY	
Application No.	Date Received
STATE USE ONLY	
Application No.	Date Received

Read the instructions before completing the application. This application must be filed prior to building permit issuance and start of construction except as provided in the instructions on page 3, under Owner/Developer/Applicant Instructions. Initially file completed application and required documents with the clerk of the local governmental unit. The additional documents to complete the application process will be required by the State of Michigan only after the original application is filed with the clerk of the local governmental unit (LGU). This form is also used to file a request for the transfer of an existing NEZ certificate. Please see the instruction sheet.

PART 1: OWNER/DEVELOPER/APPLICANT INFORMATION (Applicant must complete all fields)			
Owner/Developer/Applicant Name Commonwealth Developments		Type of NEZ <input type="checkbox"/> OPRA eligible community NEZ <input type="checkbox"/> Workforce Housing NEZ	
Facility's Street Address 244 Auseon Court		Type of Approval Requested <input checked="" type="checkbox"/> New Facility <input type="checkbox"/> Rehabilitated Facility <input type="checkbox"/> Transfer (1 copy only)	
City Hillsdale	State MI	ZIP Code 49242	No. of years requested for exemption (6-15; 11-17 for qualified historic building) 10
Name of City, Township or Village (taxing authority) Hillsdale		Is the facility owned or rented by occupants? <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Rented	
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village		Type of Property (check one) <input type="checkbox"/> House <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Condo <input type="checkbox"/> Loft <input type="checkbox"/> Apartment - No. of Units _____	
County Hillsdale	Name of LGU that established district City of Hillsdale		Date district was established 11/18/2019
School District Hillsdale Community	Name or Number of Neighborhood Enterprise Zone #4		Estimated Project Cost (per unit) \$220,000.00
Identify who will complete the work <input checked="" type="checkbox"/> Licensed Contractor <input type="checkbox"/> Other _____		Describe the general nature and extent of the new construction or rehabilitation to be undertaken. For rehabilitation only, include Breakdown of Investment Costs. Use attachments if necessary. Hillsdale Commons Condominium Development - 36 units New underground water and sewer and all new utilities All units on poured concrete basements Concrete sidewalks and asphalt roads	
Timetable for undertaking and completing the rehabilitation or construction of the facility. Begin Date 7/10/23		Additional Timetable Information (if applicable) End Date 12/31/23	
Property Purchase - \$146,000		Buildings & Infrastructure - \$7,500,000	
Overhead - \$370,000			
PART 2: OWNER/DEVELOPER/APPLICANT CERTIFICATION			
Contact Name Rick Jenkins		Contact Email Address rjenkins@stollcm.com	
Contact Telephone Number (517) 849-7470			
Owner/Developer/Applicant Name Steve Stoll		Owner/Developer/Applicant Email Address sstoll@stollcm.com	
Owner/Developer/Applicant Telephone Number (517) 849-7470			
Owner/Developer/Applicant Mailing Address 590 Olds St.		City	State ZIP Code
I certify the information contained herein and in the attachments are true and that all are truly descriptive of the residential real property for which this application is being submitted.			
I certify I am familiar with the provisions of Public Act 147 of 1992, as amended, (MCL 207.771 to 207.787) and to the best of my knowledge, I have complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the LGU and the issuance of Neighborhood Enterprise Zone Certificate by the State Tax Commission.			
Owner/Developer/Applicant Signature 		Date 7/9/23	

PART 3: LGU ASSESSOR CERTIFICATION (Assessor of LGU must complete Part 3)			
The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Neighborhood Enterprise Zone Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Neighborhood Enterprise Zone Exemption that would also put the same property on the Neighborhood Enterprise Zone specific tax roll.			
<input type="checkbox"/> By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Neighborhood Enterprise Zone Exemption specific tax roll and not on any other specific tax roll.			
Name of LGU			
Name of Assessor (First and last name)			
Telephone Number		Email Address	
<i>I certify that, to the best of my knowledge, the information contained in Part 3 of this application is complete and accurate.</i>			
Assessor's Signature			Date
PART 4: LGU ACTION/CERTIFICATION (LGU clerk must complete this section before submitting to the State Tax Commission)			
Action taken by LGU:		The State Tax Commission requires the following documents be filed for an administratively complete application:	
<input type="checkbox"/> Exemption Approved for _____ Years (6-15)		<input type="checkbox"/> 1. Original Application	
<input type="checkbox"/> Exemption Approved for _____ Years (11-17 qualified historic building)		<input type="checkbox"/> 2. Legal description of the real property with parcel identification number	
<input type="checkbox"/> Exemption Denied (include Resolution Denying)		<input type="checkbox"/> 3. Resolution approving the zone.	
Date of resolution approving/denying this application		<input type="checkbox"/> 4. Resolution approving the application.	
Clerk's Name (First and Last)		<input type="checkbox"/> 5. REHABILITATION APPLICATIONS ONLY. Statement by the assessor showing the taxable value of the rehabilitated facility not including the land, for the tax year immediately preceding the effective date of the rehabilitation.	
Telephone Number			
Email Address			
Mailing Address		City	State ZIP Code
<i>I certify that I have reviewed this application for complete and accurate information and determined that the subject property is located within a qualified Neighborhood Enterprise Zone.</i>			
<i>I certify this application meets the requirements as outlined by Public Act 147 of 1992 and hereby request the State Tax Commission issue a Neighborhood Enterprise Zone Certificate.</i>			
Clerk Signature			Date

For faster service, the LGU should email the completed application and required documents to PTE@michigan.gov.

An additional submission option is to mail the completed application and required documents to:

Michigan Department of Treasury, State Tax Commission
P.O. Box 30471
Lansing, MI 48909

Note: Additional documentation will be required for further processing of the application and for the issuance of the certificate of exemption. These documents should be sent by email or mail directly to the State of Michigan only after the original application is filed with the LGU clerk and approved by the LGU. See the instruction sheet attached.

Any questions concerning the completion of this application should be directed to the LGU clerk.

Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/13/2023 12:32 PM

Parcel:	006-426-403-24	Current Class:	407.RESIDENTIAL CONDOMINIUMS
Owner's Name:	COMMONWEALTH DEV & PROPERTIES LLC	Previous Class:	407.RESIDENTIAL CONDOMINIUMS
Property Address:	244 AUSEON CT HILLSDALE, MI 49242	Taxable Status:	TAXABLE
Liber/Page:	1762/0201	Prev. Taxable Statu:	TAXABLE
Split:	06/24/2020	Gov. Unit:	006 CITY OF HILLSDALE
Public Impr.:	None	MAP #	WARD 4
Topography:	None	School:	30020 HILLSDALE COMM PUBLIC SCHS
		Neighborhood:	4N4HC 4N4HC.WARD 4 NEZ 4 HILLSDALE COMMONS

Mailing Address:

COMMONWEALTH DEV & PROPERTIES
LLC
HILLSDALE COMMONS CONDOMINIUM
590 OLDS ST
JONESVILLE MI 49250

Description:

UNIT HC #24 HILLSDALE COMMONS CONDO SEC 26 T6S R3W FOURTH WARD
SPLIT ON 06/22/2020 FROM 006-426-401-06;

Most Recent Sale Information

None Found

Most Recent Permit Information

None Found

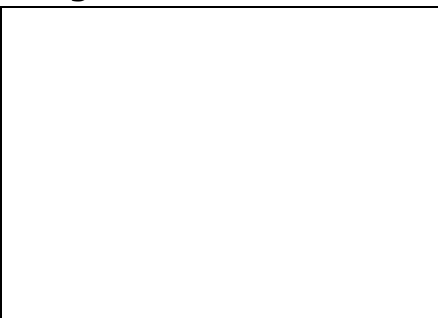
Physical Property Characteristics

2024 S.E.V.:	Tentative	2024 Taxable:	Tentative	Lot Dimensions:	
2023 S.E.V.:	2,000	2023 Taxable:	2,000	Acreage:	0.00
Zoning:	RD-1	Land Value:	4,030	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

None

Image



2023 Land Taxes:		\$ 83.98				
Without NEZ						
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 non-NEZ taxes adjusted for land and PRE	Comments	NEZ Certificate info
1	12/8/2020	\$ 323,000	\$ 162,000	\$ 6,754.95	Not eligible (developer did not file applications prior to pulling permits); returned to developer, resold 6/28/2023 for \$355,000	n/a
2	11/23/2020	\$ 275,905	\$ 142,500	\$ 5,906.61	Not eligible (developer did not file applications prior to pulling permits)	n/a
3	6/1/2021	\$ 324,000	\$ 163,000	\$ 6,797.16	Not eligible (developer did not file applications prior to pulling permits), not owner's principal residence	n/a
4	10/20/2021	\$ 294,500	\$ 144,000	\$ 5,969.66	Not eligible (developer did not file applications prior to pulling permits), owner is appealing disabled veterans exemption denial for 2023	n/a
6	10/28/2021	\$ 309,215	\$ 150,150	\$ 6,228.21	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2020-159 (abeyance expires 12/15/2023)
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13	3/2/2023	\$ 447,946	\$ 137,800	\$ 5,733.31	not completed as of 12/31/2022, not owner's principal residence	N2021-135 (abeyance expires 10/12/2024)
14	12/22/2022	\$ 402,365	\$ 182,600	\$ 7,624.61	not owner's principal residence	N2021-137 (abeyance expires 10/12/2024)
Averages		\$ 352,306	\$ 159,928	\$ 6,655.48		

With NEZ						
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 taxes with NEZ (building only)	Comments	NEZ Certificate info
5	9/10/2021	\$ 392,906	\$ 178,700	\$ 3,157.58		N2020-158 thru 12/30/2031
7	7/6/2021	\$ 286,015	\$ 144,100	\$ 2,546.17		N2020-160 thru 12/30/2031
8	12/20/2021	\$ 302,370	\$ 158,500	\$ 2,800.62		N2020-161 thru 12/30/2031
Averages		\$ 327,097	\$ 160,433	\$ 2,834.79		

Average difference: \$ 3,820.69
 x 10 years
 \$ 38,206.90 Total average tax loss per unit over 10 year abatement

The reported costs for the condominium units from the applications are not representative of the actual market value. Therefore this analysis is based on sales and taxes of existing units constructed and sold since 2020 in this condominium development.

Resolution # _____

A Resolution to Approve an Application for Neighborhood Enterprise Zone New Certificate, PA 147 of 1992, as amended

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on August 7, 2023, at City Hall, 97 North Broad Street in Hillsdale, Michigan at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____, and supported by _____.

Resolution # _____ Approving an Application for a Neighborhood Enterprise Zone New Certificate for Commonwealth Developments Located at 244 Auseon Court, Hillsdale, Michigan 49242.

WHEREAS, the Common City Council of the City of Hillsdale established a Neighborhood Enterprise Zone on November 18, 2019 as required under PA 147 of 1992 after a public hearing held on October 21, 2019; and

WHEREAS, the applicant Commonwealth Developments is not delinquent on any taxes related to the facility, and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Hillsdale

Be and hereby is granted a Neighborhood Enterprise Zone New Facility Exemption for property located at 244 Auseon Court, Hillsdale, Michigan for a period of 10 years, beginning December 31, 2024, and ending December 31, 2034, pursuant to the provisions of PA 147 of 1992, as amended.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

PASSED IN OPEN COUNCIL MEETING THIS 7th DAY OF AUGUST, 2023.

Adam Stockford, Mayor

ATTEST:

Katy Price, Clerk

Application for Neighborhood Enterprise Zone Certificate

Issued under authority of Public Act 147 of 1992, as amended.

LOCAL GOVERNMENTAL UNIT USE ONLY	
Application No.	Date Received
STATE USE ONLY	
Application No.	Date Received

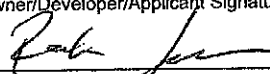
Read the instructions before completing the application. This application must be filed prior to building permit issuance and start of construction except as provided in the instructions on page 3 under Owner/Developer/Applicant Instructions. Initially file completed application and required documents with the clerk of the local governmental unit. The additional documents to complete the application process will be required by the State of Michigan only after the original application is filed with the clerk of the local governmental unit (LGU). This form is also used to file a request for the transfer of an existing NEZ certificate. Please see the instruction sheet.

RECEIVED
JUN 15 2023

PART 1: OWNER/DEVELOPER/APPLICANT INFORMATION (Applicant must complete all fields)

Owner/Developer/Applicant Name Commonwealth Developments			Type of NEZ <input type="checkbox"/> OPRA eligible community NEZ <input type="checkbox"/> Workforce Housing NEZ		
Facility's Street Address 245 Auseon Court			Type of Approval Requested <input checked="" type="checkbox"/> New Facility <input type="checkbox"/> Rehabilitated Facility <input type="checkbox"/> Transfer (1 copy only)		
City Hillsdale	State Mi	ZIP Code 49242	No. of years requested for exemption (6-15; 11-17 for qualified historic building) 10		
Name of City, Township or Village (taxing authority) Hillsdale			Is the facility owned or rented by occupants? <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Rented		
<input checked="" type="checkbox"/> City <input type="checkbox"/> Township <input type="checkbox"/> Village			Type of Property (check one) <input type="checkbox"/> House <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Condo <input type="checkbox"/> Loft <input type="checkbox"/> Apartment - No. of Units _____		
County Hillsdale			Date district was established 11/18/2019		
School District Hillsdale Community			Name or Number of Neighborhood Enterprise Zone #4		
Name of LGU that established district City of Hillsdale			Estimated Project Cost (per unit) \$220,000.00		
Identify who will complete the work <input checked="" type="checkbox"/> Licensed Contractor <input type="checkbox"/> Other _____			Describe the general nature and extent of the new construction or rehabilitation to be undertaken. For rehabilitation only, include Breakdown of Investment Costs. Use attachments if necessary. Hillsdale Commons Condominium Development - 36 units New underground water and sewer and all new utilities All units on poured concrete basements Concrete sidewalks and asphalt roads Property Purchase - \$146,000 Buildings & Infrastructure - \$7,500,000 Overhead - \$370,000		
Timetable for undertaking and completing the rehabilitation or construction of the facility. Begin Date 7/10/23			Additional Timetable Information (if applicable) End Date 12/31/23		

PART 2: OWNER/DEVELOPER/APPLICANT CERTIFICATION

Contact Name Rick Jenkins			Contact Email Address rjenkins@stollcm.com		
Contact Telephone Number (517) 849-7470			Owner/Developer/Applicant Name Steve Stoll		
Owner/Developer/Applicant Telephone Number (517) 849-7470			Owner/Developer/Applicant Email Address sstoll@stollcm.com		
Owner/Developer/Applicant Mailing Address 590 Olds St.			City	State	ZIP Code
I certify the information contained herein and in the attachments are true and that all are truly descriptive of the residential real property for which this application is being submitted.					
I certify I am familiar with the provisions of Public Act 147 of 1992, as amended, (MCL 207.771 to 207.787) and to the best of my knowledge, I have complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the LGU and the issuance of Neighborhood Enterprise Zone Certificate by the State Tax Commission.					
Owner/Developer/Applicant Signature 			Date 7/5/23		

PART 3: LGU ASSESSOR CERTIFICATION (Assessor of LGU must complete Part 3)			
The property to be covered by this exemption may not be included on any other specific tax roll while receiving the Neighborhood Enterprise Zone Exemption. For example, property on the Eligible Tax Reverted Property (Land Bank) specific tax roll cannot be granted a Neighborhood Enterprise Zone Exemption that would also put the same property on the Neighborhood Enterprise Zone specific tax roll.			
<input type="checkbox"/> By checking this box I certify that, if approved, the property to be covered by this exemption will be on the Neighborhood Enterprise Zone Exemption specific tax roll and not on any other specific tax roll.			
Name of LGU			
Name of Assessor (First and last name)			
Telephone Number		Email Address	
<i>I certify that, to the best of my knowledge, the information contained in Part 3 of this application is complete and accurate.</i>			
Assessor's Signature			Date
PART 4: LGU ACTION/CERTIFICATION (LGU clerk must complete this section before submitting to the State Tax Commission)			
Action taken by LGU:		The State Tax Commission requires the following documents be filed for an administratively complete application:	
<input type="checkbox"/> Exemption Approved for _____ Years (6-15)		<input type="checkbox"/> 1. Original Application	
<input type="checkbox"/> Exemption Approved for _____ Years (11-17 qualified historic building)		<input type="checkbox"/> 2. Legal description of the real property with parcel identification number	
<input type="checkbox"/> Exemption Denied (include Resolution Denying)		<input type="checkbox"/> 3. Resolution approving the zone.	
Date of resolution approving/denying this application		<input type="checkbox"/> 4. Resolution approving the application.	
Clerk's Name (First and Last)		<input type="checkbox"/> 5. REHABILITATION APPLICATIONS ONLY. Statement by the assessor showing the taxable value of the rehabilitated facility not including the land, for the tax year immediately preceding the effective date of the rehabilitation.	
Telephone Number			
Email Address			
Mailing Address		City	State ZIP Code
<i>I certify that I have reviewed this application for complete and accurate information and determined that the subject property is located within a qualified Neighborhood Enterprise Zone.</i>			
<i>I certify this application meets the requirements as outlined by Public Act 147 of 1992 and hereby request the State Tax Commission issue a Neighborhood Enterprise Zone Certificate.</i>			
Clerk Signature			Date

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Real Estate Summary Sheet

Information herein deemed reliable but not guaranteed

07/13/2023 12:32 PM

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Owner's Name:	COMMONWEALTH DEV & PROPERTIES LLC	Previous Class:	407.RESIDENTIAL CONDOMINIUMS
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Liber/Page:	1762/0201	Created:	06/24/2020
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Public Impr.:	None	Gov. Unit:	006 CITY OF HILLSDALE
Topography:	None	MAP #	WARD 4
		School:	30020 HILLSDALE COMM PUBLIC SCHS
		Neighborhood:	4N4HC 4N4HC.WARD 4 NEZ 4 HILLSDALE COMMONS

Mailing Address:

COMMONWEALTH DEV & PROPERTIES
LLC
HILLSDALE COMMONS CONDOMINIUM
590 OLDS ST
JONESVILLE MI 49250

Description:

UNIT HC #17 HILLSDALE COMMONS CONDO SEC 26 T6S R3W FOURTH WARD
SPLIT ON 06/22/2020 FROM 006-426-401-06;

Most Recent Sale Information

None Found

Most Recent Permit Information

None Found

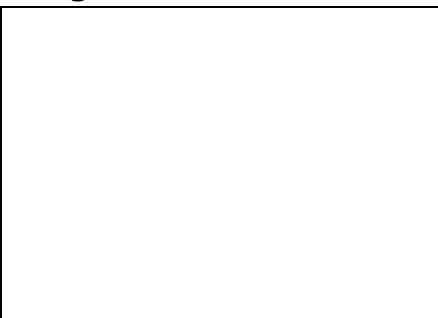
Physical Property Characteristics

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Zoning:	RD-1	Land Value:	4,030	Frontage:	0.0
PRE:	0.000	Land Impr. Value:	0	Average Depth:	0.0

Improvement Data

None

Image



2023 Land Taxes:		\$		83.98			
Without NEZ							
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3	6/1/2021	\$ 324,000	\$ 163,000	\$	6,797.16	Not eligible (developer did not file applications prior to pulling permits), not owner's principal residence	n/a
4	10/20/2021	\$ 294,500	\$ 144,000	\$	5,969.66	Not eligible (developer did not file applications prior to pulling permits), owner is appealing disabled veterans exemption denial for 2023	n/a
6	10/28/2021	\$ 309,215	\$ 150,150	\$	6,228.21	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2020-159 (abeyance expires 12/15/2023)
9	5/2/2022	\$ 393,925	\$ 181,200	\$	7,565.49	not owner's principal residence	N2021-142 (abeyance expires 10/12/2024)
10	1/26/2023	\$ 399,900	\$ 176,105	\$	7,319.32	Owner's principal residence, may submit request to transfer and activate NEZ prior to deadline	N2021-140 (abeyance expires 10/12/2024)
13	3/2/2023	\$ 447,946	\$ 137,800	\$	5,733.31	not completed as of 12/31/2022, not owner's principal residence	N2021-135 (abeyance expires 10/12/2024)
14	12/22/2022	\$ 402,365	\$ 182,600	\$	7,624.61	not owner's principal residence	N2021-137 (abeyance expires 10/12/2024)
Averages		\$ 352,306	\$ 159,928	\$	6,655.48		

With NEZ							
Unit #	Initial Sale Date	Initial Sale Price	2023 Taxable Value	2023 taxes with NEZ (building only)		Comments	NEZ Certificate info
5	9/10/2021	\$ 392,906	\$ 178,700	\$	3,157.58		N2020-158 thru 12/30/2031
7	7/6/2021	\$ 286,015	\$ 144,100	\$	2,546.17		N2020-160 thru 12/30/2031
8	12/20/2021	\$ 302,370	\$ 158,500	\$	2,800.62		N2020-161 thru 12/30/2031
Averages		\$ 327,097	\$ 160,433	\$	2,834.79		

Average difference: \$ 3,820.69
 x 10 years
 \$ 38,206.90 Total average tax loss per unit over 10 year abatement

The reported costs for the condominium units from the applications are not representative of the actual market value. Therefore this analysis is based on sales and taxes of existing units constructed and sold since 2020 in this condominium development.

Resolution # _____

A Resolution to Approve an Application for Neighborhood Enterprise Zone New Certificate, PA 147 of 1992, as amended

Minutes of a regular meeting of the Common Council of the City of Hillsdale, held on August 7, 2023, at City Hall, 97 North Broad Street in Hillsdale, Michigan at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____, and supported by _____.

Resolution # _____ Approving an Application for a Neighborhood Enterprise Zone New Certificate for Commonwealth Developments Located at 245 Auseon Court, Hillsdale, Michigan 49242.

WHEREAS, the Common City Council of the City of Hillsdale established a Neighborhood Enterprise Zone on November 18, 2019 as required under PA 147 of 1992 after a public hearing held on October 21, 2019; and

WHEREAS, the applicant Commonwealth Developments is not delinquent on any taxes related to the facility, and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Hillsdale

Be and hereby is granted a Neighborhood Enterprise Zone New Facility Exemption for property located at 245 Auseon Court, Hillsdale, Michigan for a period of 10 years, beginning December 31, 2024, and ending December 31, 2034, pursuant to the provisions of PA 147 of 1992, as amended.

AYES:

NAYS:

RESOLUTION DECLARED ADOPTED.

PASSED IN OPEN COUNCIL MEETING THIS 7th DAY OF AUGUST, 2023.

Adam Stockford, Mayor

ATTEST:

Katy Price, Clerk

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item #: New Business

SUBJECT: Willow-Oak Storm Water Project

BACKGROUND PROVIDED BY STAFF: Kristin Bauer, City Engineer
Jason Blake, Dir. Of Public Services

PROJECT BACKGROUND:

In 2021 the City contracted with Tetra Tech, Inc. to complete an investigation of the storm water system in the area of the Willow and Oak Intersection. The existing building on the NE corner of this intersection was constructed over the storm sewer system. The study included re-routing the storm sewer around the building with options for increasing pipe sizes in an effort to increase the margin of safety to pass a larger storm event as this storm system carries water from a 113.4 acre drainage area.

Designs and estimates were completed in early 2023 and bids were received on July 27, 2023 from 5 bidders to complete this construction project before June 30, 2024.

CONTRACTOR	Fall 2022 Project
Parrish Excavating, Inc.	\$145,240.00
All Star Power Excavation LLC	\$176,363.00
Bailey Excavating, Inc.	\$221,287.03
Concord Excavating & Grading, Inc.	\$227,267.50
SS Directional Boring Ltd	\$245,175.00 * As Corrected

RECOMMENDATION:

Staff recommends City Council award this bid to Parrish Excavating, Inc. of Quincy, MI in the amount of \$144,240.00 with an additional contingency amount of \$10,760.00 for a total project cost of \$155,000.00.

City of Hillsdale Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item #: New Business

SUBJECT: City of Hillsdale Section 3 Policy

PROJECT BACKGROUND:

The City of Hillsdale was awarded a grant from Michigan Economic Development Corporation (MEDC) for a water valve and sanitary improvement project. On March, 3, 2014, Council adopted a previous Section 3 Policy. This policy needs to be updated to align with revisions made by the MEDC in 2022 prior to the release of the grant funds.

RECOMMENDATION:

Staff recommends that Council adopt the attached Section 3 Policy as required by the MEDC.

City of Hillsdale

Section 3 Policy

(as adapted from MEDC's Section 3 Policy, dated 10/10/22)

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PURPOSE

Section 3 of the Housing and Urban Development Act of 1968, as amended, (12 U.S.C. 1701u) ("Section 3") requires that economic opportunities generated by certain U.S. Department of Housing and Urban Development (HUD) financial assistance for housing and community development programs be directed to low- and very low-income persons. The priority of assistance should be to those who are recipients of government assistance for housing and business concerns which provide economic opportunities to low- and very low-income persons.

The Section 3 program was created to ensure that persons living in communities where HUD-assisted programs were being funded could economically benefit from the resources being spent. This would improve the overall socioeconomic condition of not only the community, but also the low- and very low-income residents that reside within the neighborhoods. The implementing regulation for Section 3 can be found at [24 CFR Part 75](#).

GENERAL POLICY STATEMENT

On behalf of the Michigan Strategic Fund (MSF), the Michigan Economic Development Corporation (MEDC) CDBG Program shall comply with Section 3 requirements set forth at 24 CFR 75 of the federal regulation which states that, to the greatest extent possible, businesses and employers working on HUD-funded projects must make a good faith effort to train and employ low-income individuals living in the local area and also to contract with businesses owned by or that employ Section 3 workers.

It is the policy of the CDBG Program that all Units of General Local Governments (UGLGs/Grantees/Recipients) are required to make good faith efforts to provide "to the greatest extent feasible" opportunities to Section 3 area workers and Section 3 business concerns.

Failure to comply with the requirements of Section 3 may result in a monitoring finding or sanctions that may include, debarment, suspension of funds or limited denial of participation in the MEDC CDBG programs.

24 CFR PART 75.19 REQUIREMENTS

(a) *Employment and training.*

- 1) To the greatest extent feasible, and consistent with existing Federal, state, and local laws and regulations, UGLGs (grantees, recipients) covered by this subpart shall ensure that employment and training opportunities arising in connection with Section 3 projects are provided to Section 3 workers within the metropolitan area (or nonmetropolitan county) in which the project is located.

- 2) Where feasible, priority for opportunities and training described in paragraph (a)(1) of this section should be given to:

- (i) Section 3 workers residing within the service area or the neighborhood of the project,
- and
- (ii) Participants in YouthBuild programs.

(b) *Contracting.*

- 1) To the greatest extent feasible, and consistent with existing Federal, state, and local laws and regulations, recipients covered by this subpart shall ensure contracts for work awarded in connection with Section 3 projects are provided to business concerns that provide economic opportunities to Section 3 workers residing within the metropolitan area (or non-metropolitan county) in which the project is located.
- 2) To include the Section 3 Contractors Packet (Form 4-T) and required Section 3 language in all construction contracts.
- 3) Where feasible, priority for contracting opportunities described in paragraph (b)(1) of this section should be given to:
 - (i) Section 3 business concerns that provide economic opportunities to Section 3 workers residing within the service area or the neighborhood of the project, and
 - (ii) YouthBuild programs.

APPLICABILITY OF SECTION 3 REQUIREMENTS TO INDIVIDUAL PROJECTS

Whenever any portion of CDBG funding is invested into projects involving housing construction, demolition or rehabilitation, commercial/private improvements for economic development, or other public construction (e.g., roads, sewers, community centers, and public facilities), the requirements of Section 3 may apply, based on the guidance provided below.

Section 3 requirements that apply to CDBG funded Projects

In conjunction with construction activity, Section 3 applies to projects that receive \$200,000 or more in CDBG assistance, including projects that are financed in conjunction with state, local, or private matching or leveraged funds, provided that the Section 3 monetary threshold requirements are met. In particular:

- Section 3 applies to recipients of CDBG funding, as well as its sub-recipients, contractors and subcontractors; and
- Professional service contract labor hours (construction contract oversight, engineering, architectural, environmental and property evaluation, construction progress and construction draw inspection, and prevailing wage labor compliance) are not required to be reported. If a contract covers both professional services and other work and the recipient, contractor, or subcontractor chooses not to report labor hours from professional services, the labor hours under the contract that are not from professional services must still be reported.
- Section 3 requirements do not apply to material supply contracts. The regulations should not be construed to mean that recipients are required to hire Section 3 Workers or award contracts to Section 3 Business Concerns other than what is needed to complete covered projects and activities. If the expenditure of funding for an otherwise covered project and activity does not result in new employment, contracting, or training opportunities, reporting is still required.

Section 3 Goals

Contractors and sub-contractors will be required, to the greatest extent feasible, meet the Section 3 HUD benchmarks.

1. 25% or more of the total number of labor hours worked by all workers on a Section 3 project are Section 3 workers;

Section 3 Worker Labor Hours divided by Total Labor Hours = 25%

AND

2. 5% or more of the total number of labor hours worked by all workers on a Section 3 project are Targeted Section 3 workers;

Targeted Section 3 Labor Hours divided by Total Labor Hours = 5%

Additional Reporting if Section 3 Benchmarks are *not met*:

If the Recipient's reporting indicates the Section 3 benchmarks have not been met, the Recipient must report on the nature of activities pursued in the absence of not meeting Section 3 benchmarks.

Section 3 Worker

A Section 3 worker is any worker who currently fits, or when hired within the past five years fit, at least one of the following categories, as documented:

1. The worker's income for the previous or annualized calendar year is below the income limit established by HUD
2. The worker is employed by a Section 3 business concern
3. The worker is a YouthBuild participant.

Targeted Section 3 Worker

A Targeted Section 3 worker: any worker who currently fits, or when hired within the past five years fit, at least one of the following categories, as documented

1. A worker employed by a Section 3 business concern; or
2. Currently fits or when hired fit at least one of the following categories, as documented within the past five years:
 - (i) Low or very low-income workers residing within a one-mile radius of the Section 3 project. If fewer than 5,000 people live within that one-mile radius, the circle may be expanded outward until that population is reached or the neighborhood of the project, as defined; or
 - (ii) A YouthBuild participant.



The status of workers on the Section 3 project will be determined by one of the following methods:

1. **Worker income self-certification.** The use of certification forms provided to the contractors and subcontractors working on the project. Each worker on the project must complete the provided certification form to be kept in the grant record for reference when tracking and aggregating labor hours worked.
 - a. Section 3 Worker and Targeted Section # Worker Certification (Form 9-L)
2. **Worker is employed by a Section 3 Business Concern.** The contractor or subcontractor is able to provide documentation that it qualifies as a Section 3 Business Concern. All employees of a qualifying business will be considered Section 3 workers.
3. **Worker is a YouthBuild participant.** Verifiable documentation must be provided by the worker or the employer showing the worker is participating in a YouthBuild program.
4. **Employer wage record.** The employer is able to provide certified documentation that the worker's income from that employer is below the income limit for the corresponding family size when based on an employer's calculation of what the worker's wage rate would translate to if annualized on a full-time basis.

***Note:** Documentation submitted by employers should only contain employee names, state and county of residence, annual income, and a certifying signature and date. Do not include any information such as social security numbers or bank account information.*

Nothing in this part shall be construed to require the employment of someone who meets this definition of a Section 3 worker. Section 3 workers are not exempt from meeting the qualifications of the position to be filled.

Section 3 Business

A Section 3 business concern is a business that meets at least one of the following criteria, documented within the last 6-month period:

1. It is at least 51% owned and controlled by a low or very low-income persons;
2. Over 75% of the labor hours performed by the business are performed by low or very low-income persons; or
3. It is a business at least 51% owned and controlled by current public housing residents or residents who currently live in Section 8-assisted housing.

Contractors or subcontractors who wish to be identified as a Section 3 Business must complete the Section 3 Business Concern Certification (Form 9-A1) and provide requested backup documentation.

While contracting and subcontracting with Section 3 Business Concerns is encouraged, nothing in this part shall be construed to require the contracting or subcontracting of a Section 3 Business Concern. Additionally, Section 3 Business Concerns are not exempt from meeting the specifications of the contract, including required licensures and certifications.

Businesses concerns seeking Section 3 preference shall certify, or submit evidence to the recipient, contractor, subcontractor or subrecipient (if requested) verifying that they meet the definitions provided above. Subrecipients are allowed discretion to determine the required documentation to

verify a Section 3 Business Concern. At monitoring, the MEDC will check that documentation has been received and is in the file, not for a specific type of documentation.

SECTION 3 REPORTING REQUIREMENTS

Reporting of Labor Hours

- (a) Reporting Labor Hours. (1) recipients must report in a manner prescribed by HUD:
- (i) The total number of labor hours worked;
 - (ii) The total number of labor hours worked by Section 3 workers; and
 - (iii) The total number of labor hours worked by Targeted Section 3 workers.
- 1) Section 3 workers' and Targeted Section 3 workers' labor hours may be counted for five years from when their status as a Section 3 worker or Targeted Section 3 worker is established.
 - 2) The labor hours reported under paragraph (a)(1) of this section must include the total number of labor hours worked on a Section 3 project, including labor hours worked by any subrecipients, contractors and subcontractors that the recipient is required, or elects pursuant to paragraph (a)(4) of this section, to report.
 - 3) Recipients reporting under this section, as well as subrecipients, contractors and subcontractors who report to recipients, may report labor hours by Section 3 workers, under paragraph (a)(1)(ii) of this section, and labor hours by Targeted Section 3 workers, under paragraph (a)(1)(iii) of this section, from professional services without including labor hours from professional services in the total number of labor hours worked under paragraph (a)(1)(i) of this section. If a contract covers both professional services and other work and the recipient or contractor or subcontractor chooses not to report labor hours from professional services, the labor hours under the contract that are not from professional services must still be reported.
 - 4) Recipients may report their own labor hours or that of a subrecipient, contractor, or subcontractor based on the employer's good faith assessment of the labor hours of a full-time or part-time employee informed by the employer's existing salary or time and attendance-based payroll systems, unless the project or activity is otherwise subject to requirements specifying time and attendance reporting.
- (b) Safe Harbor Compliance. Additional reporting if Section 3 benchmarks are not met. If the recipient's reporting under paragraph (a) of this section indicates that the recipient has not met the Section 3 benchmarks described in § 75.23, the recipient must report in a form prescribed by HUD on the qualitative nature of its activities and those its contractors and subcontractors pursued. Such qualitative efforts may, for example, include but are not limited to the following:

Consequences for noncompliance. Any recipient with outstanding findings of noncompliance with Section 3 may be barred from receiving additional competitively awarded financial assistance.

Assistance to Achieve the Goals

The UGLG that receives CDBG funding has the responsibility to comply with Section 3 requirements. They are also required to “ensure compliance” of their contractors and sub- contractors.

This responsibility includes:

1. Notifying Section 3 Workers and business concerns about jobs and contracts generated by Section 3 covered assistance so that they may submit bids/proposals for available contracts and job openings with the grantee;
2. Notify potential contractors of their responsibilities under Section 3;
3. Include Section 3 language in all applicable contracts;
4. Require sub-recipients, contractors, and sub-contractors to meet the requirements of §75.19, regardless of whether Section 3 language is included in recipient or sub-recipient agreements, program regulatory agreements, or contracts;
5. Document action(s) taken to meet the HUD benchmarks;
6. Respond to Section 3 complaints; and
7. Complete and submit the required Section 3 Forms to MEDC.

Outreach Best Practices

Grantees must develop a Section 3 plan, including outreach to Section 3 Workers and Businesses within the municipality. Best practices include:

1. Publication of opportunities in newsletters or other local newspapers, including those targeted to Limited English Proficient populations.
2. Use of signage at the project site and flyers posted in the project area.
3. Notification of potential training or employment opportunities to neighborhood and non- profit groups, including Public Housing Authorities, servicing low- and very low-income persons.
4. Communicate opportunities to employment agencies and career centers.
5. Complete copy of a “Notice to Citizens Opportunity for Work” (Form 9-P), which can be used for development of Section 3 employment opportunities. Send completed form to the local [Michigan Works!](https://www.michiganworks.org/) service center (<https://www.michiganworks.org/>).

Section 3 Business and Resident Resources

The following are potential resources where UGLGs/contractors might find Section 3 businesses and residents (workers):

1. [HUD Section 3 Registry/Portal](#) (Businesses)
2. [MSHDA MBE/WBE list](#) (Businesses)
3. [MDOT DBE list](#) (Businesses)
4. [MDOT Michigan Unified Certification Program \(MUCP\)](#) (Businesses)
5. [Michigan Works!](#) (Businesses & Workers)
6. [PHAs](#) (Workers)

Orders of Priority Consideration for Employment and Contracting Opportunities

(a) General.

- 1) CDBG Grantees and their contractors shall provide priority consideration to Section 3 residents and Section 3 businesses for new training, employment, and contracting opportunities generated because of the expenditure of Section 3 covered financial assistance.
- 2) Priority consideration should not be construed to be a quota or set-aside program, or as an entitlement to economic opportunities such as a particular job or contract.
- 3) Section 3 residents must possess the same job qualifications, skills, eligibility criteria, and capacity as other applicants for employment and training opportunities being sought.
- 4) Section 3 businesses must be selected in accordance with the procurement standards of 24 CFR 85.36 or 24 CFR 84.40, as appropriate, including price, ability, and willingness to comply with this part, and other factor, to be considered lowest responsible bidders on contracting opportunities being sought.
- 5) CDBG Grantees and contractors may give priority consideration to a Section 3 resident or business if such resident or business is qualified for the respective employment or contracting opportunities.
- 6) CDBG Grantees and contractors must give priority consideration to a Section 3 resident or business when that Section 3 resident or business is equally qualified with other individuals or businesses that would be offered employment or contracting opportunities.

(b) Orders of priority consideration for employment and training opportunities.

CDBG Grantees that meet the funding thresholds shall direct their efforts to provide training and employment opportunities generated from the expenditure of Section 3 housing and community development financial assistance to Section 3 residents in the following order of priority consideration:

- (i) Section 3 Workers residing in the service area where the CDBG funded project is located;
- (ii) Section 3 Workers participating in the Department of Labor (DOL) YouthBuild program;
- (iii) Other Section 3 Workers.

City Council, by vote, has approved the above revised Section 3 Policy, all previous Section 3 policies approved by the City are superseded by this document.

AYES:
COMMISSIONERS: _____

NAYS:
COMMISSIONERS _____

ABSENT:
COMMISSIONERS: _____

RESOLUTION DECLARED ADOPTED.

Adam L. Stockford, Mayor

CERTIFICATION

The foregoing policy was certified at a regular meeting of the City Council of the City of Hillsdale held on August 7, 2023.

Ms. Katy Price
City Clerk

DATE: _____

UGLG Name:	City of Hillsdale	
Signature:		Date:
Printed Name:	David E. Mackie	
Title:	City Manager	

City of Hillsdale

Agenda Item Summary

Meeting Date: August 7, 2023

Agenda Item: New Business

SUBJECT: 2024 Special Assessment District - SAD# 2024-08, W. St. Joe/Griswold

BACKGROUND PROVIDED BY STAFF: Kristin Bauer, City Engineer

City Charter requires that once City Council directs the City Engineer to prepare plans, specifications and cost estimates for a proposed special assessment district and said project documents are completed a public hearing shall be set to hear support or objections for said project. Attached are the plans and cost estimates for the W. St. Joe/Griswold Street Area Special Assessment District (SAD# 2024-08).

The estimated cost for the overall construction project is \$1,281,411.43. City funds will cover an estimated amount of \$1,118,911.43 (87%) of project costs with an estimated \$178,300.00 (14%) being covered through the special assessment to property owners, there are 44 parcels currently associated with this SAD. The project cost split is in accordance with the City's Policy on Special Assessment Districts for Street Projects presented to the City Council on February 1, 2021. It is important to note that the total assessed cost to the affected property owners will not go above the policy maximum assessment limit of \$5,000 per parcel or 25% of the property value per Hillsdale Ordinance Chapter 2, Article V, Section 2-335, whichever is the lesser amount.

Upon City Council setting the public hearing date, the City Clerk shall publish notice of the meeting once each week for two successive weeks in the local newspaper. Additionally, the City Assessor shall notify affected property owners in writing of the proposed district, estimated costs and repayment terms of said district.

According to the City Charter, Sec. 2-335 Hearing procedure, "If more than 50% of the number of owners of privately owned real property to be assessed for such improvement shall object **in writing** to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council."

RECOMMENDATION: City staff recommends City Council set August 21, 2023 as the public hearing date for consideration to establish Special Assessment District (SAD# 2024-08) – W. St. Joe/Griswold Streets Area.

Engineer's Opinion of Costs

Project Number: 215461
Estimate Number: 1
Project Type: Miscellaneous
Location: City of Hillsdale
 W St Joe/Griswold Streets
Description: Reconstruction and Crush/Shape/Pave

Project Engineer: Kristin Bauer
Date Created: 6/26/2023
Date Edited: 7/27/2023
Fed/State #:
Fed Item:
Control Section:

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Category: 0001 Road Work						
0001	1027051	_ Above Ground Video Survey	0.500	LSUM	\$500.00	\$250.00
0002	1100001	Mobilization, Max	0.500	LSUM	\$112,000.00	\$56,000.00
0003	2030001	Culv, Rem, Less than 24 inch	1.000	Ea	\$1,059.83	\$1,059.83
0004	2040020	Curb and Gutter, Rem	30.000	Ft	\$11.42	\$342.60
0005	2040050	Pavt, Rem	35.000	Syd	\$9.32	\$326.20
0006	2040055	Sidewalk, Rem	30.000	Syd	\$12.76	\$382.80
0007	2050016	Excavation, Earth	200.000	Cyd	\$18.20	\$3,640.00
0008	2050041	Subgrade Undercutting, Type II	600.000	Cyd	\$33.04	\$19,824.00
0009	2080020	Erosion Control, Inlet Protection, Fabric Drop	5.000	Ea	\$102.10	\$510.50
0010	3050002	HMA Base Crushing and Shaping	10,680.000	Syd	\$4.25	\$45,390.00
0011	3070105	Shld, CI I, 3 inch	640.000	Syd	\$17.00	\$10,880.00
0012	4010012	Culv End Sect, 12 inch	2.000	Ea	\$876.74	\$1,753.48
0013	4010165	Culv, CI A, Conc, 12 inch	75.000	Ft	\$54.00	\$4,050.00
0014	4021231	Sewer Bulkhead, 15 inch	1.000	Ea	\$695.79	\$695.79
0015	4021232	Sewer Bulkhead, 18 inch	1.000	Ea	\$671.56	\$671.56
0016	4030005	Dr Structure Cover, Adj, Case 1	11.000	Ea	\$675.79	\$7,433.69
0017	4030006	Dr Structure Cover, Adj, Case 2	1.000	Ea	\$611.11	\$611.11
0018	4030050	Dr Structure Cover, Type K	1.000	Ea	\$961.38	\$961.38
0019	4037050	_ EJIW1045 w/1040 "sanitary" lid	8.000	Ea	\$1,035.25	\$8,282.00
0020	4037050	_ EJIW1045 w/1040 "storm" lid	1.000	Ea	\$1,003.25	\$1,003.25
0021	4037050	_ EJIW1045 w/1040 M2 Grate	2.000	Ea	\$1,035.25	\$2,070.50
0022	5017031	_ HMA, LVSP	3,500.000	Ton	\$125.00	\$437,500.00

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
0023	8010005	Driveway, Nonreinf Conc, 6 inch	35.000	Syd	\$45.41	\$1,589.35
0024	8020038	Curb and Gutter, Conc, Det F4	350.000	Ft	\$24.27	\$8,494.50
0025	8027050	_ Concrete Spillway, Modified	1.000	Ea	\$1,500.00	\$1,500.00
0026	8030010	Detectable Warning Surface	15.000	Ft	\$45.58	\$683.70
0027	8030030	Curb Ramp Opening, Conc	30.000	Ft	\$27.57	\$827.10
0028	8030044	Sidewalk, Conc, 4 inch	60.000	Sft	\$5.02	\$301.20
0029	8032002	Curb Ramp, Conc, 6 inch	210.000	Sft	\$6.84	\$1,436.40
0030	8100403	Sign, Type III, Rem	19.000	Ea	\$5.78	\$109.82
0031	8110024	Pavt Mrkg, Ovly Cold Plastic, 6 inch, Crosswalk	90.000	Ft	\$2.95	\$265.50
0032	8110045	Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	50.000	Ft	\$14.32	\$716.00
0033	8110231	Pavt Mrkg, Waterborne, 4 inch, White	6,230.000	Ft	\$0.09	\$560.70
0034	8110232	Pavt Mrkg, Waterborne, 4 inch, Yellow	6,890.000	Ft	\$0.10	\$689.00
0035	8110251	Pavt Mrkg, Waterborne, 2nd Application, 4 inch, White	6,230.000	Ft	\$0.09	\$560.70
0036	8110252	Pavt Mrkg, Waterborne, 2nd Application, 4 inch, Yellow	6,890.000	Ft	\$0.11	\$757.90
0037	8120012	Barricade, Type III, High Intensity, Double Sided, Lighted, Furn	11.000	Ea	\$135.57	\$1,491.27
0038	8120013	Barricade, Type III, High Intensity, Double Sided, Lighted, Oper	11.000	Ea	\$15.08	\$165.88
0039	8120026	Pedestrian Type II Barricade, Temp	4.000	Ea	\$67.64	\$270.56
0040	8120170	Minor Traf Devices	0.500	LSUM	\$40,000.00	\$20,000.00
0041	8120252	Plastic Drum, Fluorescent, Furn	20.000	Ea	\$44.23	\$884.60
0042	8120253	Plastic Drum, Fluorescent, Oper	20.000	Ea	\$0.67	\$13.40
0043	8120350	Sign, Type B, Temp, Prismatic, Furn	450.000	Sft	\$5.26	\$2,367.00
0044	8120351	Sign, Type B, Temp, Prismatic, Oper	450.000	Sft	\$0.57	\$256.50
0045	8120370	Traf Regulator Control	0.500	LSUM	\$1,500.00	\$750.00
0046	8167011	_ Turf Establishment	3,400.000	Syd	\$2.00	\$6,800.00
0047	8210001	Monument Box	1.000	Ea	\$750.00	\$750.00
0048	8230431	Gate Box, Adj, Case 1	5.000	Ea	\$580.15	\$2,900.75
0049	8230432	Gate Box, Adj, Case 2	2.000	Ea	\$575.00	\$1,150.00

Category 0001 Total: \$659,930.52

Category: 0003 Non-Participating Road Pay Items

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
0050	1027051	_ Above Ground Video Survey	0.500	LSUM	\$500.00	\$250.00
0051	1100001	Mobilization, Max	0.500	LSUM	\$112,000.00	\$56,000.00
0052	2017002	_ Roadway Grading	14.500	Sta	\$2,000.00	\$29,000.00
0053	2040020	Curb and Gutter, Rem	800.000	Ft	\$11.42	\$9,136.00
0054	2040050	Pavt, Rem	125.000	Syd	\$9.32	\$1,165.00
0055	2040055	Sidewalk, Rem	65.000	Syd	\$12.76	\$829.40
0056	2050041	Subgrade Undercutting, Type II	250.000	Cyd	\$33.04	\$8,260.00
0057	2080020	Erosion Control, Inlet Protection, Fabric Drop	7.000	Ea	\$102.10	\$714.70
0058	3010002	Subbase, CIP	1,750.000	Cyd	\$38.47	\$67,322.50
0059	3020020	Aggregate Base, 8 inch	5,230.000	Syd	\$15.87	\$83,000.10
0060	4020748	Sewer, CI II, 12 inch, Tr Det B	65.000	Ft	\$75.00	\$4,875.00
0061	4030005	Dr Structure Cover, Adj, Case 1	12.000	Ea	\$675.79	\$8,109.48
0062	4030006	Dr Structure Cover, Adj, Case 2	1.000	Ea	\$611.11	\$611.11
0063	4030050	Dr Structure Cover, Type K	4.000	Ea	\$961.38	\$3,845.52
0064	4030200	Dr Structure, 24 inch dia	2.000	Ea	\$2,745.26	\$5,490.52
0065	4037050	_ EJIW1045 w/1040 "sanitary" lid	7.000	Ea	\$1,035.25	\$7,246.75
0066	4037050	_ EJIW1045 w/1040 "storm" lid	2.000	Ea	\$1,003.25	\$2,006.50
0067	5010005	HMA Surface, Rem	4,200.000	Syd	\$8.69	\$36,498.00
0068	5017031	_ HMA, LVSP	1,450.000	Ton	\$125.00	\$181,250.00
0069	8010005	Driveway, Nonreinf Conc, 6 inch	125.000	Syd	\$45.41	\$5,676.25
0070	8020038	Curb and Gutter, Conc, Det F4	2,925.000	Ft	\$24.27	\$70,989.75
0071	8030010	Detectable Warning Surface	30.000	Ft	\$45.58	\$1,367.40
0072	8030030	Curb Ramp Opening, Conc	40.000	Ft	\$27.57	\$1,102.80
0073	8030044	Sidewalk, Conc, 4 inch	135.000	Sft	\$5.02	\$677.70
0074	8030046	Sidewalk, Conc, 6 inch	200.000	Sft	\$6.50	\$1,300.00
0075	8032002	Curb Ramp, Conc, 6 inch	188.000	Sft	\$6.84	\$1,285.92
0076	8100403	Sign, Type III, Rem	4.000	Ea	\$5.78	\$23.12
0077	8110024	Pavt Mrkg, Ovly Cold Plastic, 6 inch, Crosswalk	250.000	Ft	\$2.95	\$737.50
0078	8110045	Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	35.000	Ft	\$14.32	\$501.20
0079	8110232	Pavt Mrkg, Waterborne, 4 inch, Yellow	2,860.000	Ft	\$0.10	\$286.00

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
0080	8110252	Pavt Mrkg, Waterborne, 2nd Application, 4 inch, Yellow	2,860.000	Ft	\$0.11	\$314.60
0081	8120012	Barricade, Type III, High Intensity, Double Sided, Lighted, Furn	6.000	Ea	\$135.57	\$813.42
0082	8120013	Barricade, Type III, High Intensity, Double Sided, Lighted, Oper	6.000	Ea	\$15.08	\$90.48
0083	8120026	Pedestrian Type II Barricade, Temp	6.000	Ea	\$67.64	\$405.84
0084	8120170	Minor Traf Devices	0.500	LSUM	\$40,000.00	\$20,000.00
0085	8120252	Plastic Drum, Fluorescent, Furn	35.000	Ea	\$44.23	\$1,548.05
0086	8120253	Plastic Drum, Fluorescent, Oper	35.000	Ea	\$0.67	\$23.45
0087	8120350	Sign, Type B, Temp, Prismatic, Furn	260.000	Sft	\$5.26	\$1,367.60
0088	8120351	Sign, Type B, Temp, Prismatic, Oper	260.000	Sft	\$0.57	\$148.20
0089	8120370	Traf Regulator Control	0.500	LSUM	\$1,500.00	\$750.00
0090	8167011	_ Turf Establishment	1,200.000	Syd	\$2.00	\$2,400.00
0091	8230431	Gate Box, Adj, Case 1	7.000	Ea	\$580.15	\$4,061.05

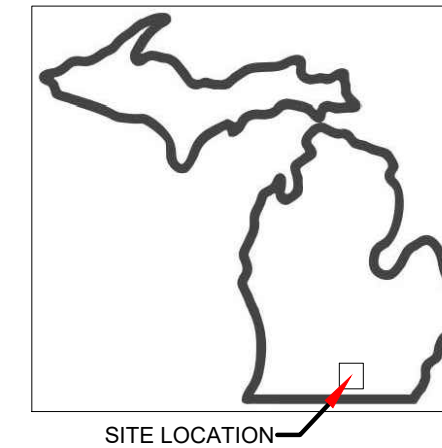
Category 0003 Total: \$621,480.91

Estimate Total: \$1,281,411.43

REVISIONS	DATE
80% REVIEW SET	07/26/23

CITY OF HILLSDALE
 HILLSDALE, MI
 W. ST. JOE & GRISWOLD
 STREET PROJECT
 COVER SHEET

DRAWING SCALE: NOT TO SCALE	
DESIGNED	KLB
DRAWN	BG/ES
CHECKED	JB
DRAWING NO.	CS



CITY OF HILLSDALE IN COOPERATION WITH MICHIGAN DEPART OF TRANSPORTATION AND THE FEDERAL HIGHWAY ADMINISTRATION

W. ST JOE ST. - RECONSTRUCTION W. ST JOE & GRISWOLD ST. -CRUSH, SHAPE & PAVE



FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, THE CONTRACTOR SHALL DIAL 1-800-482-7171 OR 811 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO THE BEGINNING OF EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED.

GENERAL NOTES
THE PLACING OF PAVEMENT MARKINGS AND TRAFFIC CONTROL DEVICES SHALL BE DONE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2011 EDITION, AS AMENDED.

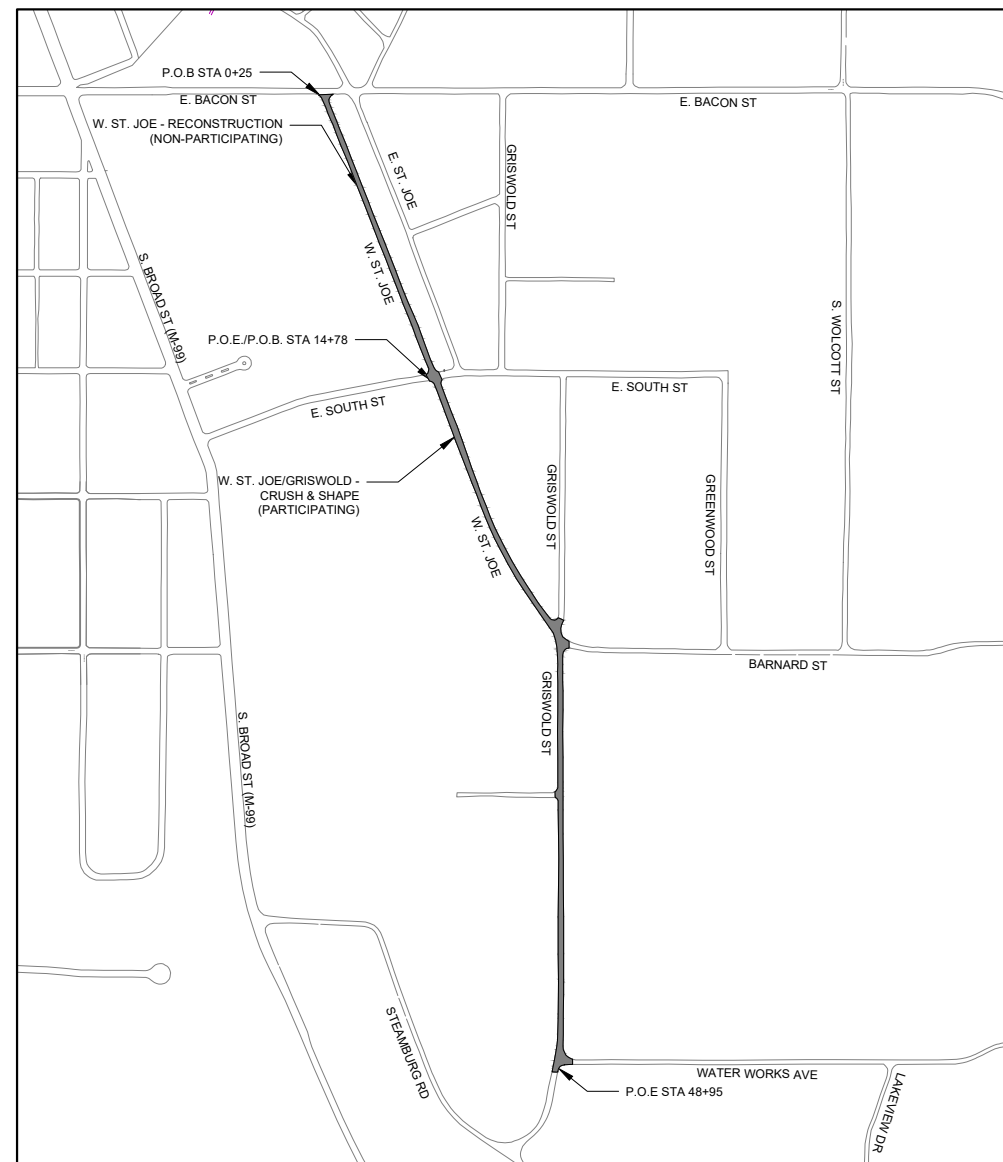
THE PROPOSED IMPROVEMENTS COVERED BY THESE PLANS ARE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION LOCAL AGENCY PROGRAM 3R GUIDELINES FOR GEOMETRICS, 2017 EDITION.

THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION 2020 STANDARD SPECIFICATIONS FOR CONSTRUCTION AS AMENDED BY SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS.

STANDARD PLANS
CONSTRUCTION OF THE FOLLOWING ITEMS WHERE CALLED FOR ON THE PLANS, WILL BE CONSTRUCTED ACCORDING TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD PLANS UNLESS OTHERWISE INDICATED.

ITEM OF WORK	MDOT STANDARD PLAN NO.
COVER "K"	R-15-G*
SIDEWALK RAMP AND DETECTABLE WARNING SURFACE	R-28-J*
DRIVEWAY OPENINGS & APPROACHES AND CONCRETE SIDEWALKS	R-29-I
CONCRETE CURB & GUTTER	R-30-G
UTILITY TRENCHES	R-83-C
SOIL EROSION & SEDIMENTATION CONTROL MEASURES	R-96-E
LONGITUDINAL LINE TYPES & PLACEMENT	PAVE-905-E
PAVEMENT MARKINGS FOR NON-SIGNALIZED INTERSECTIONS	PAVE-930-D
INTERSECTION, STOP BAR & CROSSWALK MARKINGS	PAVE-945-D
TEMPORARY TRAFFIC CONTROL DEVICES	WZD-125-E*

*SPECIAL DETAIL INCLUDED IN THE PROPOSAL



SHEET NO. DESCRIPTION

CS	COVER SHEET
C1	TYPICAL EXISTING & PROPOSED CROSS SECTIONS
C2	NOTES & DETAILS
C3	ALIGNMENT PLAN
C4-C5	EXISTING CONDITIONS & REMOVALS PLAN
C6-C9	PLAN & PROFILE
C10-C11	PAVEMENT MARKING PLAN
C12	TRAFFIC CONTROL
C13	SOIL BORINGS

TRAFFIC DATA

NON-PARTICIPATING - W. ST. JOE (P.O.B. STA 0.25 TO P.O.E. STA 14+78)

POSTED SPEED	25 MPH
DESIGN SPEED	25 MPH
A.D.T.	914
COM%	12%

PARTICIPATING - W. ST. JOE/GRISWOLD (P.O.B. ST 14+78 TO P.O.E ST 48+95)

POSTED SPEED	25 MPH
DESIGN SPEED	25 MPH
A.D.T.	1253
COM%	17%

CONTROL SECTION:	STUL 30,000
JOB NUMBER:	215461

PROJECT LENGTH:
W. ST JOE FROM BACON TO SOUTH 0.28 MILES (NON-PARTICIPATING)
W. ST JOE/GRISWOLD FROM SOUTH TO WATER WORKS 0.64 MILES (PARTICIPATING)

CONTRACT FOR: RECONSTRUCTION AND CRUSH SHAPE AND PAVE OF THE ROADWAY SECTION, INSTALLATION OF CURB AND GUTTER, REQUIRED UPGRADES OF ADA SIDEWALK RAMPS

CITY OF HILLSDALE APPROVAL

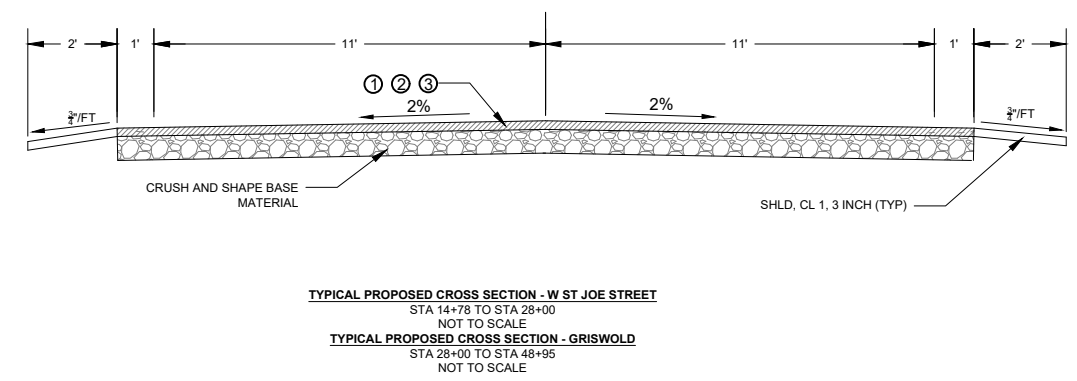
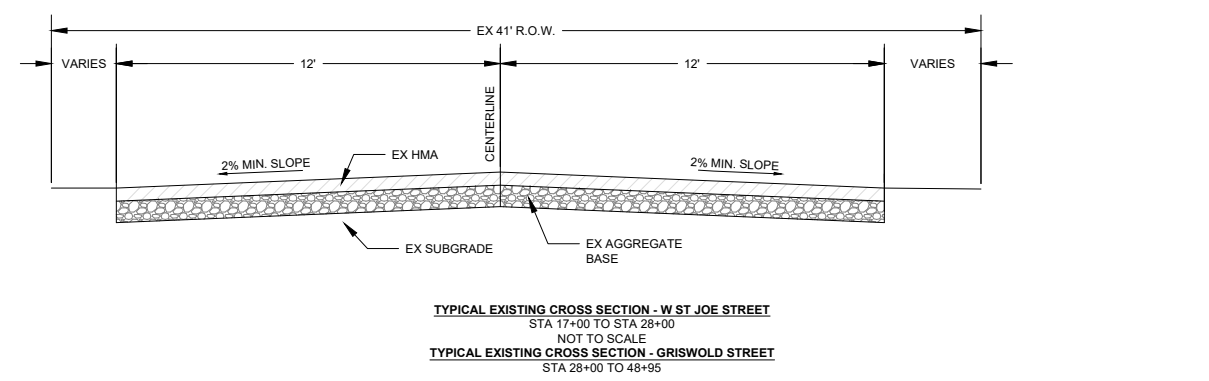
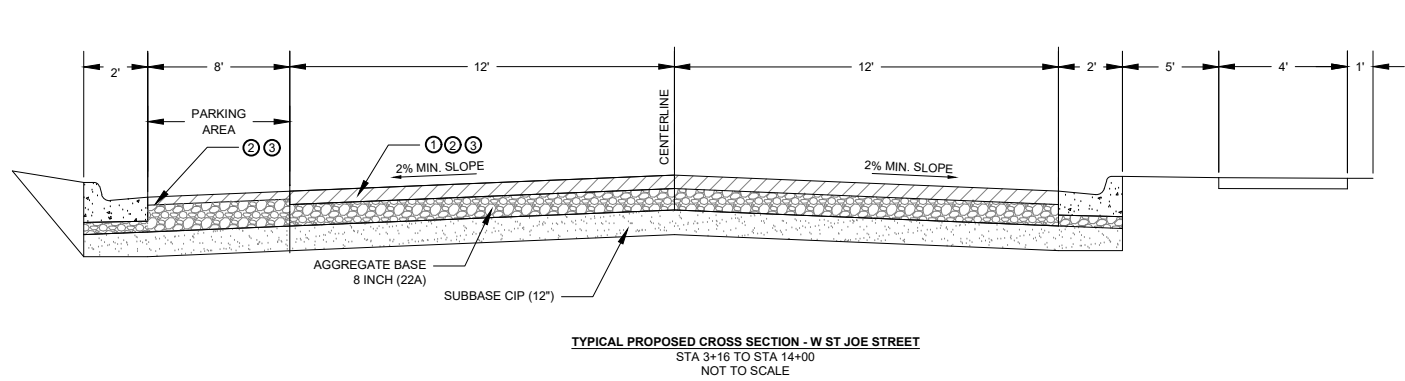
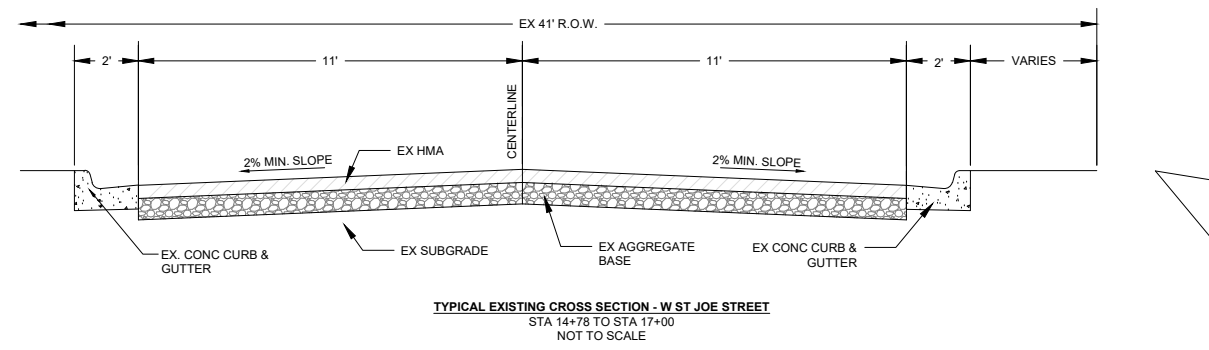
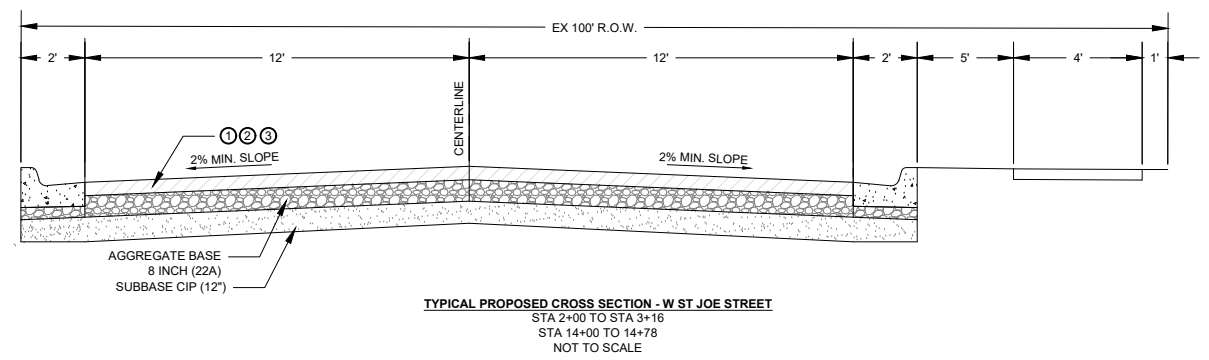
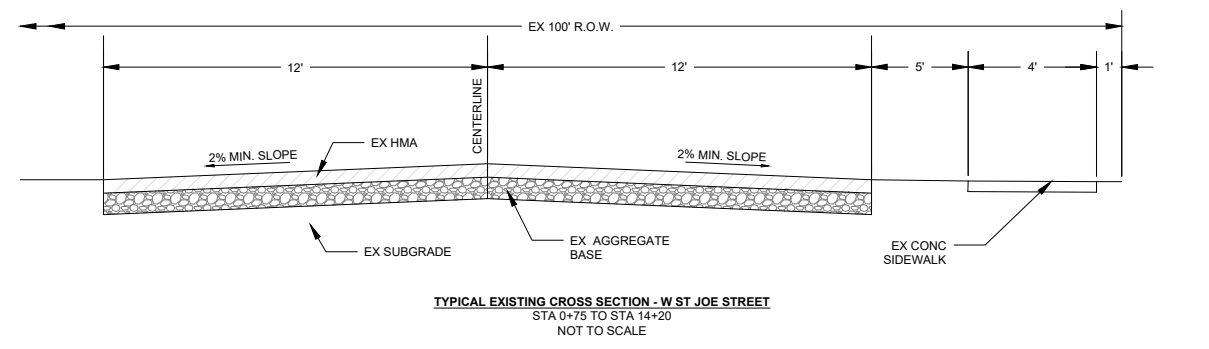
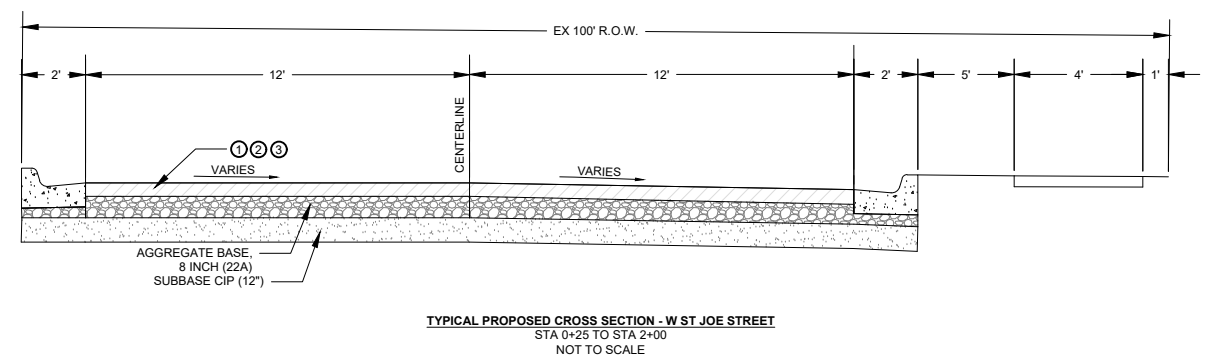
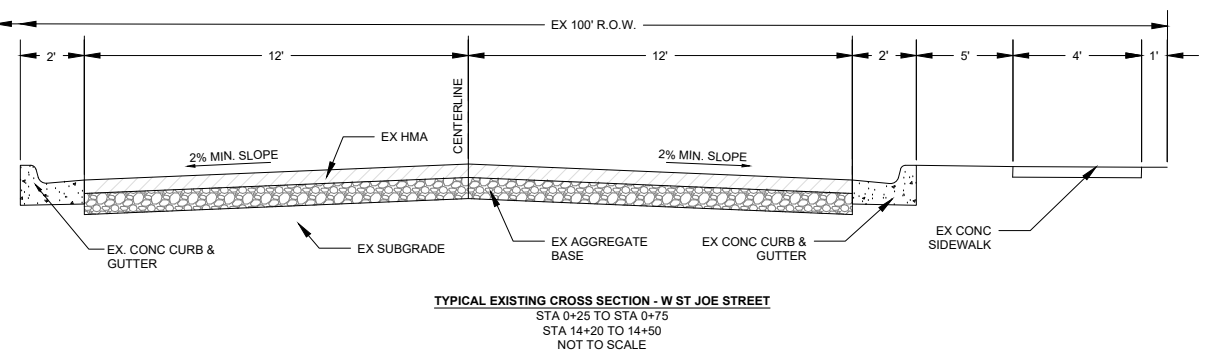
DAVID MACKIE CITY MANAGER	DATE
KRISTIN BAUER, P.E.	DATE



REVISIONS	DATE
80% REVIEW SET	07/26/23

**CITY OF HILLSDALE
 HILLSDALE, MI
 W. ST. JOE & GRISWOLD
 STREET PROJECT**

TYPICAL EXISTING & PROPOSED CROSS SECTIONS



DRAWING SCALE:
 NOT TO SCALE

DESIGNED	KLB	
DRAWN	BG/ES	
CHECKED	JB	

DRAWING NO. **C1**

SOIL EROSION CONTROL MEASURES

TO PROTECT SLOPES AND DITCHES, SOD OR SEED/MULCH SHOULD BE PLACED AS SOON AS POSSIBLE AND AS DIRECTED BY THE ENGINEER. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE UTILIZED DURING CONSTRUCTION IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND AS NECESSARY TO CONTROL SOIL EROSION AND SEDIMENTATION AND AS DIRECTED BY THE ENGINEER.

UNDERGROUND UTILITIES

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS & HOLIDAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING THE UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

EXISTING WATER MAINS AND SEWERS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERLY IDENTIFIED EXISTING WATER MAINS AND/OR EXISTING SEWERS DURING THE CONSTRUCTION OF THE PROJECT.

ADJUSTMENT OF CATCH BASINS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CATCH BASIN CASTINGS PROPERLY ALIGNED WITH THE PROPOSED CURB. ADJUSTMENT OF CASTINGS ON NEW STRUCTURES IS INCLUDED IN PAYMENT FOR THE DRAINAGE STRUCTURE COVER SPECIFIED. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS DR STRUCTURE COVER, ADJ, CASE 1. THESE ITEMS INCLUDE ALL BLOCK OR GRADE RINGS NECESSARY FOR PROPER ADJUSTMENT.

PROPERTY CORNER PRESENTATION

CONTRACTOR SHALL TAKE CARE TO ENSURE THAT PROPERTY CORNERS BEHIND THE SIDEWALKS SCHEDULED FOR REMOVAL AND REPLACEMENT ARE NOT DISTURBED.

SECTION CORNER SURVEY MARKER

CONTRACTOR SHALL CONFIRM THE SECTION CORNER AT BARNARD AND GRISWOLD IS WITNESSED BY HILLSDALE COUNTY SURVEYOR PRIOR TO ANY WORK AT THIS LOCATION.

SALVAGE

THE CITY RESERVES THE RIGHT TO SALVAGE ALL EXISTING MATERIALS (CASTINGS, HYDRANTS, SIGNS, ETC). MATERIALS DESIRED TO BE SALVAGED SHALL BE STOCKPILED WITHIN THE PROJECT LIMITS FOR THE CITY TO PICK UP. ITEMS THAT THE CITY DECIDES NOT TO SALVAGE BECOME PROPERTY OF THE CONTRACTOR.

CURB DIMENSIONS

ALL CURB DIMENSIONS SHALL BE FROM BACK OF CURB UNLESS OTHERWISE INDICATED

LAWN SPRINKLER SYSTEMS AND LANDSCAPING

OWNERS OF EXISTING LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING SHALL BE NOTIFIED (IN WRITING WITH A COPY SEND TO THE ENGINEER) BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF ANY WORK TO BE DONE THAT WILL AFFECT THOSE SYSTEMS AND/OR LANDSCAPING. IF THE PROPERTY OWNER FAILS TO RELOCATE THE LAWN SPRINKLER SYSTEM PRIOR TO THE CONTRACTOR BEGINNING WORK, AND IF THE CONTRACTOR CUTS CUTS THE SYSTEM DURING THE CONSTRUCTION, THE CONTRACTOR SHALL CAP THE SYSTEM PIPE AND WITNESS THE LOCATION OF THE CAP WITH A WOODEN STAKE FOR THE PROPERTY OWNERS USE. THE CONTRACTOR SHALL PLACE THE SALVAGED SPRINKLER HEADS IN THE PROPERTY OWNERS PROPERTY. IF THE PROPERTY OWNER FAILS THE RELOCATE THE LANDSCAPING PRIOR TO THE CONTRACTOR BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY SALVAGE THE LANDSCAPING ITEMS AND STOCKPILE THEM ON THE PROPERTY OWNERS PROPERTY FOR THE PROPERTY OWNER. ANY OTHER MODIFICATION TO THE LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING, IS THE RESPONSIBILITY OF THE OWNER AND IS NOT PART OF THE CONTRACT. THIS WORK IS INCLUDED IN OTHER ITEMS OF THE PROJECT.

CONCRETE WORK

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF PLANS TO POUR CONCRETE A MINIMUM OF 24 HOURS BEFORE THE POUR. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO HOURS BETWEEN FORMING A SECTION OF FLAT WORK AND POURING THE SECTION TO ALLOW FOR INSPECTION OF THE GRADES, GRADING, AND SUB-BASE. FAILURE TO PROVIDE NOTICE AND TIME FOR INSPECTION WILL BE CONSIDERED CAUSE TO REJECT THE PRODUCT OR CAUSE TO REQUIRE RESCHEDULING OF THE WORK, WITH NOADJUSTMENTS TO THE COMPLETION DATES.

SUBBASE (CIP)

WHEN THE NATURAL MATERIAL MEETING SUBBASE REQUIREMENTS IS LEFT IN PLACE, IT WILL NOT BE PAID FOR. THE GRADING AND COMPACTIVE WORK REQUIRED SHALL BE INCLUDED IN COMPENSATION FOR THE ROADWAY GRADING. EXCAVATION FOR INSTALLATION OF NEW SAND SUBBASE, IF REQUIRED, IS TO BE INCLUDED IN SUBBASE (CIP).

DRIVEWAYS

EXISTING DRIVEWAYS SHALL BE REMOVED WHERE NECESSARY, WHERE SHOWN ON PLANS OR DIRECTED BY ENGINEER, AND SHALL BE PAID FOR AS PAVT, REM. GRADING AND PREPARATION FOR NEW DRIVEWAY SHALL BE INCLUDED IN ROADWAY GRADING. CONTRACTOR SHALL MAINTAIN ACCESS TO DRIVEWAYS DURING CONSTRUCTION INCLUDED IN ROADWAY GRADING.

NOTICE TO RESIDENTS

THE CONTRACTOR SHALL NOTIFY RESIDENTS 24 HOURS IN ADVANCE OF DISRUPTION TO SERVICE, SUCH AS DRIVEWAY CLOSING OR UTILITY SERVICE.

SAWCUTTING PAVEMENT

SAWCUTTING EXISTING PAVEMENT AT REMOVAL LIMITS WHERE INDICATED ON THE PLANS AND AS DIRECTED BY THE ENGINEER SHALL BE INCLUDED IN ROADWAY GRADING.

CURB AND GUTTER

PLACEMENT OF AND PAYMENT FOR CONCRETE CURB AND GUTTER INCLUDES PLACING TWO #4 EPOXY COATED REBAR DOWELS EPOXY ANCHORED INTO EXISTING CURB AND GUTTER AT POINTS OF CONNECTION. REMOVAL AND REPLACEMENT OF CURB AND GUTTER AT SIDEWALK RAMP.

SURFACE RESTORATION

AREAS DISTURBED BY CONSTRUCTION, SURFACE SHALL BE GRADED SMOOTH AND RESTORED WITH 4" OF NEW TOPSOIL, HYDROSEEDDED, FERTILIZED, MULCHED, AND ANCHORING MULCHED. SLOPES OF 1:2 OR STEEPER SHALL RECEIVE TURF ESTABLISHMENT PEGGED IN PLACE. AREAS BETWEEN THE CURB AND SIDEWALK SHALL BE FILLED AND GRADED SMOOTH AND RESTORED AS NOTED ABOVE. RESTORATION SHALL BE FROM BACK OF CURB TO RIGHT OF WAY AS DIRECTED BY ENGINEER. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE STREET RIGHT-OF-WAY WILL NOT BE PAID FOR SEPARATELY UNLESS SHOWN ON THE PLANS OR AS DIRECTED BY ENGINEER. SURFACE RESTORATION WILL BE PAID FOR AS TURF ESTABLISHMENT.

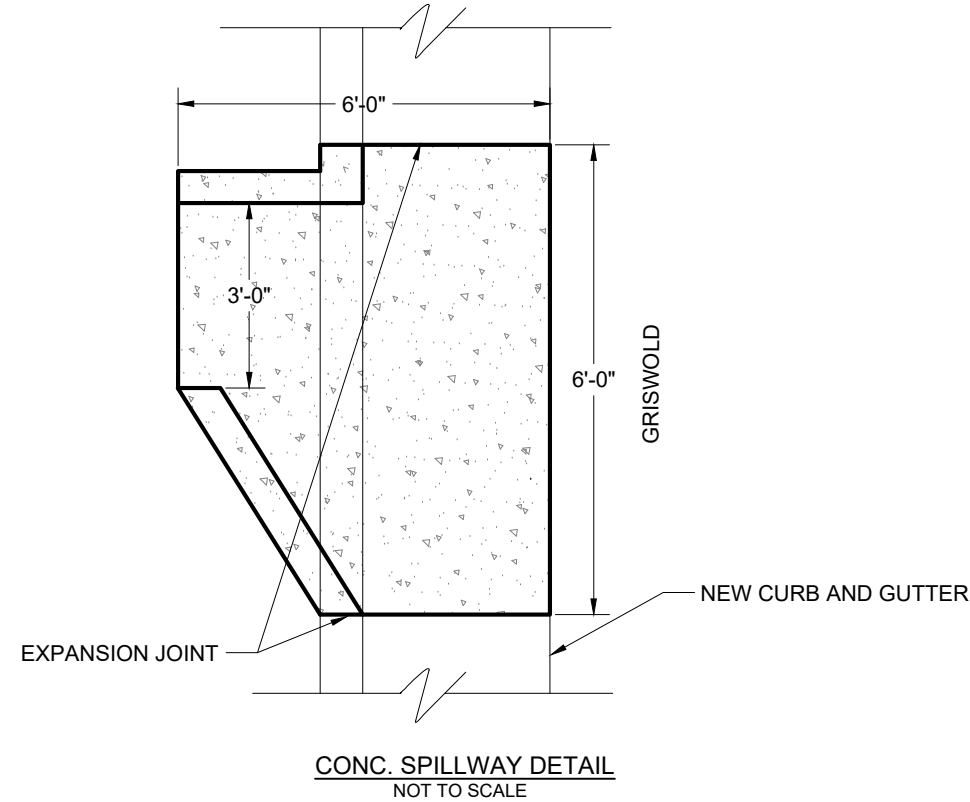
MAINTAINING TRAFFIC

CONTRACTOR SHALL MAINTAIN ACCESS TO LOCAL RESIDENTS AND EMERGENCY VEHICLES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY AGGREGATE AT DRIVEWAYS AS NECESSARY TO MAINTAIN ACCESS. TEMPORARY GRAVEL INCLUDED IN ROADWAY GRADING.

HMA APPLICATION TABLE					
	COURSE	HMA	EST. YIELD	BINDER GRADE	AWI
①	BASE	LVSP	220 LBS/SYD	PG 58-28	-
②	LEVELING	LVSP	165 LBS/SYD	PG 58-28	-
③	TOP	LVSP	165 LBS/SYD	PG 58-28	260

HMA NOTES:

- 1) BOND COAT SHALL BE APPLIED BETWEEN SUCCESSIVE COURSES OF HMA (PAYMENT INCLUDED IN HMA MIX). APPLICATION RATE 0.05 - 0.15 GAL/SYD SS-IH, AS DIRECTED BY ENGINEER.



CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT

NOTES AND DETAILS

PUBLIC UTILITIES: THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION AVAILABLE. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THEIR ACCURACY OR THE RESPONSIBILITY IN CASE UTILITIES HAVE BEEN REMOVED OR CONSTRUCTED.

GAS:	MICHIGAN GAS UTILITY 70 SAUK RIVER DRIVE COLDWATER, MI 49036 P - 517-781-0511 ATTN: DONALD SEEKMAN donald.seekman@michiganutilities.com	ELECTRIC:	CITY OF HILLSDALE BPU 45 MONROE STREET HILLSDALE, MI 49242 P - 517-437-6417 ATTN: JAKE HAMMEL jhammel@hilldalebpu.com
CABLE TELEVISION:	COMCAST 25626 TELEGRAPH RD. SOUTHFIELD, MI 48034 P - 734-359-1669 ATTN: JEFF DOBIES	TELEPHONE:	AT&T 1041 HURST ROAD JACKSON, MI 49201 P - 517-750-0660 ATTN: KAREN TRUDGEN karen.m.trudgen@att.com
WATER/SEWER:	CITY OF HILLSDALE BPU 45 MONROE STREET HILLSDALE, MI 49242 P - 517-437-6412 ATTN: JEFF GIER jgier@hilldalebpu.com	PUBLIC WORKS:	CITY OF HILLSDALE 149 WATER WORKS AVE HILLSDALE, MI 49242 517-437-6491 ATTN: JASON BLAKE jblake@cityofhilldale.org

THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADE SHALL BE REPORTS TO THE CITY ENGINEER AND ADJUSTMENTS MADE AT NO ADDITIONAL COST TO THE OWNER.

DRAWING SCALE:
NOT TO SCALE

DESIGNED	KLB	
DRAWN	BG/ES	
CHECKED	JB	

DRAWING NO. **C2**

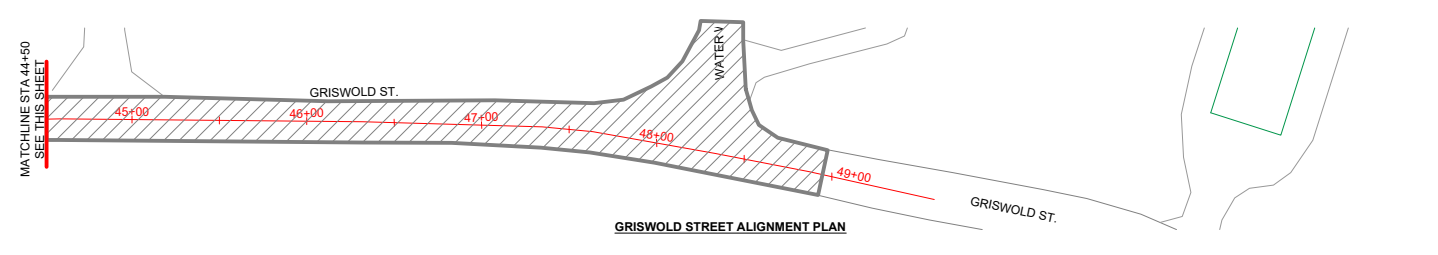
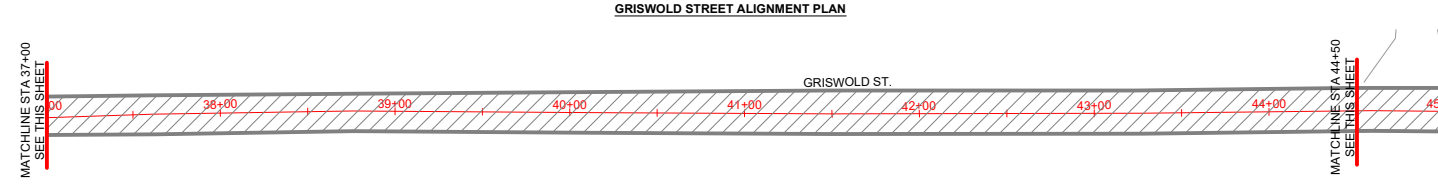
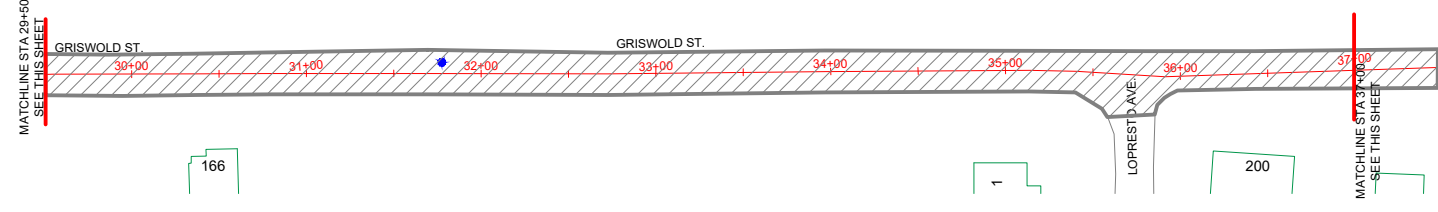
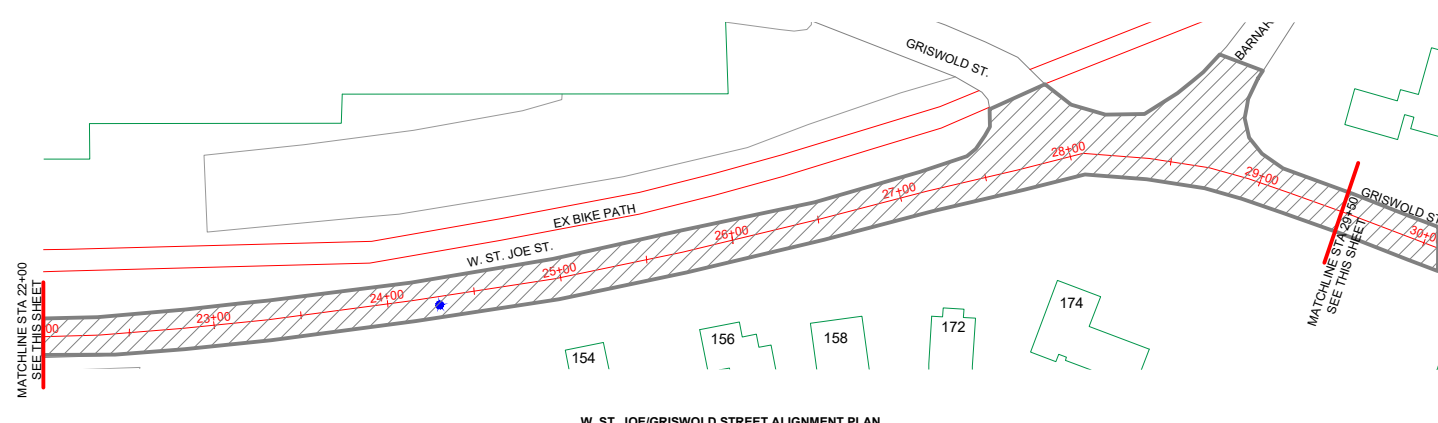
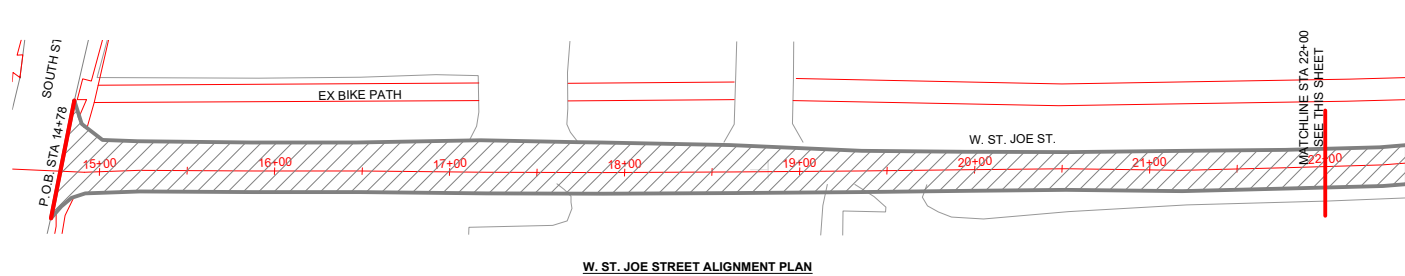
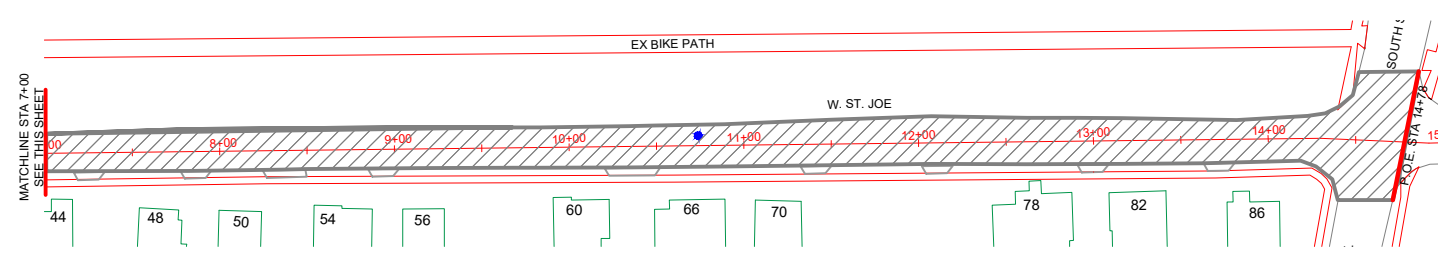
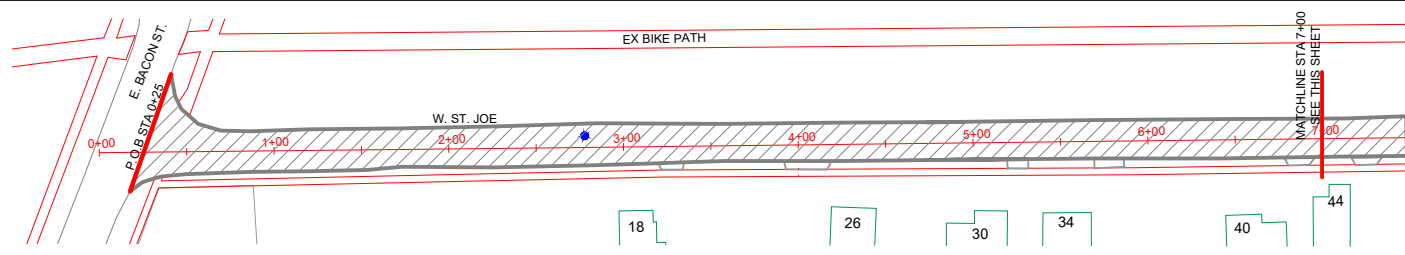
REVISIONS	DATE
80% REVIEW SET	07/26/23

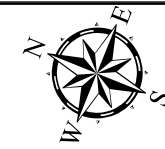
CITY OF HILLSDALE
 HILLSDALE, MI
**W. ST. JOE & GRISWOLD
 STREET PROJECT**

ALIGNMENT PLAN

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DRAWING SCALE: NOT TO SCALE		
DESIGNED	KLB	
DRAWN	BG/ES	
CHECKED	JB	
DRAWING NO.		C3

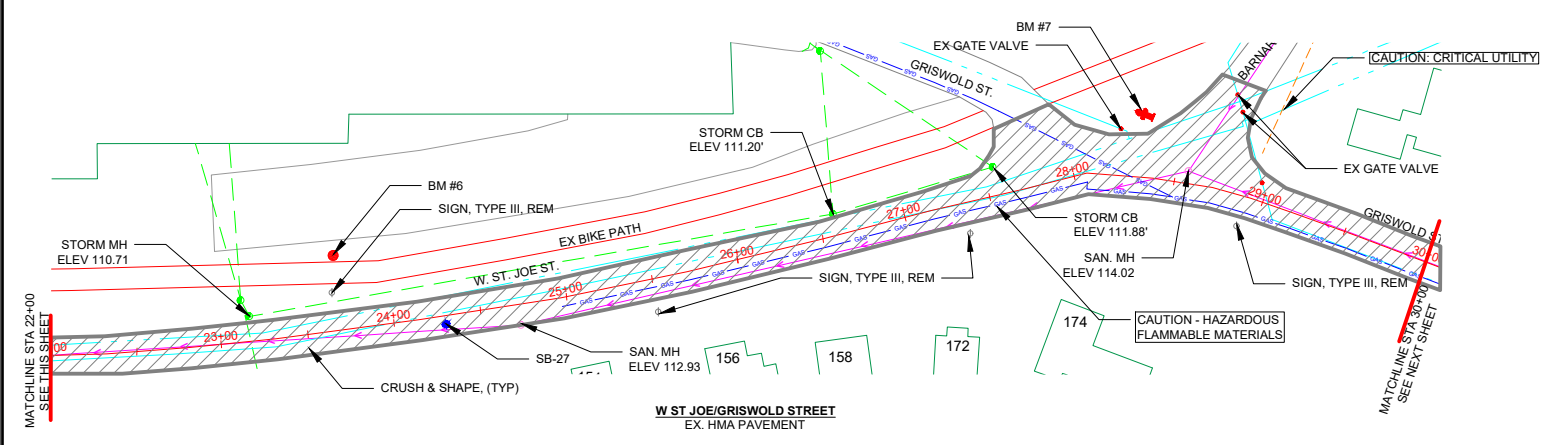
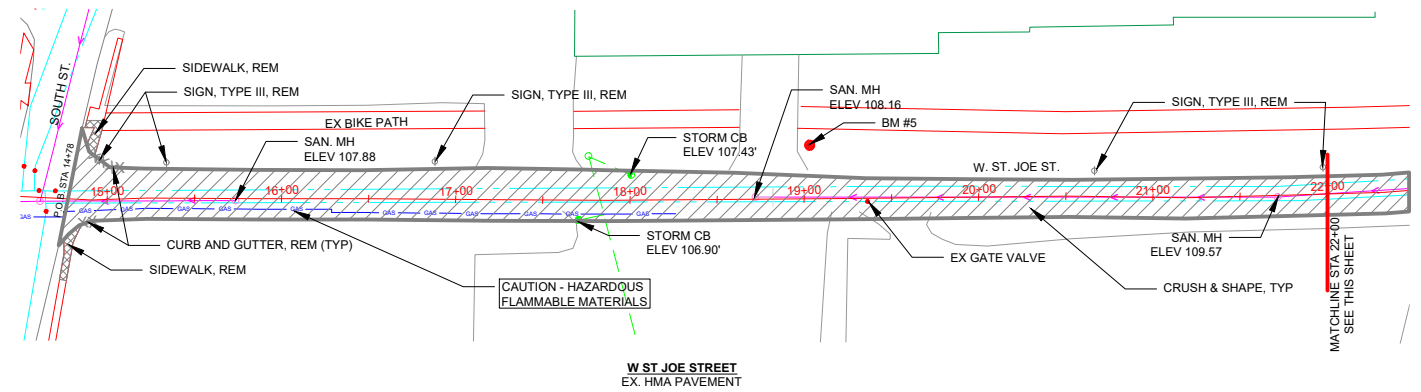
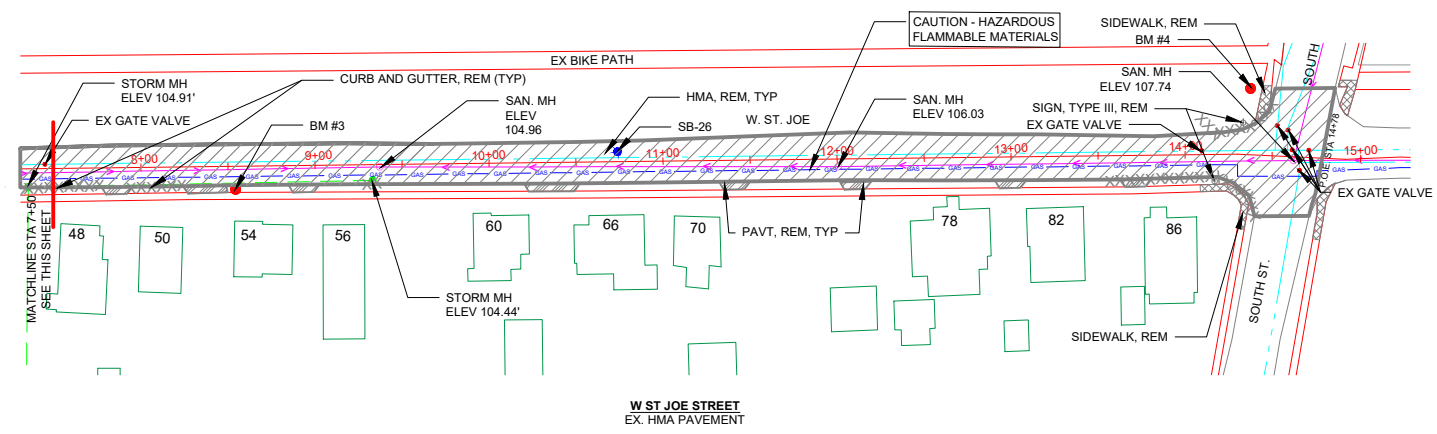
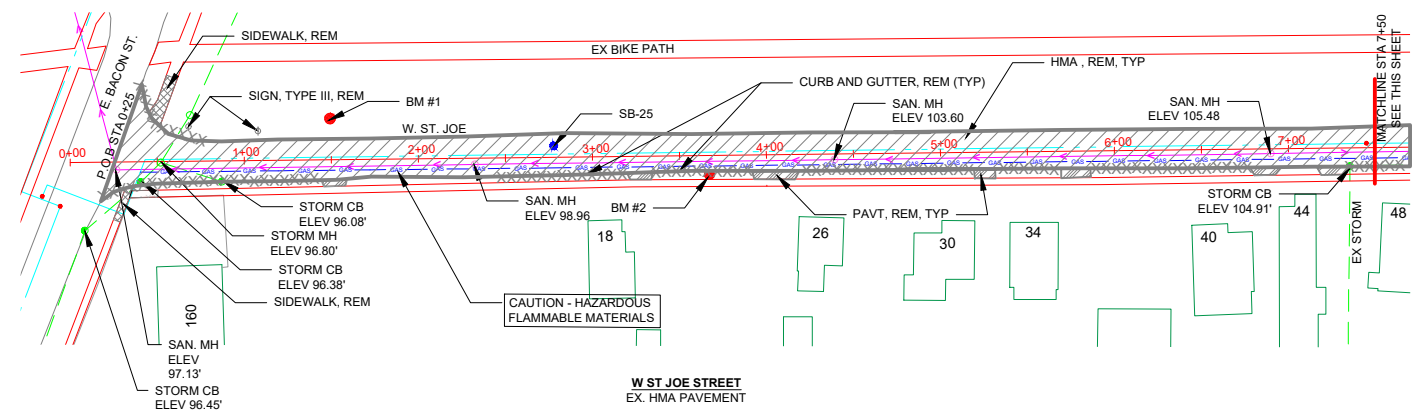




REVISIONS	DATE
80% REVIEW SET	07/26/23

**CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT**

EXISTING CONDITIONS & REMOVALS



- BM #1 ELEV 100.00'
NAIL IN SECOND POLE SOUTH OF E BACON ST
ON EAST SIDE OF W ST JOE
- BM #2 ELEV 104.53'
NAIL IN POLE ON WEST SIDE OF W ST JOE
AT 24 W ST JOE
- BM #3 ELEV 105.40'
NAIL IN POLE ON WEST SIDE OF W ST JOE
AT 54 W ST JOE
- BM #4 ELEV 109.79'
SPIKE IN POLE ON THE NORTHEAST CORNER
OF W ST JOE AND SOUTH ST
- BM #5 ELEV 111.01'
NAIL IN POLE ON EAST SIDE OF W ST JOE
JUST PAST SECOND DRIVEWAY
- BM #6 ELEV 111.79'
NAIL IN POLE ON EAST SIDE OF W ST JOE
NEAR STA 23+50
- BM #7 ELEV 113.77'
FIRE HYDRANT AT THE INTERSECTION OF
GRISWOLD AND BARNARD

**PROJECT QUANTITIES - THIS SHEET
(NON-PARTICIPATING)**

ITEM CODE	QUANTITY	UNIT	DESCRIPTION
2040020	800	FT	CURB AND GUTTER, REM
2040050	125	SY	PAVT, REM
2040055	65	SY	SIDEWALK, REM
3050002	4200	SY	HMA SURFACE, REM
8100403	4	EA	SIGN, TYPE III, REM

PROJECT QUANTITIES - THIS SHEET (PARTICIPATING)

ITEM CODE	QUANTITY	UNIT	DESCRIPTION
2040020	30	FT	CURB AND GUTTER, REM
2040055	30	SY	SIDEWALK, REM
3057011	4850	SY	HMA, BASE CRUSHING AND SHAPING
8100403	9	EA	SIGN, TYPE III, REM

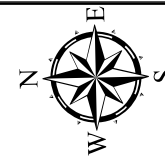
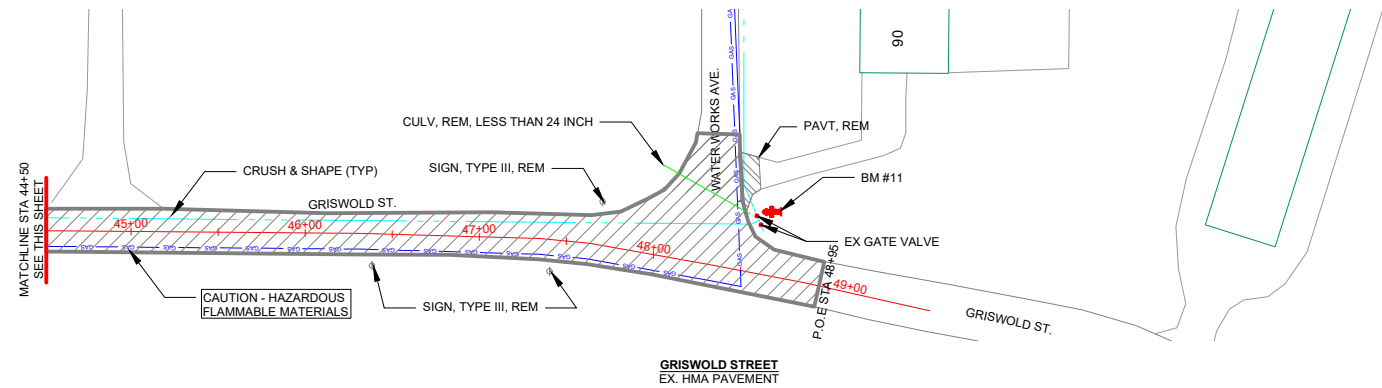
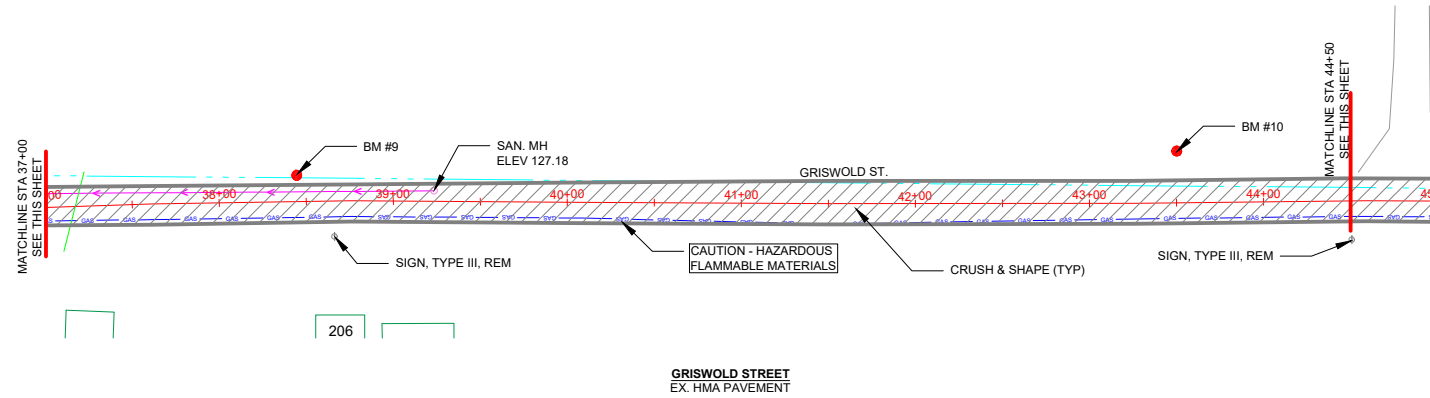
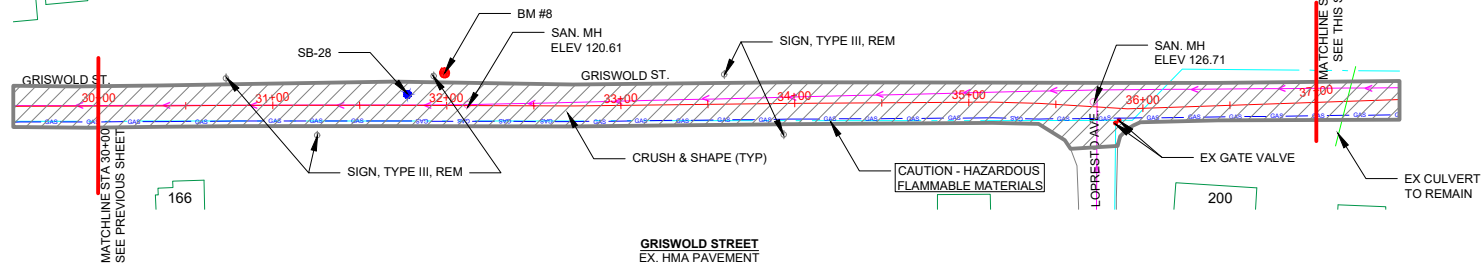
DRAWING KEY

HMA, BASE CRUSHING AND SHAPING		PAVT REMOVAL	
SIDEWALK REMOVAL		CURB AND GUTTER REMOVAL	XXXXXX
GAS LINE		WATER MAIN	
SANITARY LINE		FIBER OPTIC	

DRAWING SCALE:
1" = 50'

DESIGNED	KLB	
DRAWN	BG/ES	
CHECKED	JB	
DRAWING NO.	C4	

163



- BM #6 ELEV 111.79'
NAIL IN POLE ON EAST SIDE OF W ST JOE
NEAR STA 23+50
- BM #7 ELEV 113.77'
FIRE HYDRANT AT THE INTERSECTION OF
GRISWOLD AND BARNARD
- BM #8 ELEV 121.31'
NAIL IN POLE ON EAST SIDE OF GRISWOLD
LOCATED NEXT TO LEFT TURN SIGN
- BM #9 ELEV 126.72'
NAIL IN POLE ON EAST SIDE OF GRISWOLD
NEAR ST 38+50
- BM #10 ELEV 130.61'
BASE OF FIBER OPTIC BOX ON EAST SIDE
OF GRISWOLD NEAR STA 43+50
- BM #11 ELEV 122.28'
FIRE HYDRANT ON EAST SIDE OF GRISWOLD AT
INTERSECTION OF GRISWOLD AND WATERWORKS

REVISIONS	DATE
80% REVIEW SET	07/26/23

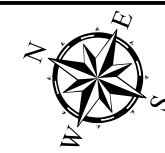
PROJECT QUANTITIES -THIS SHEET			
ITEM CODE	QUANTITY	UNIT	DESCRIPTION
2030001	1	EA	CULV. REM. LESS THAN 24 INCH
2040050	35	SY	PAVT, REM
3050002	5830	SY	HMA, BASE CRUSHING AND SHAPING
8100403	10	EA	SIGN, TYPE III, REM

**CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT**

EXISTING CONDITIONS & REMOVALS

DRAWING SCALE: 1" = 50'	
DESIGNED	KLB
DRAWN	BG/ES
CHECKED	JB
DRAWING NO. C5	

DRAWING KEY			
HMA, BASE CRUSHING AND SHAPING		WATER MAIN	
PAVT REM		SANITARY LINE	
GAS LINE		GAS	



BM #1 ELEV 100.00'
NAIL IN SECOND POLE SOUTH OF E BACON ST
ON EAST SIDE OF W ST JOE

BM #2 ELEV 104.53'
NAIL IN POLE ON WEST SIDE OF W ST JOE
AT 24 W ST JOE

BM #3 ELEV 105.40'
NAIL IN POLE ON WEST SIDE OF W ST JOE
AT 54 W ST JOE

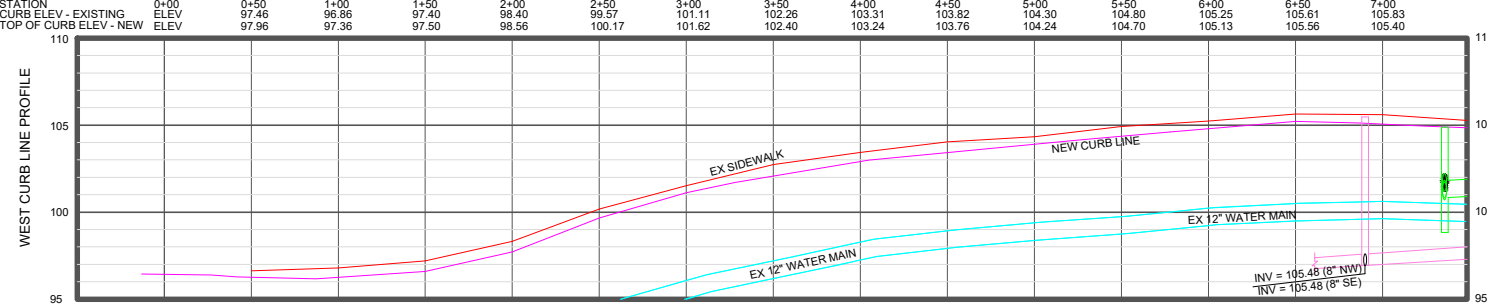
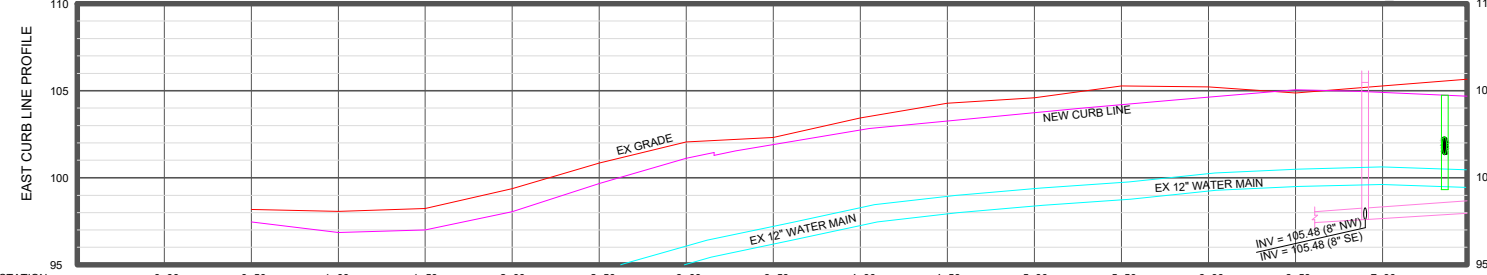
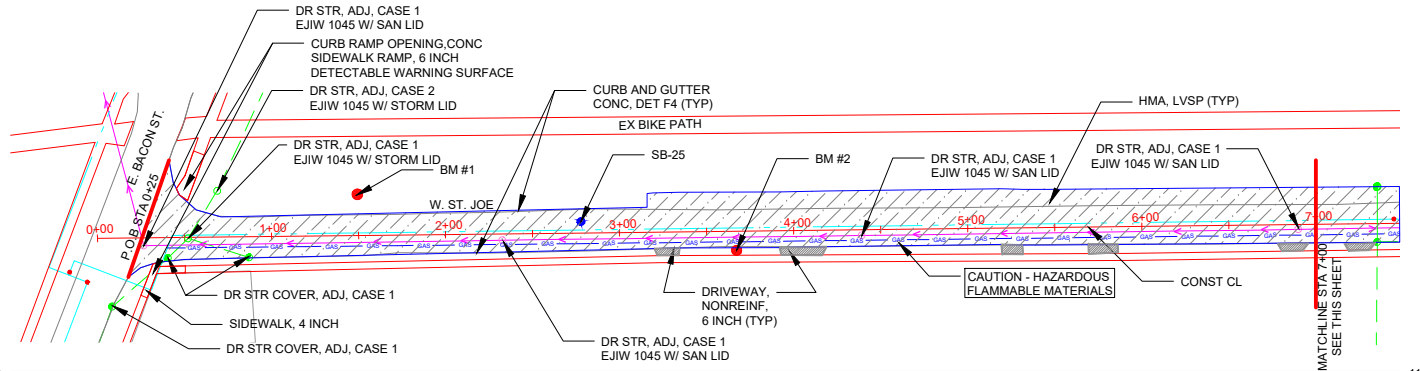
BM #4 ELEV 109.79'
SPIKE IN POLE ON THE NORTHEAST CORNER
OF W ST JOE AND SOUTH ST

REVISIONS	DATE
80% REVIEW SET	07/26/23

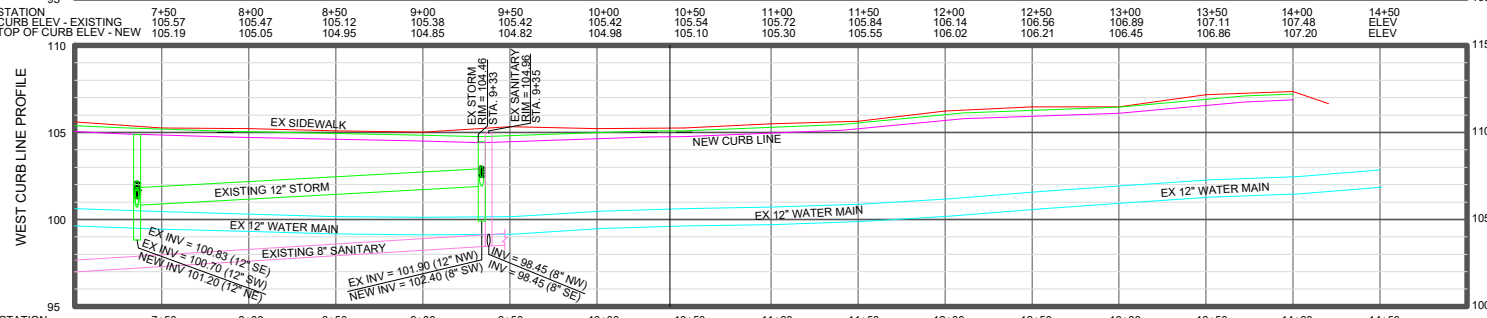
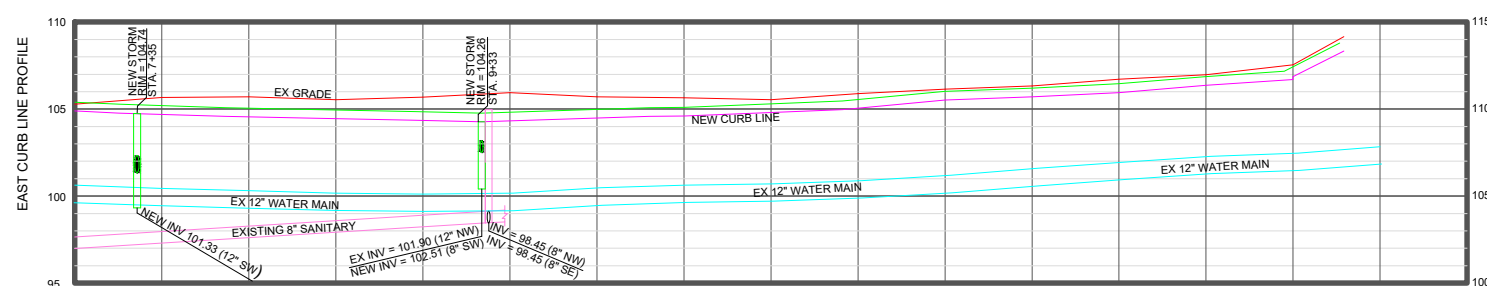
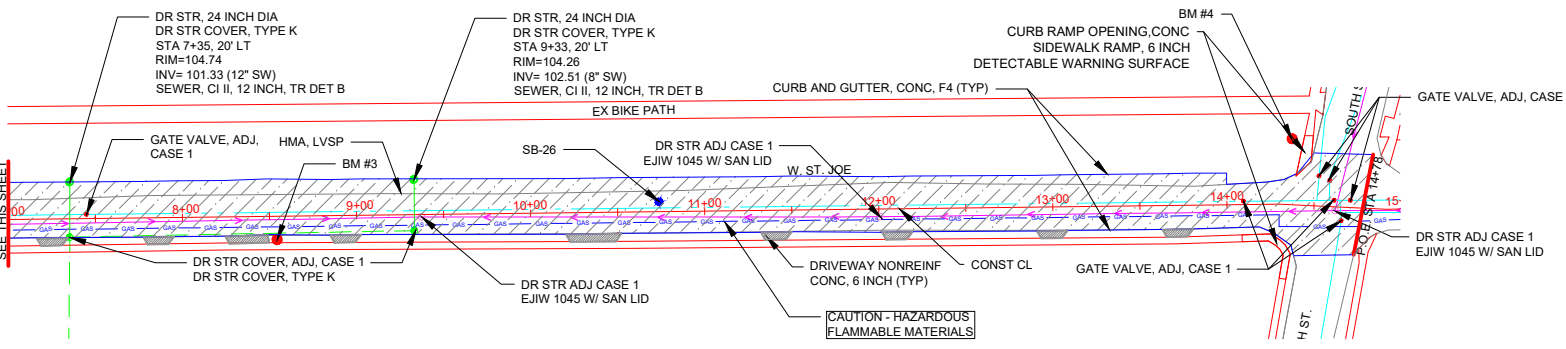
PROJECT QUANTITIES -THIS SHEET NON-PARTICIPATING			
ITEM CODE	QUANTITY	UNIT	DESCRIPTION
2017002	14.5	STA	ROADWAY GRADING
2050041	250	CY	SUBGRADE UNDERCUTTING, TYPE II
2080020	7	EA	EROSION CONTROL, INLET PROTECTION, FABRIC DROP
3010002	1750	CY	SUBBASE, CIP
3020020	5230	SY	AGGREGATE BASE, 8 INCH
4020748	65	FT	SEWER, CL II, 12 INCH, TR DET B
4030005	12	EA	DR STRUCTURE COVER, ADJ. CASE 1
4030006	1	EA	DR STRUCTURE COVER, ADJ. CASE 2
4030050	4	EA	DR STRUCTURE COVER TYPE K
4030200	2	EA	DR STRUCTURE, 24 INCH
4037050	7	EA	EJIW1045 W/1040 "SANITARY" LID
4037050	2	EA	EJIW1045 W/ 1040 "STORM" LID
5010033	1450	TON	HMA, LVSP
8010005	125	SY	DRIVEWAY, NONREINF, CONC, 6 INCH
8020038	2925	FT	CURB AND GUTTER, CONC F4
8030010	30	FT	DETECTABLE WARNING SURFACE
8030030	40	FT	CURB RAMP OPEN, CONC
8030044	135	SF	SIDEWALK CONC 4 INCH
8030046	200	SF	SIDEWALK CONC 6 INCH
8030036	188	SF	CURB RAMP, CONC, 6 INCH
8167011	1200	SY	TURF ESTABLISHMENT
8230431	7	EA	GATE BOX, ADJ. CASE 1

**CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT**

**W. ST. JOE STREET - RECONSTRUCTION
PLAN AND PROFILE STA 0+25 TO 14+78**



STATION	CURB ELEV - EXISTING ELEV	TOP OF CURB ELEV - NEW ELEV
0+00	98.21	97.96
0+50	98.21	97.96
1+00	98.23	97.96
1+50	96.80	97.10
2+00	97.71	98.21
2+50	98.67	100.17
3+00	101.12	101.62
3+50	102.17	102.57
4+00	103.00	103.41
4+50	103.57	103.92
5+00	104.16	104.42
5+50	104.42	104.86
6+00	104.86	105.21
6+50	105.22	105.72
7+00	105.63	105.55



STATION	CURB ELEV - EXISTING ELEV	TOP OF CURB ELEV - NEW ELEV
7+50	105.57	105.19
8+00	104.89	105.05
8+50	105.12	104.95
9+00	105.38	104.85
9+50	105.42	104.82
10+00	105.42	104.98
10+50	105.54	105.10
11+00	105.72	105.30
11+50	105.84	105.55
12+00	105.90	106.02
12+50	106.22	106.56
13+00	106.42	106.89
13+50	107.11	107.11
14+00	107.48	107.20
14+50	106.87	107.37

DRAWING KEY			
NEW PAV'T		NEW DRIVEWAY	
GAS LINE		WATER MAIN	
		SANITARY LINE	

DRAWING SCALE:
VERT: 1" = 5' HORIZ: 1" = 50'

DESIGNED	KLB
DRAWN	BG/ES
CHECKED	JB

DRAWING NO. **C6**



BM #5 ELEV 111.01'
NAIL IN POLE ON EAST SIDE OF W ST JOE
JUST PAST SECOND DRIVEWAY

BM #6 ELEV 111.79'
NAIL IN POLE ON EAST SIDE OF W ST JOE
NEAR STA 23+50

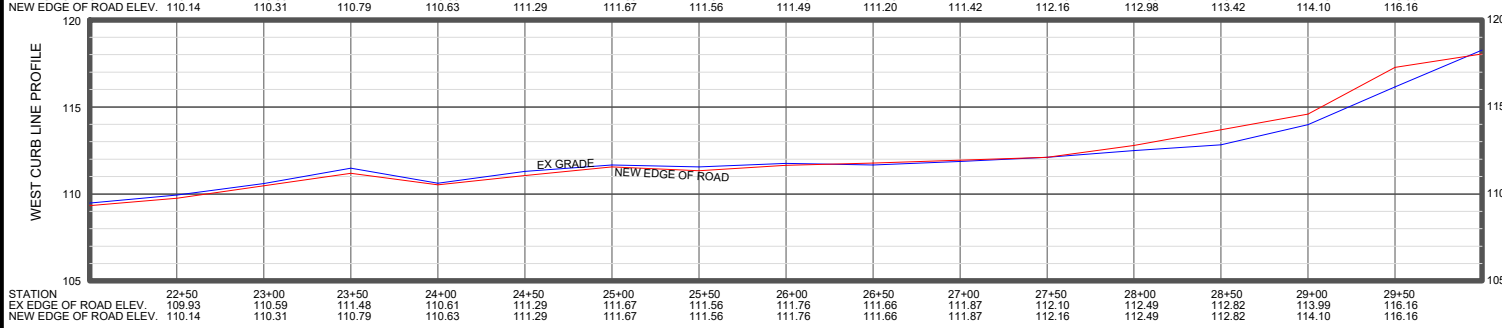
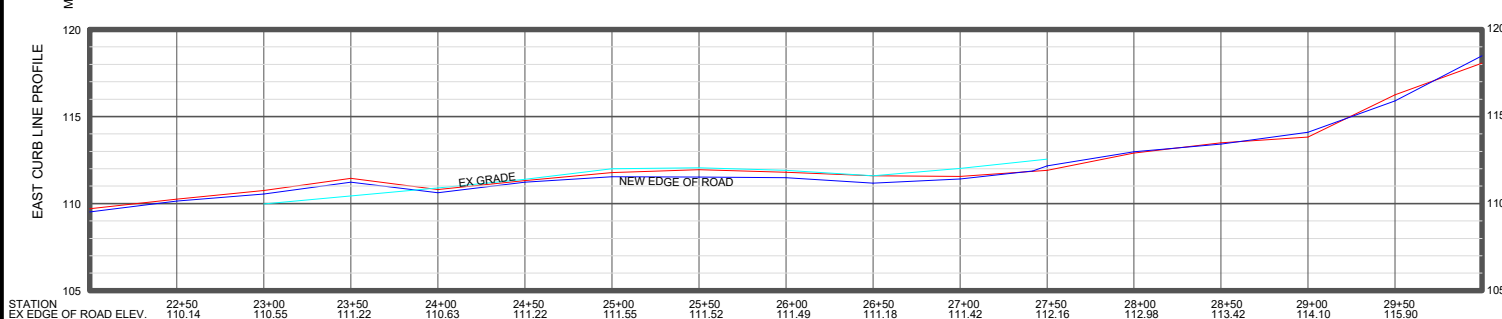
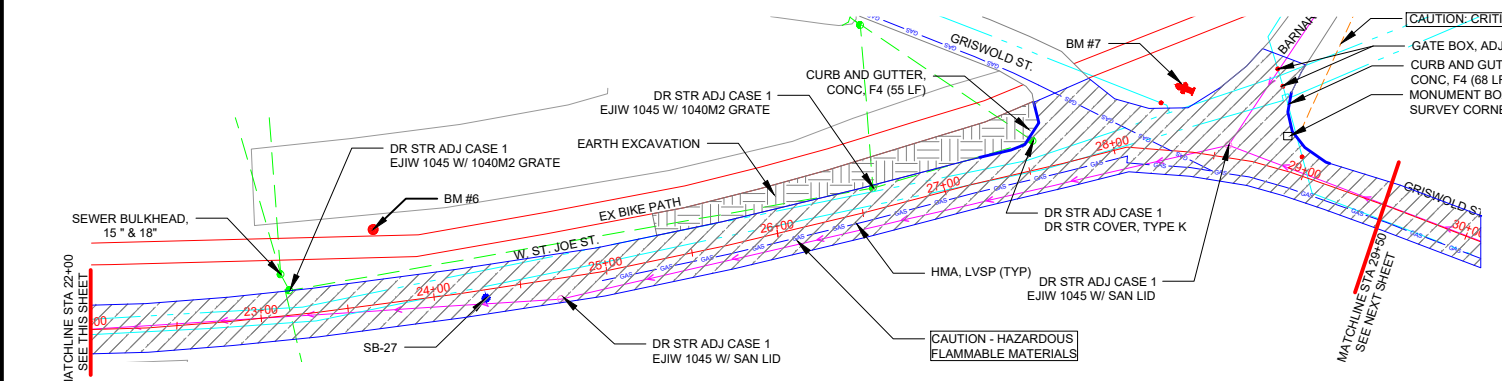
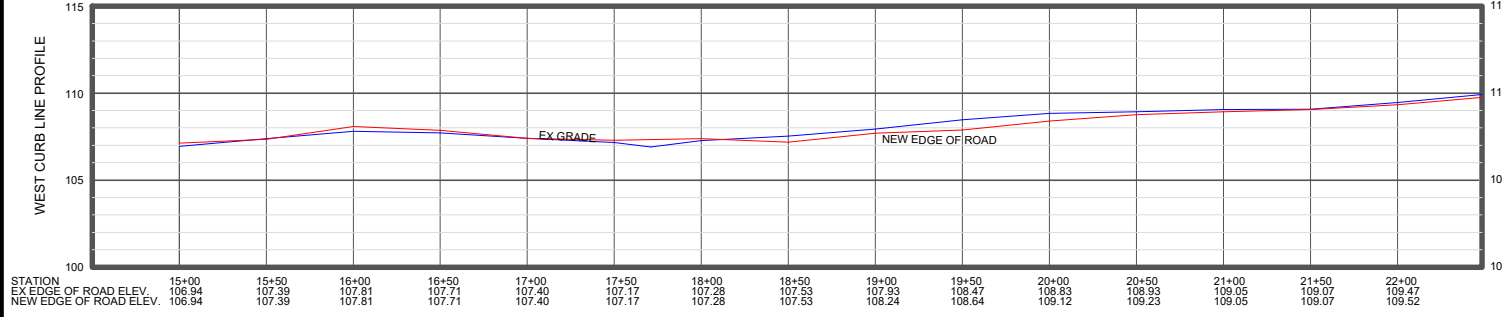
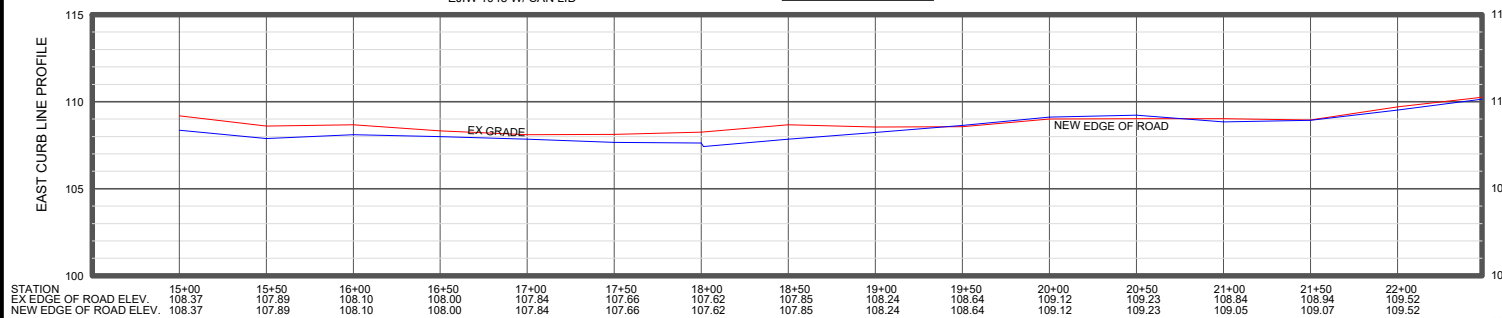
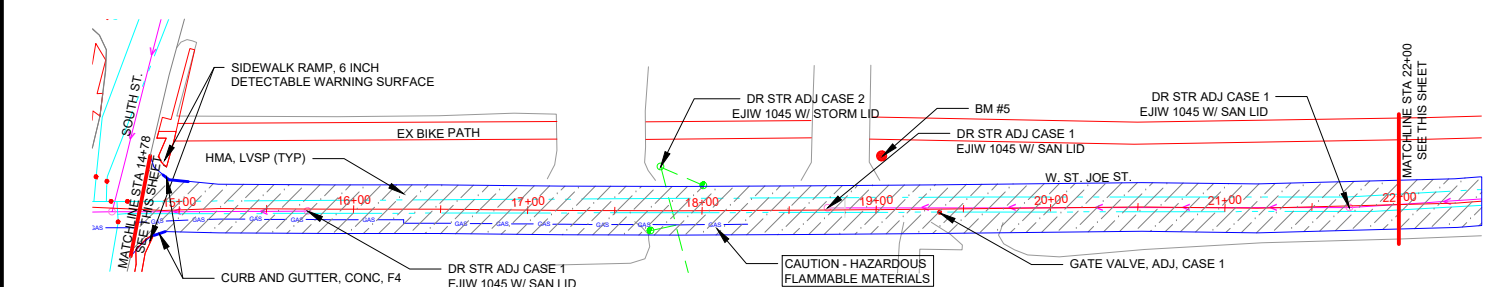
BM #7 ELEV 113.77'
FIRE HYDRANT AT THE INTERSECTION OF
GRISWOLD AND BARNARD

REVISIONS	DATE
80% REVIEW SET	07/26/23

PROJECT QUANTITIES - THIS SHEET			
ITEM CODE	QUANTITY	UNIT	DESCRIPTION
2050016	200	CY	EXCAVATION, EARTH
2050041	240	CY	SUBGRADE UNDERCUTTING, TYPE II
2080020	5	EA	EROSION CONTROL, INLET PROTECTION, FABRIC DROP
3070105	360	SY	SHLD, CL 1, 3 INCH
4021231	1	EA	SEWER BULKHEAD, 15 INCH
4021232	1	EA	SEWER BULKHEAD, 18 INCH
4030005	8	EA	DR STRUCTURE COVER, ADJ, CASE 1
4030006	1	EA	DR STRUCTURE COVER, ADJ, CASE 2
4030050	1	EA	DR STRUCTURE COVER TYPE K
4037050	2	EA	EJIW 1045 W/1040M2 GRATE
4037050	5	EA	EJIW1045 W/1040 SANITARY LID
4037050	1	EA	EJIW1045 W/1040 STORM LID
5010033	1500	TON	HMA, LVSP
8020038	150	FT	CURB AND GUTTER, CONC F4
8030010	15	FT	DETECTABLE WARNING SURFACE
8030030	30	FT	CURB RAMP OPEN, CONC
8030044	60	SF	SIDEWALK CONC 4 INCH
8030036	210	SF	CURB RAMP, CONC, 6 INCH
8167011	1700	SY	TURF ESTABLISHMENT
8210001	1	EA	MONUMENT BOX
8230431	3	EA	GATE BOX, ADJ, CASE 1

CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT

W. ST. JOE/GRISWOLD STREET
PLAN AND PROFILE STA 14+28 TO 29+50

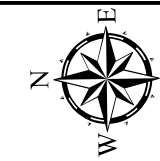


DRAWING KEY			
NEW PAVT		WATER MAIN	
EARTH EXCAVATION		SANITARY LINE	
GAS LINE		BURIED FIBER OPTIC	
NEW CURB			

DRAWING SCALE:
VERT: 1" = 5' HORIZ: 1" = 50'

DESIGNED	KLB
DRAWN	BG/ES
CHECKED	JB

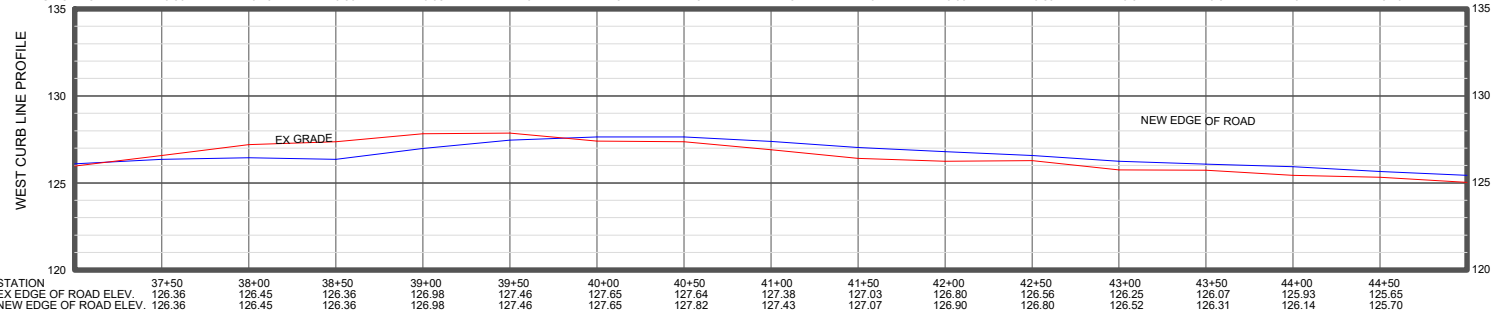
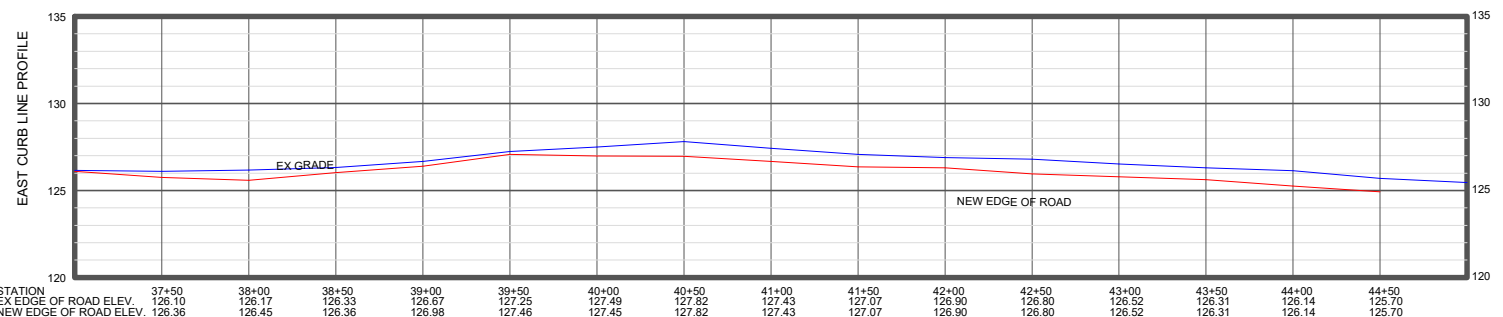
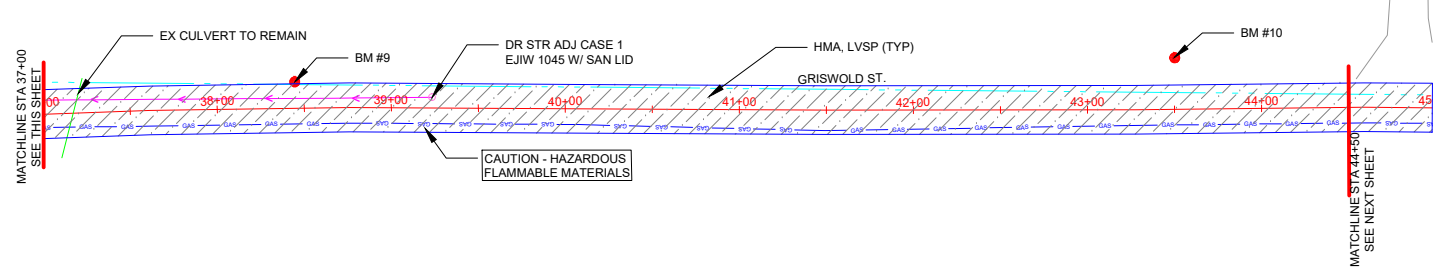
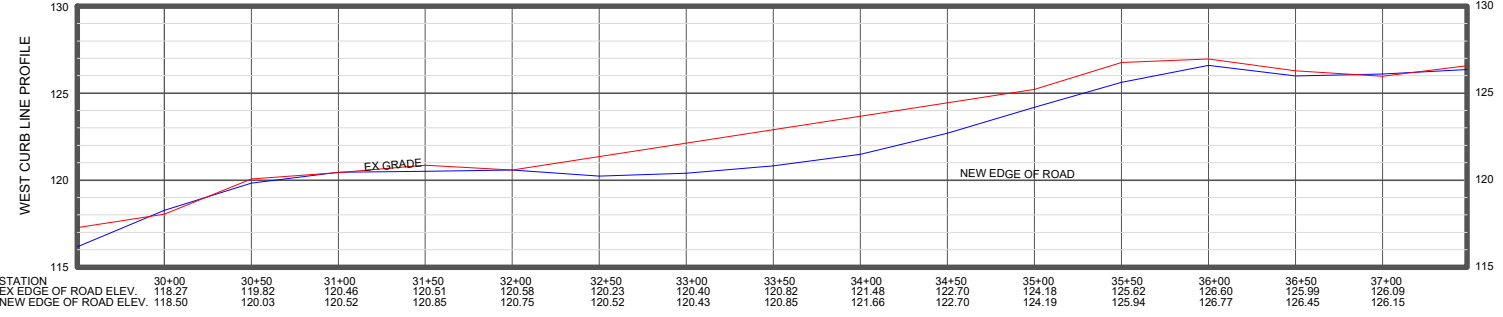
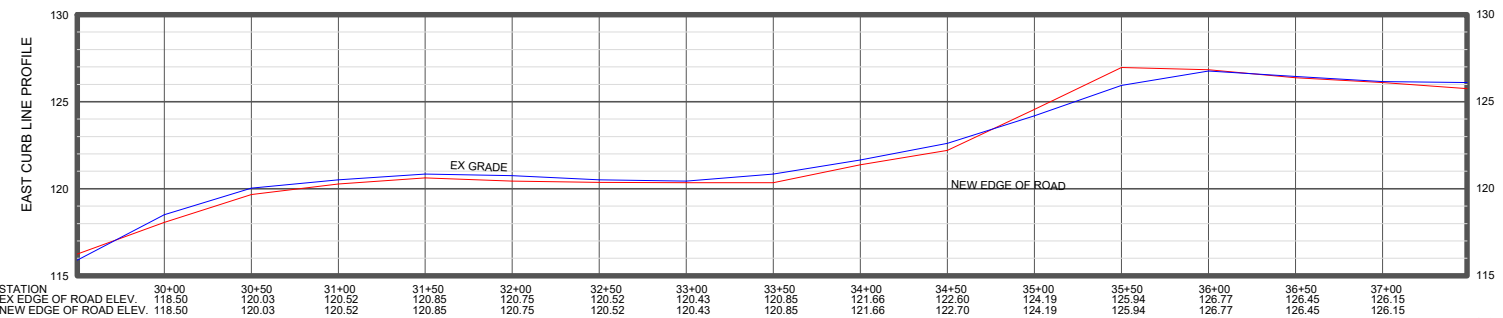
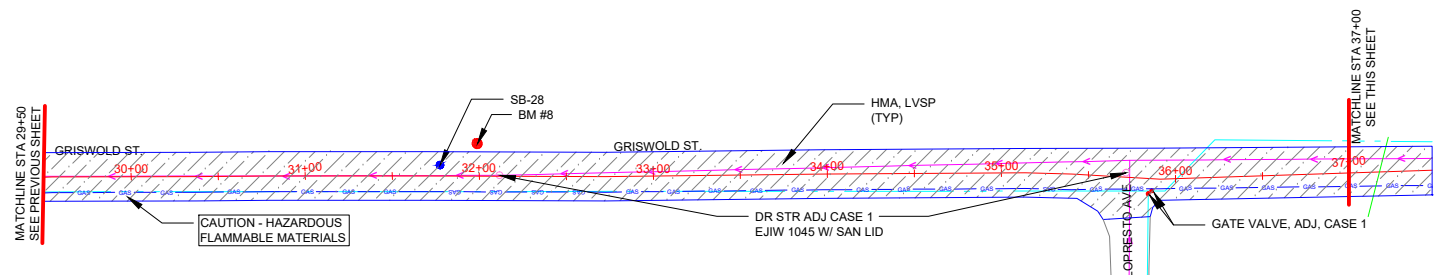
DRAWING NO. **C7**



BM #8 ELEV 121.31'
NAIL IN POLE OF EAST SIDE OF GRISWOLD
LOCATED NEXT TO LEFT TURN SIGN

BM #9 ELEV 126.72'
NAIL IN POLE ON EAST SIDE OF GRISWOLD
NEAR ST 38+50

BM #10 ELEV 130.61'
BASE OF FIBER OPTIC BOX ON EAST SIDE
OF GRISWOLD NEAR STA 43+50



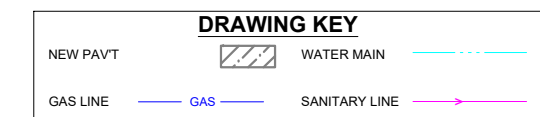
PROJECT QUANTITIES - THIS SHEET			
ITEM CODE	QUANTITY	UNIT	DESCRIPTION
2050041	240	CY	SUBGRADE UNDERCUTTING, TYPE II
3070105	180	SY	SHLD. CL 1, 3 INCH
4030005	3	EA	DR STRUCTURE COVER, ADJ. CASE I
4037050	3	EA	EJIW1045 W/1040 SANITARY LID
5010033	1500	TON	HMA, LVSP
8167011	1300	SY	TURF ESTABLISHMENT
8230431	2	EA	GATE BOX, ADJ. CASE I

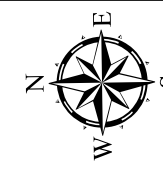
CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT
GRISWOLD STREET
PLAN AND PROFILE STA 30+00 TO 45+50

DRAWING SCALE:
VERT: 1" = 5' HORIZ: 1" = 50'

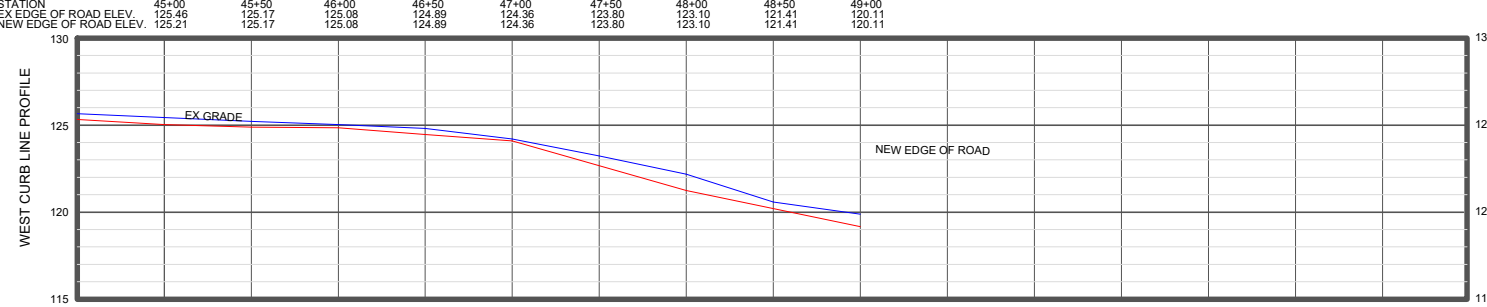
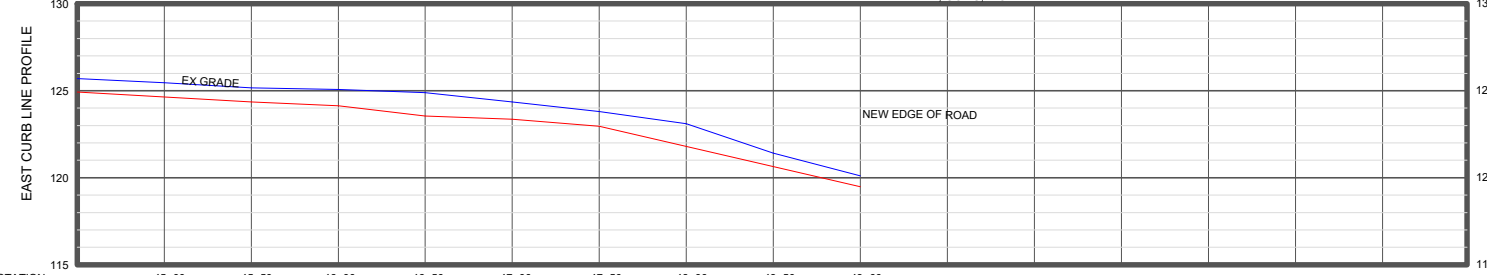
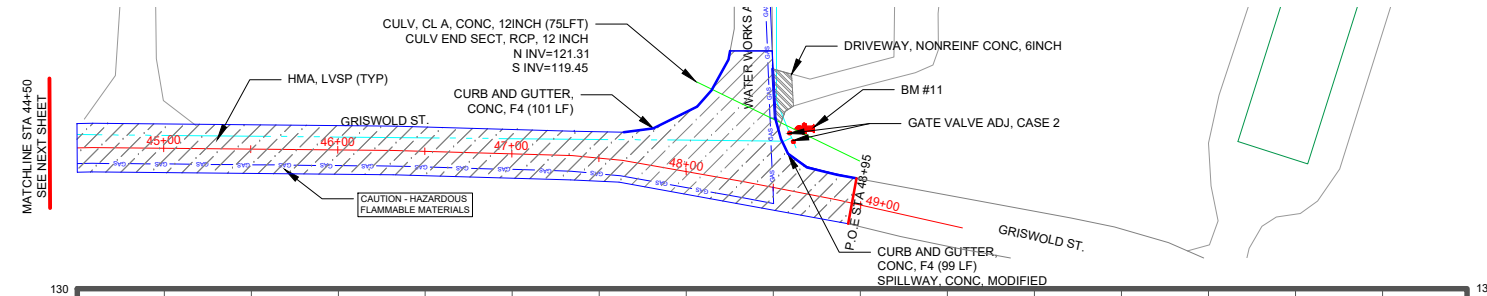
DESIGNED	KLB
DRAWN	BG/ES
CHECKED	JB

DRAWING NO. **C8**





BM #11 ELEV 122.28'
FIRE HYDRANT ON EAST SIDE OF GRISWOLD AT
INTERSECTION OF GRISWOLD AND WATERWORKS



PROJECT QUANTITIES -THIS SHEET			
ITEM CODE	QUANTITY	UNIT	DESCRIPTION
2050041	120	CY	SUBGRADE UNDERCUTTING, TYPE II
3070105	100	SY	SHLD, CL 1, 3 INCH
4010165	75	FT	CULV, CL A, CONC, 12INCH
4010012	2	EA	CULV END SECT, RCP, 12 INCH
5010033	500	TON	HMA, LVSP
8010005	35	SY	DRIVEWAY, NONREINF, CONC, 6 INCH
8020038	200	FT	CURB AND GUTTER, CONC, F4
8027050	1	EA	SPILLWAY, CONC, MODIFIED
8167011	400	SY	TURF ESTABLISHMENT
8230432	2	EA	GATE BOX, ADJ, CASE II

REVISIONS	DATE
80% REVIEW SET	07/26/23

CITY OF HILLSDALE
HILLSDALE, MI
**W. ST. JOE & GRISWOLD
STREET PROJECT**

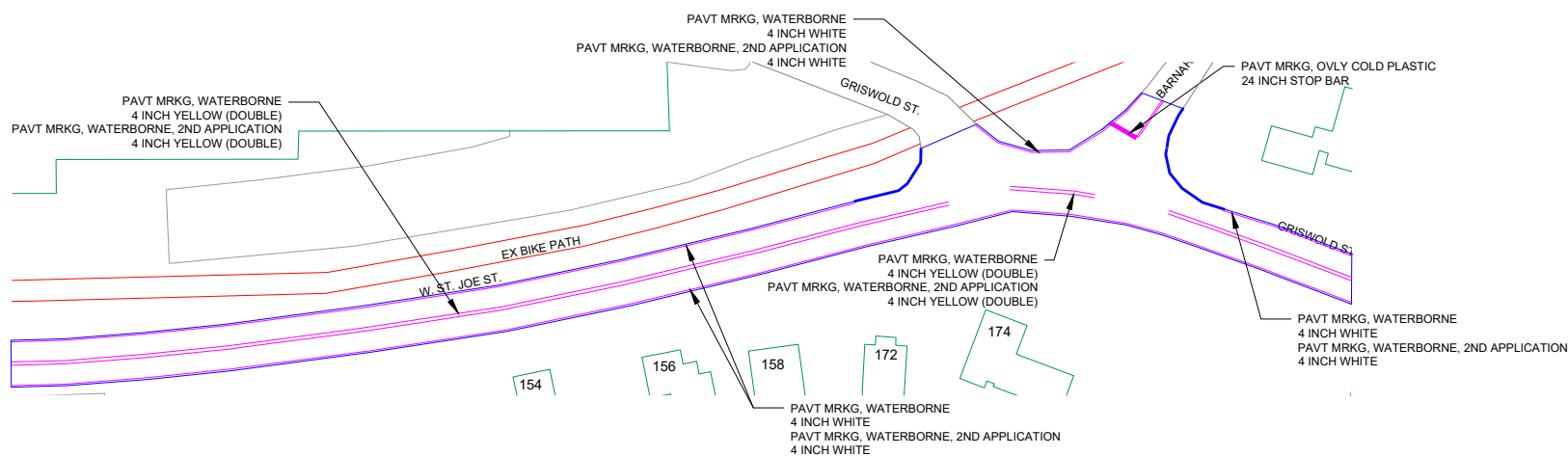
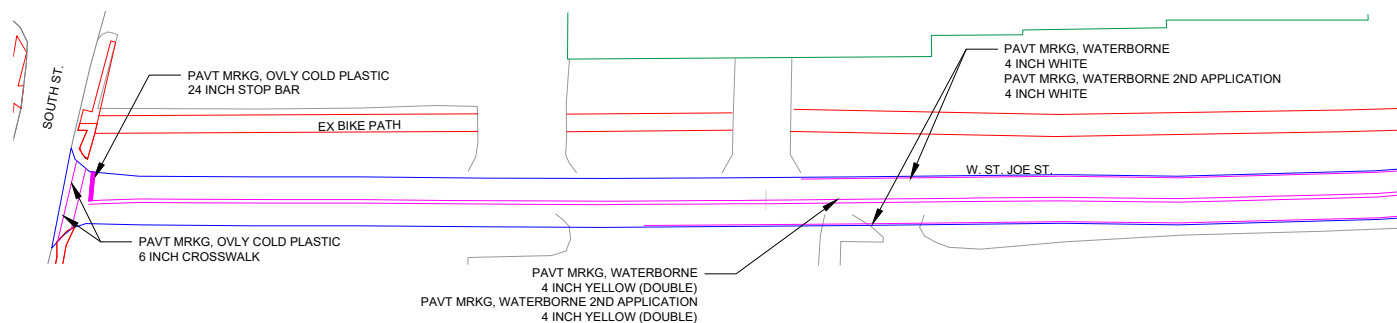
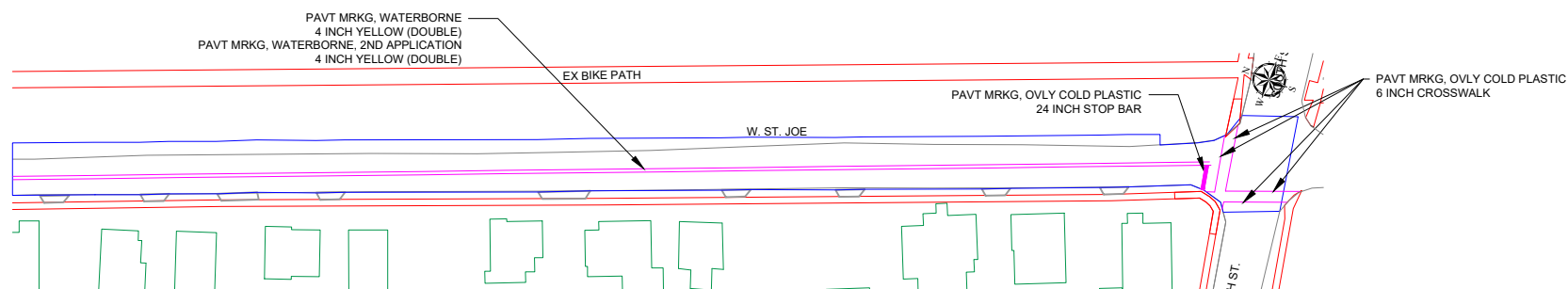
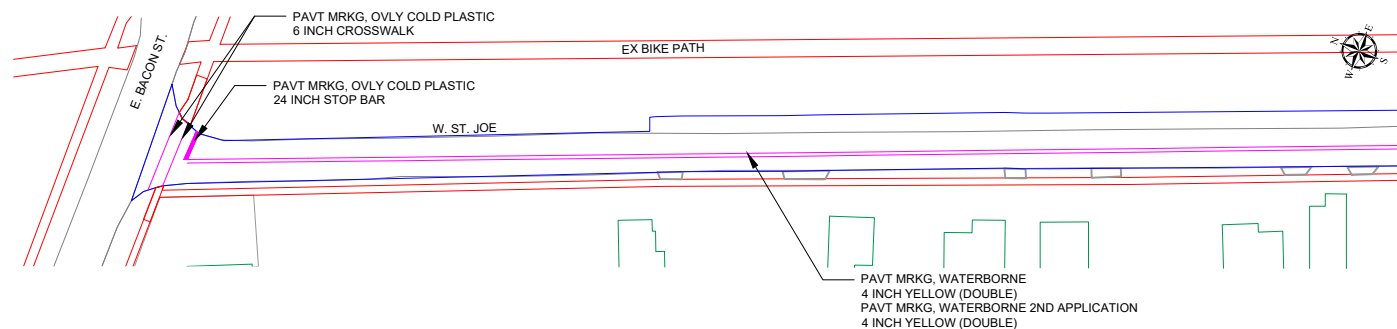
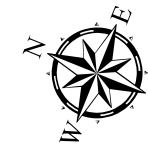
GRISWOLD STREET
PLAN AND PROFILE STA 44+50 TO 48+95

DRAWING KEY			
NEW PAVT		NEW DRIVEWAY	
GAS LINE		WATER MAIN	
		SANITARY LINE	

DRAWING SCALE:
VERT: 1" = 5' HORIZ: 1" = 50'

DESIGNED	KL B
DRAWN	BG/ES
CHECKED	JB

DRAWING NO. **C9**



PROJECT QUANTITIES -THIS SHEET (NON-PARTICIPATING)			
ITEM CODE	QUANTITY	UNIT	DESCRIPTION
8110024	250	FT	PAVT MRKG, OVLY COLD PLASTIC, 6 INCH, CROSSWALK
8110045	35	FT	PAVT MRKG, OVLY COLD PLASTIC, 24 INCH, STOP BAR
8110232	2860	FT	PAVT MRKG, WATERBORNE, 4 INCH, YELLOW
8110252	2860	FT	PAVT MRKG, WATERBORNE, 2ND APPLICATION, 4 INCH, YELLOW

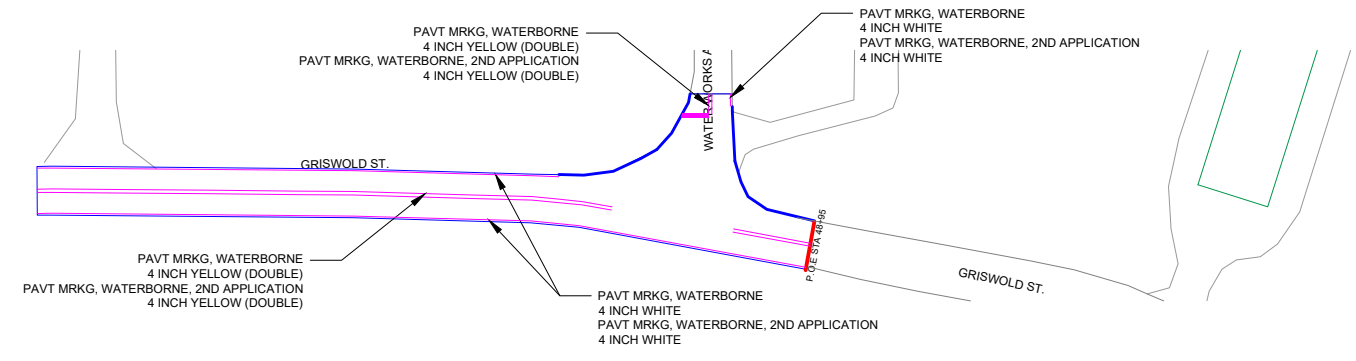
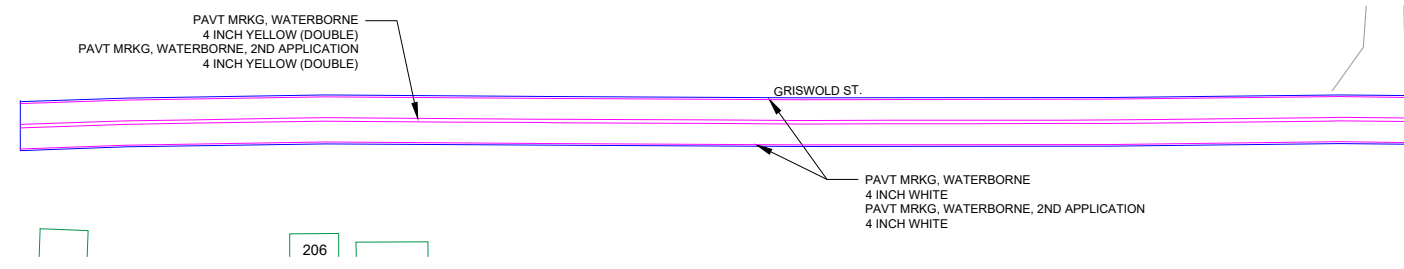
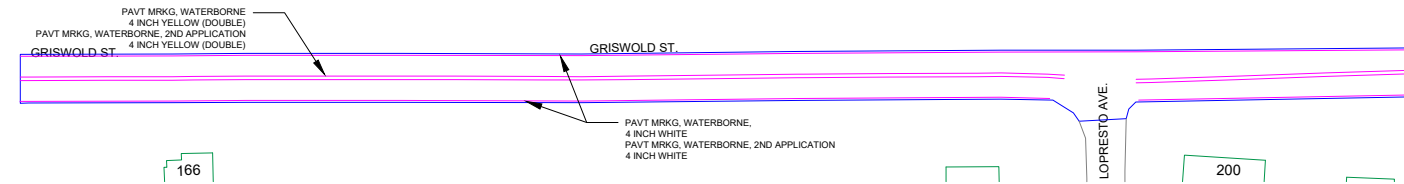
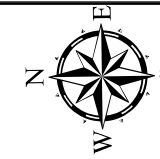
PROJECT QUANTITIES -THIS SHEET (PARTICIPATING)			
ITEM CODE	QUANTITY	UNIT	DESCRIPTION
8110024	90	FT	PAVT MRKG, OVLY COLD PLASTIC, 6 INCH, CROSSWALK
8110045	35	FT	PAVT MRKG, OVLY COLD PLASTIC, 24 INCH, STOP BAR
8110231	2340	FT	PAVT MRKG, WATERBORNE, 4 INCH, WHITE
8110232	3000	FT	PAVT MRKG, WATERBORNE, 4 INCH, YELLOW
8110251	2340	FT	PAVT MRKG, WATERBORNE, 2ND APPLICATION, 4 INCH, WHITE
8110252	3000	FT	PAVT MRKG, WATERBORNE, 2ND APPLICATION, 4 INCH, YELLOW

REVISIONS	DATE
80% REVIEW SET	07/26/23

CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT

W. ST. JOE & GRISWOLD STREET
PAVEMENT MARKING PLAN

DRAWING SCALE: 1" = 50'	
DESIGNED	KLB
DRAWN	BG/ES
CHECKED	JB
DRAWING NO.	C10

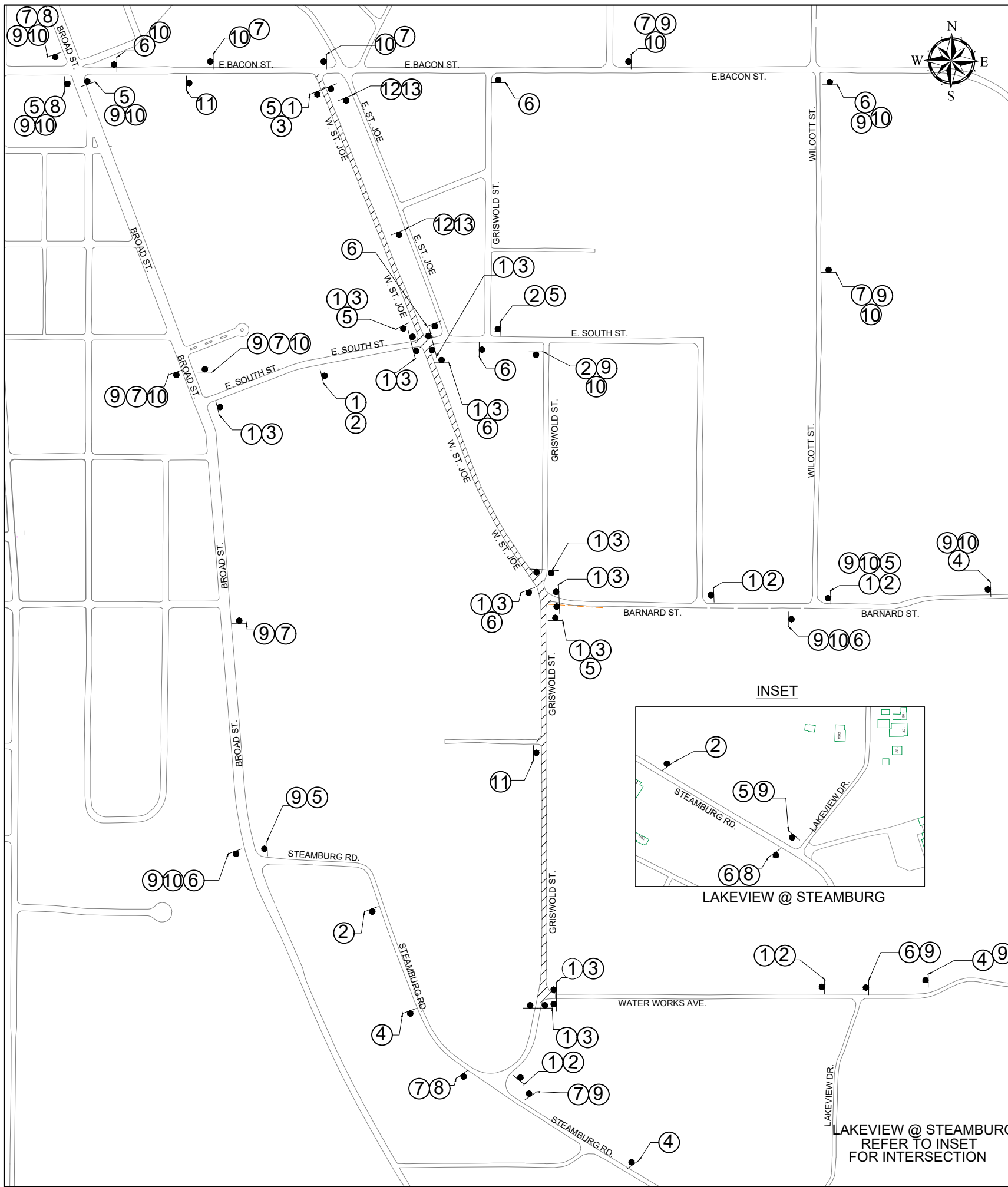


PROJECT QUANTITIES - THIS SHEET (PARTICIPATING)			
ITEM CODE	QUANTITY	UNIT	DESCRIPTION
8110045	15	FT	PAVT MRKG, OVLY COLD PLASTIC, 24 INCH, STOP BAR
8110231	3890	FT	PAVT MRKG, WATERBORNE, 4 INCH, WHITE
8110232	3890	FT	PAVT MRKG, WATERBORNE, 4 INCH, YELLOW
8110251	3890	FT	PAVT MRKG, WATERBORNE, 2ND APPLICATION, 4 INCH, WHITE
8110252	3890	FT	PAVT MRKG, WATERBORNE, 2ND APPLICATION, 4 INCH, YELLOW

REVISIONS	DATE
80% REVIEW SET	07/26/23

CITY OF HILLSDALE
 HILLSDALE, MI
**W. ST. JOE & GRISWOLD
 STREET PROJECT**
 GRISWOLD STREET
 PAVEMENT MARKING PLAN

DRAWING SCALE: 1" = 50'	
DESIGNED	KLB
DRAWN	BG/ES
CHECKED	JB
DRAWING NO.	C11



TRAFFIC CONTROL KEY

KEY	CODE	SIGN	QTY
①		TYPE III BARRICADE, HIGH INTENSITY, LIGHTED	17
②	W20-3	ROAD CLOSED AHEAD (48" x 48" - 16SFT)	9
③	R11-4	ROAD CLOSED TO THRU TRAFFIC (60" x 30" - 12.5SFT)	12
④	W20-2	DETOUR AHEAD (48" x 48" - 16SFT)	4
⑤	M4-9R	DETOUR ARROW RIGHT (30" x 24" - 5SFT)	9
⑥	M4-9L	DETOUR ARROW LEFT (30" x 24" - 5SFT)	11
⑦	M4-9S	DETOUR STRAIGHT (30" x 24" - 5SFT)	10
⑧	D3-1	"CITY PARK" - PLAQUE (24" x 12" - 3SFT)	4
⑨	D3-1	"GRISWOLD" - PLAQUE (24" x 12" - 3SFT)	19
⑩	D3-1	"W ST JOE" - PLAQUE (24" x 12" - 3SFT)	16
⑪	W20-1	ROAD CONSTRUCTION AHEAD (48" x 48" - 16SFT)	2
⑫	R11-5	LOCAL TRAFFIC ONLY (ON S.B. E. ST. JOE) (60" x 30" - 12.5SFT)	2
⑬	D3-1	"BUSINESSES OPEN" - PLAQUE (ON S.B. E. ST. JOE) (60" x 30" - 12.5SFT)	2

MAINTAINING TRAFFIC NOTES

1. ADVANCE SIGNING PER MDOT MAINTAINING TRAFFIC M0040A.
2. BARRICADES, PLASTIC DRUMS, AND SIGNS PAID FOR ONE TIME ONLY REGARDLESS OF HOW MANY TIMES THEY ARE USED DURING CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL DRIVEWAYS AT ALL TIMES DURING CONSTRUCTION.
4. TYPICAL ADVANCE SIGNING IS SHOWN FOR WORK ON MAIN STREET. CONTRACTOR IS RESPONSIBLE FOR RELOCATING BARRICADES, PLASTIC DRUMS, AND SIGNS, AND MAINTAINING TRAFFIC AS APPROVED BY ENGINEER.

REVISIONS	DATE
80% REVIEW SET	07/26/23

CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT

TRAFFIC CONTROL
W. ST JOE & GRISWOLD STREET

DRAWING SCALE:
NOT TO SCALE

DESIGNED	KLB	07/17/23
DRAWN	BG/ES	07/18/23
CHECKED	JB	07/20/23

DRAWING NO. **C12**

LOG OF BORING		Project No.: 221065 Boring No.: B-25 Sheet: 1 of 1								
Project: Hillsdale 2022 Pavement Investigation Client: City of Hillsdale Location: Hillsdale, Michigan Drill Type: Hand Auger Crew Chief: Field Eng.: JV Rev. By: RW Coordinates: N=152936.9 E=13052805.5 (MI South It) Elevation: 1091.9 ft Datum: NAVD 88 (GPS Observation) Notes: West Saint Joe Street Date Begin: 05/27/2022 Date End: 05/27/2022 Tooling: Casing Hand Auger 3 1/4" During None Sampler End NA Core Seepage Tube Date Depth, ft. SPT Hammer Plugging Record: Backfilled borehole with compacted cuttings, patched pavement with cold patch. Depth Drilled: 5.0 ft.										
Component Percentages: Trace < 5%, Few 5-10%, Little 15-25%, Some 30-45%, Mostly 50-100% QP = Calibrated Penetrometer (tons/sq. ft.)										
Elev. FT.	Depth FT.	Sample Number	Recov. FT.	Dyn. Cone Eq. "N": ASTM STP 399	USCS Group Symbol	*DESCRIPTION	QP tsf	MST %	DD pcf	REMARKS
1091.7	0.25					5" HMA				
1091.4	0.50	A-1				8" Milled HMA Aggregate Base	0.4			
1091.2	0.75									
1090.9	1.00									
1090.7	1.25	A-2				Brown poorly graded SAND with silt; mostly coarse to fine sand, few silty fines, moist	1.1			
1090.4	1.50									
1090.2	1.75				SP-SM					
1089.9	2.00									
1089.7	2.25									
1089.4	2.50					Light brown poorly graded SAND; mostly coarse to fine sand, moist	2.4			
1089.2	2.75	A-3								
1088.9	3.00									
1088.7	3.25									
1088.4	3.50									
1088.2	3.75				SP					
1087.9	4.00									
1087.7	4.25									
1087.4	4.50									
1087.2	4.75									
1086.9	5.00					End of Boring	5.0			

*Visual estimate following ASTM D 2488 unless laboratory testing has been performed. Stratification changes are approximated between samples.

LOG OF BORING		Project No.: 221065 Boring No.: B-26 Sheet: 1 of 1								
Project: Hillsdale 2022 Pavement Investigation Client: City of Hillsdale Location: Hillsdale, Michigan Drill Type: Hand Auger Crew Chief: Field Eng.: JV Rev. By: RW Coordinates: N=152177.8 E=13053106.6 (MI South It) Elevation: 1097.6 ft Datum: NAVD 88 (GPS Observation) Notes: West Saint Joe Street Date Begin: 06/02/2022 Date End: 06/02/2022 Tooling: Casing Hand Auger 3 1/4" During None Sampler End NA Core Seepage Tube Date Depth, ft. SPT Hammer Plugging Record: Backfilled borehole with compacted cuttings, patched pavement with cold patch. Depth Drilled: 5.0 ft.										
Component Percentages: Trace < 5%, Few 5-10%, Little 15-25%, Some 30-45%, Mostly 50-100% QP = Calibrated Penetrometer (tons/sq. ft.)										
Elev. FT.	Depth FT.	Sample Number	Recov. FT.	Dyn. Cone Eq. "N": ASTM STP 399	USCS Group Symbol	*DESCRIPTION	QP tsf	MST %	DD pcf	REMARKS
1097.4	0.25					7" HMA				
1097.1	0.50	A-1				6" Milled HMA Aggregate Base	0.6			
1096.9	0.75									
1096.6	1.00									
1096.4	1.25	A-2				Brown poorly graded SAND with silt and gravel; mostly coarse to fine sand, few silty fines, few coarse to fine gravel, moist	1.1			
1096.1	1.50				SP-SM					
1095.9	1.75									
1095.6	2.00									
1095.4	2.25	A-3				Brown poorly graded SAND with clay; mostly medium to fine sand, few clayey fines, moist	2.0			
1095.1	2.50									
1094.9	2.75									
1094.6	3.00									
1094.4	3.25									
1094.1	3.50				SP-SC					
1093.9	3.75									
1093.6	4.00									
1093.4	4.25					Grades light brown at 4.0'				
1093.1	4.50									
1092.9	4.75									
1092.6	5.00					End of Boring	5.0			

*Visual estimate following ASTM D 2488 unless laboratory testing has been performed. Stratification changes are approximated between samples.

LOG OF BORING		Project No.: 221065 Boring No.: B-27 Sheet: 1 of 1								
Project: Hillsdale 2022 Pavement Investigation Client: City of Hillsdale Location: Hillsdale, Michigan Drill Type: Hand Auger Crew Chief: Field Eng.: JV Rev. By: RW Coordinates: N=150931.5 E=13053597.0 (MI South It) Elevation: 1104.5 ft Datum: NAVD 88 (GPS Observation) Notes: West Saint Joe Street Date Begin: 06/02/2022 Date End: 06/02/2022 Tooling: Casing Hand Auger 3 1/4" During None Sampler End NA Core Seepage Tube Date Depth, ft. SPT Hammer Plugging Record: Backfilled borehole with compacted cuttings, patched pavement with cold patch. Depth Drilled: 1.4 ft.										
Component Percentages: Trace < 5%, Few 5-10%, Little 15-25%, Some 30-45%, Mostly 50-100% QP = Calibrated Penetrometer (tons/sq. ft.)										
Elev. FT.	Depth FT.	Sample Number	Recov. FT.	Dyn. Cone Eq. "N": ASTM STP 399	USCS Group Symbol	*DESCRIPTION	QP tsf	MST %	DD pcf	REMARKS
1104.3	0.25					6" HMA				Fill: 0' to 1.4'
1104.0	0.50	A-1				6" Natural Aggregate Base	0.5			
1103.8	0.75									
1103.5	1.00	A-2				4" Milled HMA Aggregate Base	1.0			
1103.3	1.25	A-3				Brown poorly graded SAND with silt; mostly coarse to fine sand, few silty fines, few coarse to fine gravel, moist, Fill	1.3			Hand auger refusal at 1.4' due to possible coarse / COBBLE
					SP-SM					
						End of Boring				

*Visual estimate following ASTM D 2488 unless laboratory testing has been performed. Stratification changes are approximated between samples.

LOG OF BORING		Project No.: 221065 Boring No.: B-28 Sheet: 1 of 1								
Project: Hillsdale 2022 Pavement Investigation Client: City of Hillsdale Location: Hillsdale, Michigan Drill Type: Hand Auger Crew Chief: Field Eng.: JV Rev. By: RW Coordinates: N=150272.4 E=13053843.8 (MI South It) Elevation: 1114.4 ft Datum: NAVD 88 (GPS Observation) Notes: Griswold Street Date Begin: 06/03/2022 Date End: 06/03/2022 Tooling: Casing Hand Auger 3 1/4" During None Sampler End NA Core Seepage Tube Date Depth, ft. SPT Hammer Plugging Record: Backfilled borehole with compacted cuttings, patched pavement with cold patch. Depth Drilled: 5.0 ft.										
Component Percentages: Trace < 5%, Few 5-10%, Little 15-25%, Some 30-45%, Mostly 50-100% QP = Calibrated Penetrometer (tons/sq. ft.)										
Elev. FT.	Depth FT.	Sample Number	Recov. FT.	Dyn. Cone Eq. "N": ASTM STP 399	USCS Group Symbol	*DESCRIPTION	QP tsf	MST %	DD pcf	REMARKS
1114.2	0.25					5" HMA				Fill: 0' to 3.0'
1113.9	0.50	A-1				Brown poorly graded SAND with silt and gravel; mostly coarse to fine sand, few silty fines, little coarse to fine gravel, moist, Fill	0.4			
1113.7	0.75									
1113.4	1.00									
1113.2	1.25									
1112.9	1.50									
1112.7	1.75				SP-SM					
1112.4	2.00									
1112.2	2.25	A-2				HMA pieces at 2.8'				
1111.9	2.50									
1111.7	2.75									
1111.4	3.00									
1111.2	3.25									
1110.9	3.50	A-3				Brown poorly graded SAND with silt and gravel; mostly fine sand, few silty fines, few coarse to fine gravel, moist	3.0			
1110.7	3.75				SP-SM					
1110.4	4.00									
1110.2	4.25									
1109.9	4.50									
1109.7	4.75									
1109.4	5.00					End of Boring	5.0			

*Visual estimate following ASTM D 2488 unless laboratory testing has been performed. Stratification changes are approximated between samples.

REVISIONS	DATE
80% REVIEW SET	07/26/23

CITY OF HILLSDALE
HILLSDALE, MI
W. ST. JOE & GRISWOLD
STREET PROJECT
SOIL BORINGS

DESIGNED	KLB
DRAWN	BG/ES
CHECKED	JB
DRAWING NO.	C13

DRAWING SCALE:
NOT TO SCALE



CITY OF HILLSDALE

97 NORTH BROAD STREET
HILLSDALE, MICHIGAN 49242-1695
(517) 437-6441 FAX: (517) 437-6448
cityofhillsdale.org

What Board/Commission would you like to serve? Brownfield Redevelopment Authority

Name: John R. Condon

Address: XXXXXXXXXXXX Hillsdale Michigan 49242
Street City Zip

Phone: Home XXXXXXXXXX Work XXXXXXXXXX

E-Mail XXXXXXXXXXXX

Residency is required for most Boards & Commissions.
Are you a resident of City of Hillsdale? Yes _____ No If so, for how long? _____

Occupation: (if retired, former occupation) Business Owner, Engineer

Please check the expertise and skills you can contribute:

- Accounting
- Fund Raising
- Marketing
- Advocacy
- Human Resources
- Planning
- Computers
- Knowledge of the Cause
- Public Relations
- Legal
- Community Relations
- Public Speaking
- Finance
- Management
- Other _____

Brief Educational Background:
Hillsdale High School graduate. Tool & Die certificate from Jackson College, CAD training.

What charitable or community activities have you **actively** participated in? Please describe any leadership role(s) you have (had) in the organization(s):
Chairman of Hillsdale Economic Development Corporation.
Board member of Economic Development Partnership of Hillsdale County.

On what other volunteer boards/committees have you served? _____
President of Irish Hills Corvette Club
Committees on EDC

Describe any previous activities related to government: Pay taxes and my 3 children graduated from Hillsdale schools. Still have 2 children living in this area.

Please explain why you would be interested in serving on the council or committee: There is a need for people to serve the city. I would like the city to maintain or grow. Make the City of Hillsdale a good place to live

Please explain your understanding of the City of Hillsdale:
I have lived in the Community and City for over 50 years. Still live just outside of the city limits of Hillsdale.

Additional comments: I would like to see an effort to clean up old industrial or commercial buildings within the city.

Please send your completed application to City of Hillsdale, City Manager at 97 North Broad Street, Hillsdale, MI 49242.

John R Condon

Digitally signed by John R Condon
Date: 2023.07.24 11:31:50 -0400

07/24/2023

Applicant Signature

Date