



Planning Commission
97 North Broad Street
Hillsdale, Michigan 49242-1695
(517) 437-6440 Fax: (517) 437-6450

Planning Commission Agenda July 20, 2022

I. Call to Order 5:30 pm

- A. Pledge of Allegiance
- B. Roll Call

II. Public Comment

Any agenda item – 3 min. limit

III. Consent Items/Communications

- A. Approval of agenda – **Action**
- B. Approval of Planning Commission 06/15/2022 minutes – **Action**

IV. Communications

- A. Region 2 Planning Commission Packet – July
[Untitled \(cityofhillsdale.org\)](#)
[fy23-26 jacts tip v3 6.8.22 email attachment.pdf \(cityofhillsdale.org\)](#)

V. Site Plan Review

- A. 150 Barber Drive – **Action**

VI. Old Business

- A. No Old Business

VII. New Business

- A. Lighting Ordinance – **Discussion**
- B. Ordinance Planning – **Discussion**
 - 1. Halfway Houses
[statute-102-pg1619.pdf \(cityofhillsdale.org\)](#)
[H.R.1158 - 100th Congress \(1987-1988\) ...8 Congress.gov Library of Congress \(cityofhillsdale.org\)](#)
[uic law review-winter 1996.pdf \(cityofhillsdale.org\)](#)
 - 2. Tree Preservation

[michigan_planner_jan-feb_5022.pdf \(cityofhillsdale.org\)](#)

- 3. Alternative Energy

VIII. Zoning Administrator Report

IX. Commissioners' Comments

X. Public Comment

Any Commission related item – 3 min. limit

XI. Adjournment

Next meeting Wednesday, August 17, 2022 at 5:30 pm

Planning Commission Meeting Minutes
Hillsdale City Hall
Council Chambers
June 15, 2022
5:30 pm

I. Call to Order

Meeting opened at 5:30 pm followed by the Pledge of Allegiance, and Roll Call.

II. Members Present

A. Members Present: Chairman Eric Moore, Vice Chairman Ron Scholl, Secretary Jacob Parker, Commissioner William Morrissey, Commissioner Penny Swan, Commissioner Kerry Laycock, Commissioner Elias McConnell

B. Public Present: Zoning Administrator Alan Beeker, David Billington, Quinn O’Heeney, Daniel Lewis

III. Consent Agenda and Minutes

Motion to approve the Consent items as presented made by Commissioner Swan, seconded by Commissioner Scholl, motion approved unanimously.

IV. Public Comment

No public comment

V. Site Plan Review

A. 258 Union St.

- a. Mr. Beeker gave a brief description of the project. The proposed project is to construct a new 42 bed dormitory on Union St.
- b. Mr. Scholl asked if there would be alterations to the existing parking lot to accommodate the need for new dormitory parking.
- c. Mr. Lewis, project engineer, stated that there would be 20 new spaces added per zoning requirements to the south end of the existing lot.
- d. It was noted that the existing retention area would be doubled.
- e. Commissioner Laycock moved to approve, Commissioner Parker seconded, motion passed unanimously.

B. Lakeview Cemetery Expansion

- a. Mr. Beeker gave a brief description of the project. The proposed project is to expand the existing cemetery into the adjacent 25 acres. The initial layout will offer 348 new plots.
- b. Commissioner Parker moved to approve, Commissioner Laycock seconded, motion passed unanimously.

VI. Old Business

No Old Business

VII. New Business

A. Land Division – Pearl Tree LLC.

- a. The owner of the parcels located at 96 & 100 Budlong St would like to divide approx. 7 feet from 100 Budlong and combine it with the existing lot at 96 Budlong to create a new drive for 96 Budlong.
- b. Mr. Beeker explained that there are several “No’s” on the application simply due to the fact that most of the lots in the older plats of the City do not meet the lot width requirement of the current zoning.
- c. Commissioner Swan moved to recommend the parcel split to council, Commissioner Moore seconded, motion carried unanimously.

B. Fence Ordinance

- a. Mr. Laycock suggested changing 2(a)(4) to remove the specific treated wood reference.

C. Landscape Ordinance

- a. No revisions were suggested

Commissioner Laycock moved to accept both ordinances with revisions and to set a public hearing for final review at the July regular Commission meeting.
Commissioner Moore supported, motion passed unanimously.

VIII. Zoning Administrator Report

Mr. Beeker informed the Commission of multiple sales of buildings in the downtown and that there were multiple projects in the works to rehabilitate those buildings. He also discussed the plan to start work on a new green energy ordinance, referencing the MSUE material that was included in the packet.

IX. Commissioner’s Comments

Commissioner Morrissey stated that the Council would like the Commission to consider and discuss amending the downtown district ordinance to exclude halfway houses in the future.

Commissioner Scholl informed the Commission that the historic Wurlitzer organ that had been installed in the Dawn Theater in the 1920s has been donated to the Friends of the Dawn and is being sent to Chicago for restoration. The restoration and re-installation into the Theater should take approx. 2 years.

X. Public Comment

No public comment

XI. Adjournment

Commissioner Laycock moved adjourn the meeting, Commissioner Swan seconded. Motion passed unanimously. Meeting adjourned at 6:40 pm.

XII. Next meeting: July 20, 2022 at 5:30 pm.



TO: Planning Commission

FROM: Zoning Administrator

DATE: July 20, 2022

RE: 150 Barber Dr. – Hillsdale College Baseball Stadium

Background: Hillsdale College is proposing a new baseball stadium and field. The project will entail the demolition and replacement of the existing baseball field and the addition of new dugouts, stands, concessions and toilet rooms. The new stadium will be located in the corner created by the Field House and Biermann Center. The project was reviewed by the City Department Heads on July 7, 2022. The issues cited in the report have been resolved and the revised drawings are submitted for final Planning Commission approval. The Zoning Administrator recommends that the Planning Commission approve the proposed project.

DRAWING LOCATION: 44-14-1378 (Hillsdale College Baseball Stadium) - FINAL DRAWINGS (C-0 Title Sheet) - LAST SALES BY: EVANORMAN ON 7/1/2022


HILLSDALE COLLEGE BASEBALL STADIUM, ISSUED FOR CONSTRUCTION, 06/30/22

For Construction

Hillsdale College Baseball Stadium

City of Hillsdale
Hillsdale County, MI
07/13/22

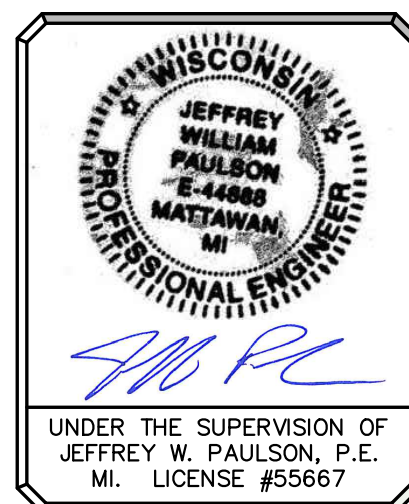
OWNER

 Hillsdale College
33 College Street
Hillsdale, MI 49242

PLANS PREPARED BY:



hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com



UTILITY CONTACTS:

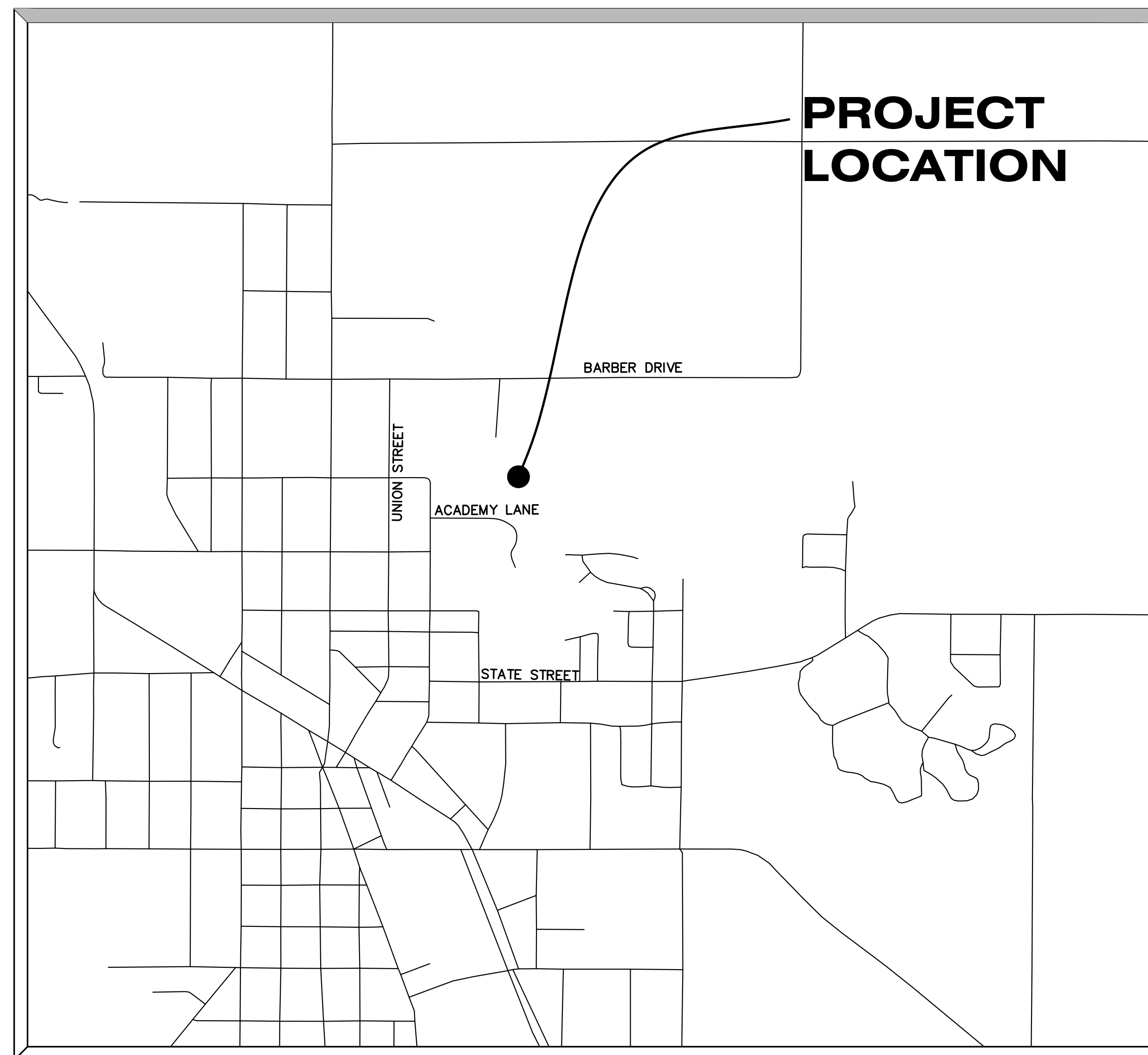
MICHIGAN GAS UTILITIES GAS
DON SEEKMAN
711 STARLITE DRIVE
BENTON HARBOR, MI 49022
800.401.6402

COMCAST CABLE TELEVISION
JEFF DOBIES
25626 TELEGRAPH ROAD
SOUTHFIELD, MI 48034
734.359.1669

AT&T TELEPHONE
C. ANIKA ESTES
54 N MILL ST.
PONTIAC, MI 48342
248.454.2998

CITY OF HILLSDALE BOARD OF PUBLIC UTILITIES WATER/SANITARY
JEFF GIER
45 MONROE ST.
HILLSDALE, MI 49242
517.437.3387

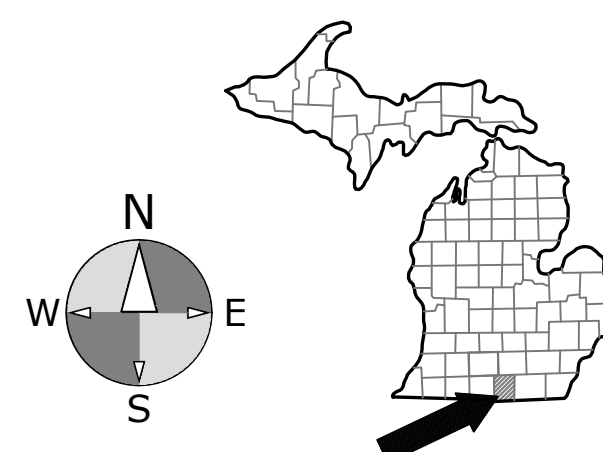
CITY OF HILLSDALE BOARD OF PUBLIC UTILITIES ELECTRIC
CHRIS MCARTHUR
45 MONROE ST.
HILLSDALE, MI 49242
517.437.3387



PROJECT LOCATION

SITE LOCATION MAP

1" = 1000'



DRAWING INDEX

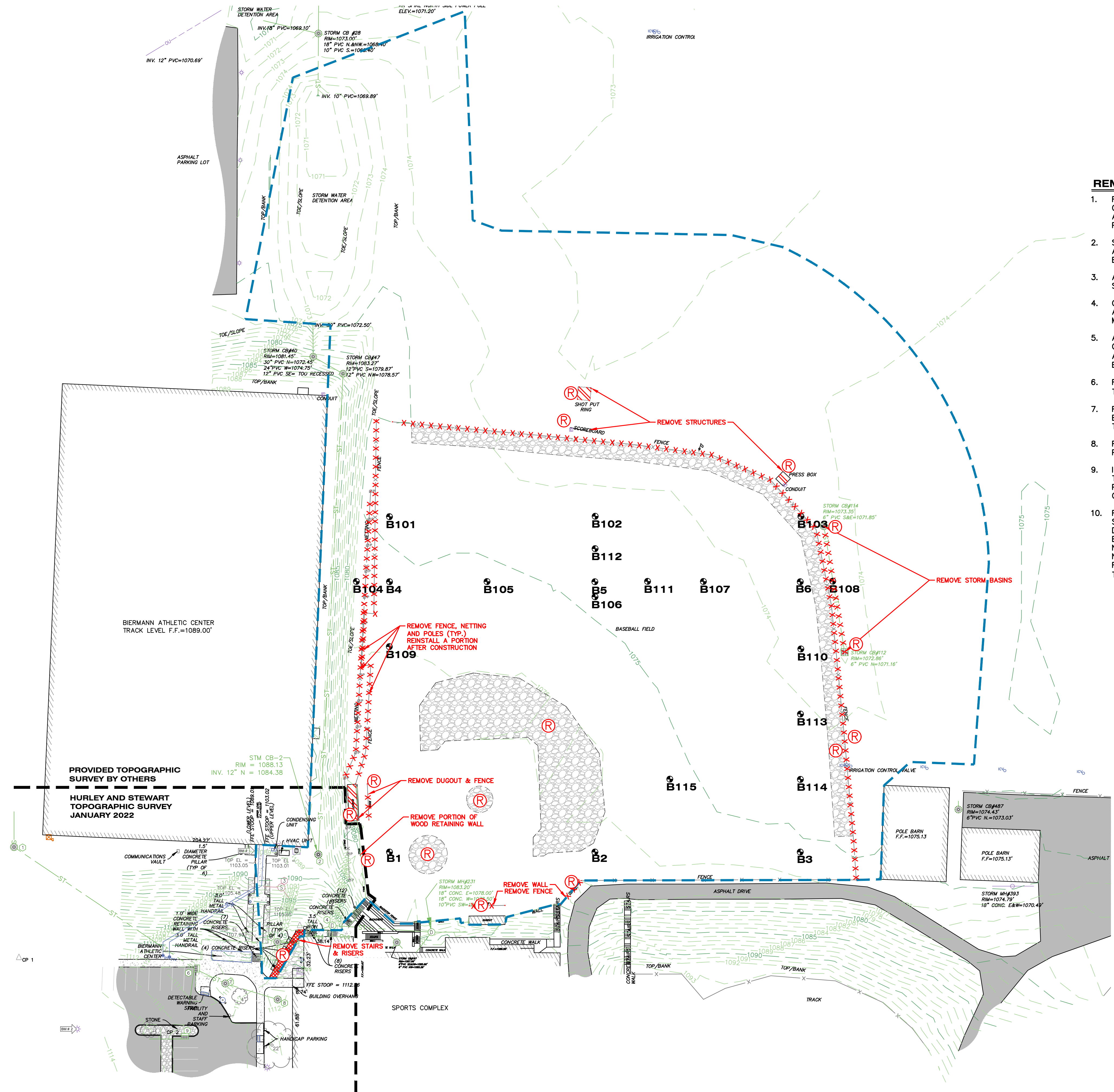
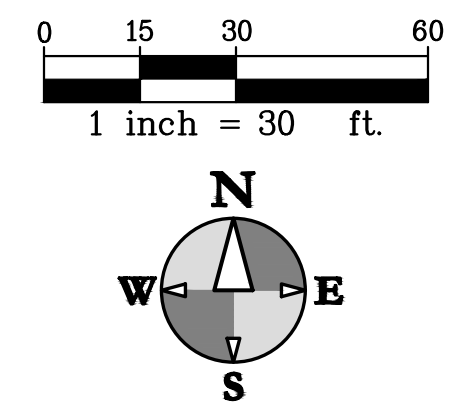
SHT # DESCRIPTION

- C-0 TITLE SHEET**
- C-1 - EXISTING COND. & DEMO PLAN**
- C-2 - SITE LAYOUT PLAN**
- C-3 - ZOOMED SITE LAYOUT PLAN**
- C-4 - UTILITY PLAN**
- C-5 - UTILITY PROFILE**
- C-6 - SESC & GRADING PLAN**
- C-7 - ZOOMED SESC & GRADING PLAN**
- C-8 - DETAILS**
- L-1 - LANDSCAPE PLAN**



EXISTING TOPOGRAPHY PROVIDED BY HURLEY & STEWART, LLC. ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

ISSUED FOR:
FOR CONSTRUCTION
07/13/22



REMOVAL NOTES

1. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
2. SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
3. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
4. COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY _____. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
5. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
7. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
8. REVIEW CLEARING LIMITS WITH OWNER PRIOR TO COMMENCING WORK. PRESERVE TREES WHERE INDICATED.
9. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
10. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

BENCHMARKS

ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF TRACK LEVEL OF BIERMANN CENTER BEING 1089.00', PER PROVIDED TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

BM 1 EL = 1085.94
CHISELED BOX IN SOUTHEAST CORNER OF CONCRETE PAD ON LOWER LEVEL LANDING ON SOUTH SIDE OF BIERMANN CENTER.

BM 2 EL = 1116.07
CHISELED BOX IN NORTH SIDE OF CONCRETE LIGHT POLE BASE ON THE WEST SIDE OF PARKING LOT.

REMOVALS LEGEND

- XXXXXX CURB REMOVAL
- ////// SAWCUT
- XXXXXX PAVEMENT/SIDEWALK REMOVAL
- XXXXXX BUILDING DEMOLITION
- XXXXXX UTILITY LINE REMOVAL
- TREE REMOVAL
- REMOVE
- PROTECT
- SALVAGE
- LIMITS OF CONSTRUCTION



hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com



Job No.: 21-137D P.M./JWP D.H.L./DSY G.A./Q.C. 07/13/22

ISSUED FOR/REVISIONS:	DATE
1. PRELIMINARY PLAN	04/20/22
2. FOR PERMITS	06/30/22
3. FOR CONSTRUCTION	07/13/22
4.	

COPYRIGHT © of Hurley & Stewart, LLC

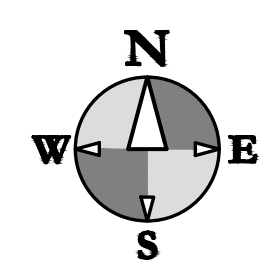
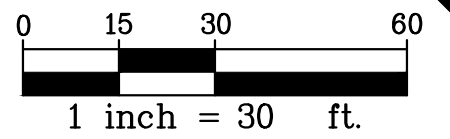
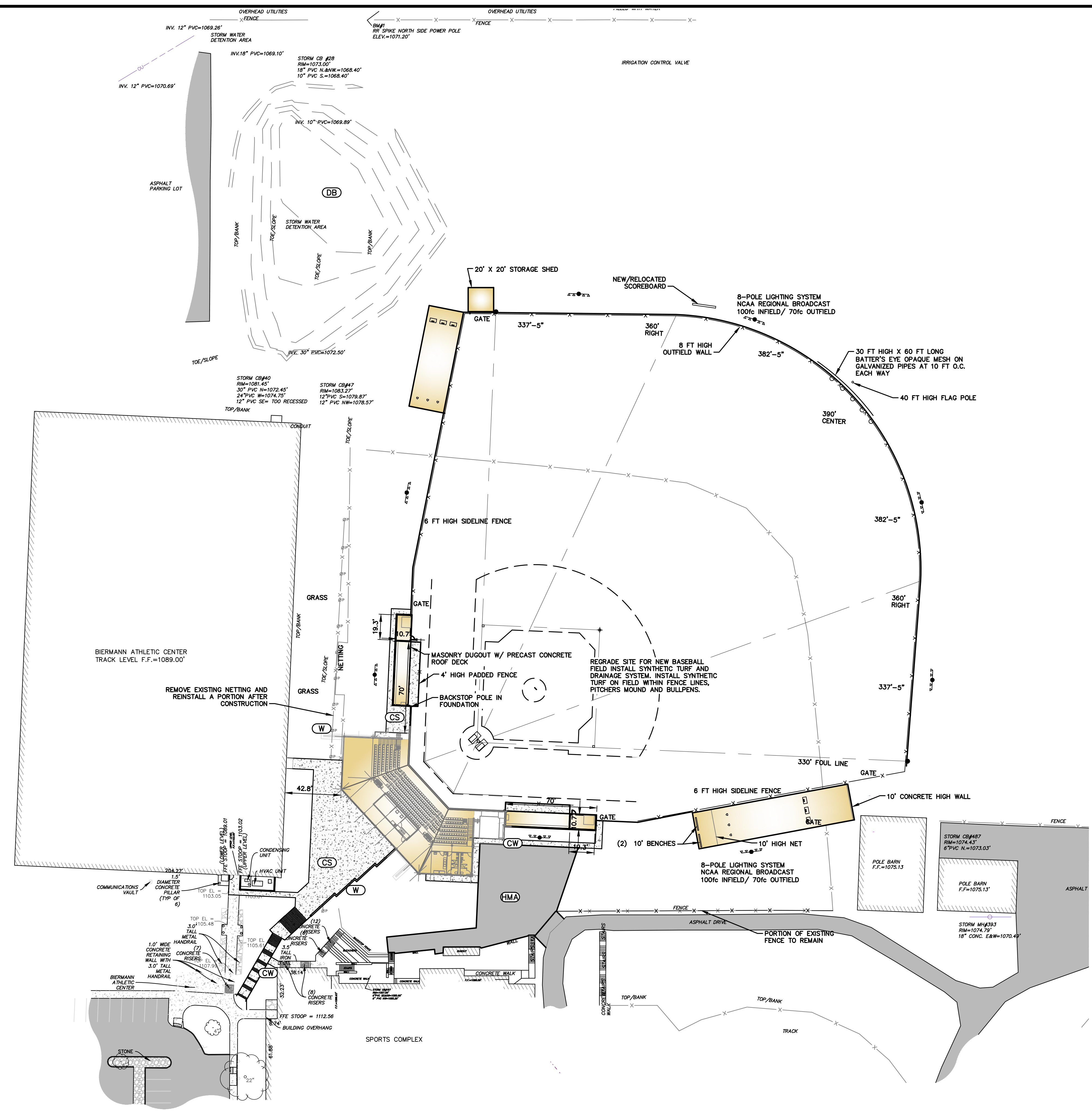
EXISTING COND. & DEMO PLAN
HILLSDALE COLLEGE BASEBALL STADIUM
HILLSDALE COLLEGE

Sheet Title:
Project:
Client:

07/13/22
Sheet
C-1

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

DRAWING LOCATION: H:\31-137D (Hillsdale College Baseball Stadium) - FINAL DRAWINGS\C-2 Site Layout Plan.dwg LAST SAVED BY: DWANOMAN ON 6/29/2022



SITE LEGEND

- HMA HMA PAVEMENT
- CW CONCRETE WALK
- CS CONCRETE SURFACE
- W WALL (TYPE)
- DB DETENTION BASIN

LEGEND

- PROPOSED BUILDING
- STANDARD DUTY HMA PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER TYPE VARIES

BENCHMARKS

ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF TRACK LEVEL OF BIERMANN CENTER BEING 1089.00', PER PROVIDED TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

BM 1 EL = 1085.94
CHISELED BOX IN SOUTHEAST CORNER OF CONCRETE PAD ON LOWER LEVEL LANDING ON SOUTH SIDE OF BIERMANN CENTER.

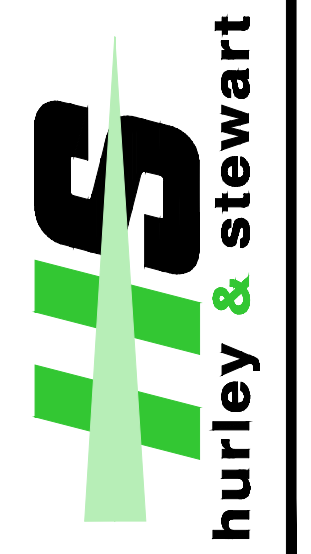
BM 2 EL = 1116.07
CHISELED BOX IN NORTH SIDE OF CONCRETE LIGHT POLE BASE ON THE WEST SIDE OF PARKING LOT.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

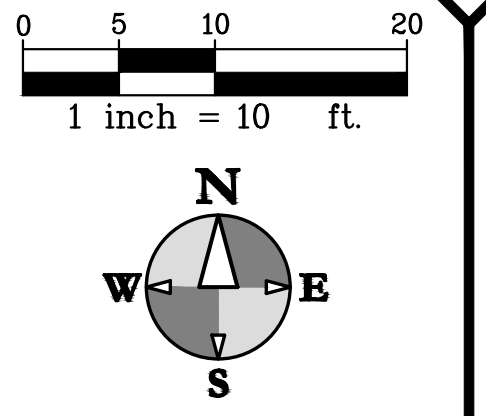


Job No.: 21-137D - P.M. - JWP	Drht: DSV, QA, QC: 07/13/22	ISSUED FOR/REVISIONS:
1 PRELIMINARY PLAN	04/20/22	
2 FOR PERMITS	06/30/22	
3 FOR CONSTRUCTION	07/13/22	
4		

SITE LAYOUT PLAN
HILLSDALE COLLEGE BASEBALL STADIUM
HILLSDALE COLLEGE

Sheet Title:
Project:
Client:

DRAWING LOCATION: 44.31-137D (Hillsdale College Baseball Stadium) FINAL DRAWINGS-C-3 Zoomed Site Layout Plan.dwg LAST SAVED BY: DWANMAN ON 6/28/2022



- SITE LEGEND**
- (HMA) HMA PAVEMENT
 - (CW) CONCRETE WALK
 - (CS) CONCRETE SURFACE
 - (W) WALL (TYPE)
 - (DB) DETENTION BASIN

- LEGEND**
- [Yellow Shaded Area] PROPOSED BUILDING
 - [Grey Shaded Area] STANDARD DUTY HMA PAVEMENT
 - [Dotted Pattern] CONCRETE SIDEWALK
 - [Line with Dashes] CONCRETE CURB AND GUTTER TYPE VARIES

- BENCHMARKS**
- ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF TRACK LEVEL OF BIERMANN CENTER BEING 1089.00', PER PROVIDED TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.
- BM 1 EL = 1085.94
CHISELED BOX IN SOUTHEAST CORNER OF CONCRETE PAD ON LOWER LEVEL LANDING ON SOUTH SIDE OF BIERMANN CENTER.
 - BM 2 EL = 1116.07
CHISELED BOX IN NORTH SIDE OF CONCRETE LIGHT POLE BASE ON THE WEST SIDE OF PARKING LOT.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

Job No.: 21-137D P.M. JWP Drt: DSJ QA/QC: 07/13/22

ISSUED FOR/REVISIONS:

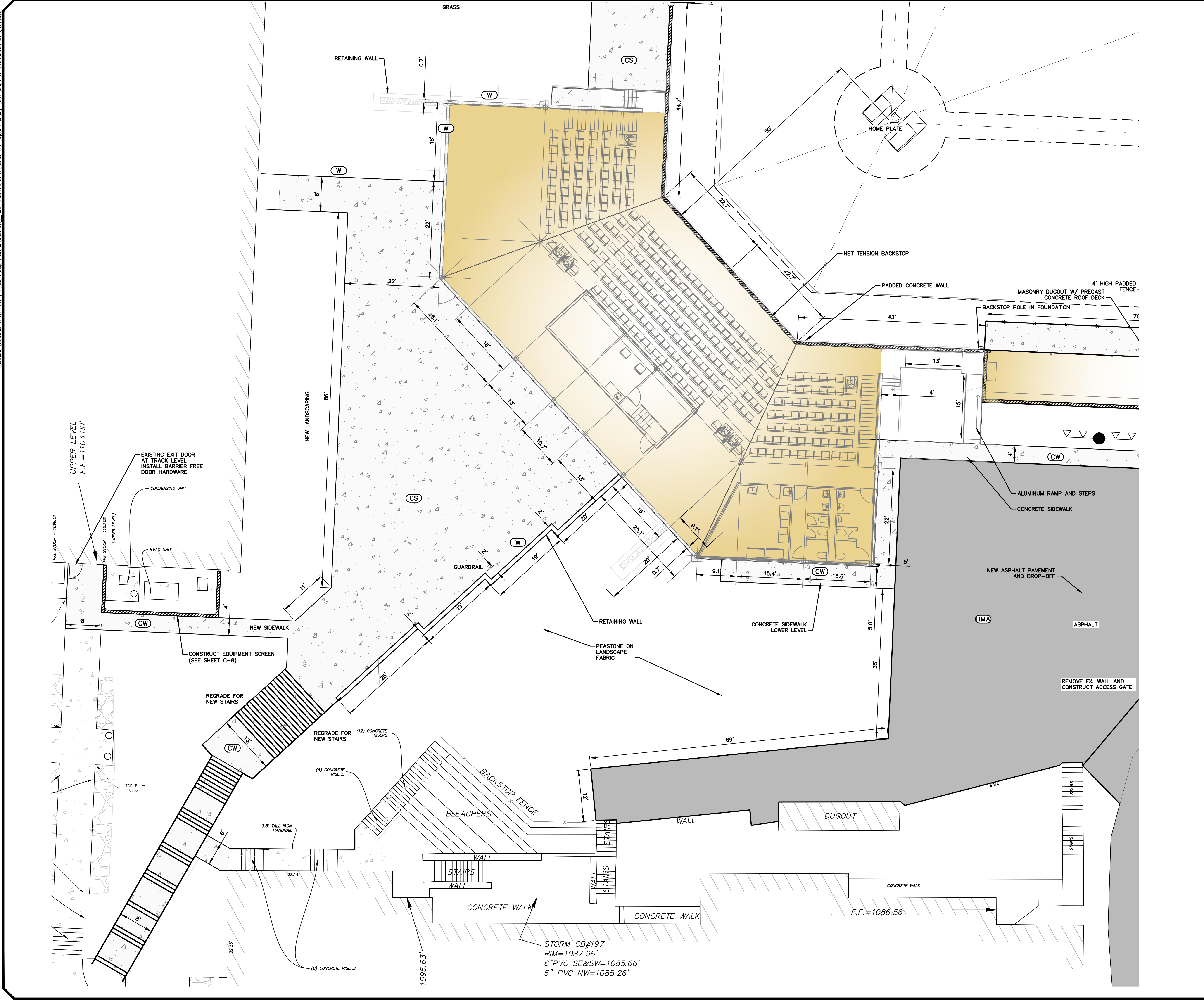
1	PRELIMINARY PLAN	04/20/22
2	FOR PERMITS	06/30/22
3	FOR CONSTRUCTION	07/13/22
4		

COPYRIGHT © of Hurley & Stewart, LLC

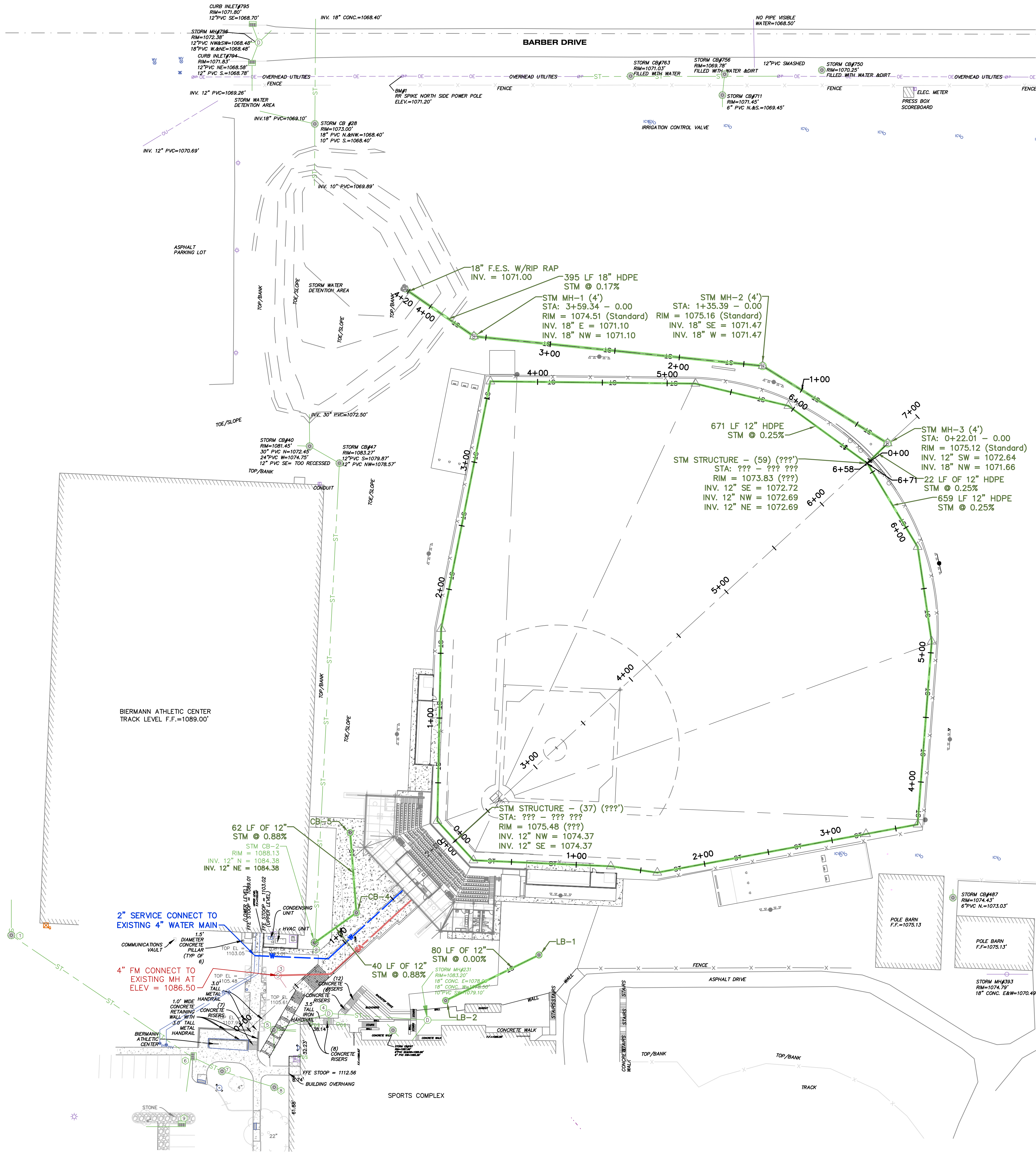
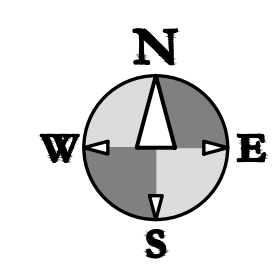
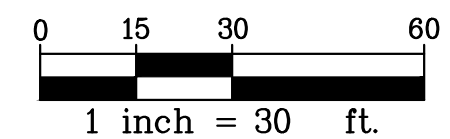
ZOOMED SITE LAYOUT PLAN
HILLSDALE COLLEGE BASEBALL STADIUM
HILLSDALE COLLEGE

Sheet Title:
Project:
Client:

07/13/22
Sheet
C-3



DRAWING LOCATION: H:\21-137D Hillside College Baseball Stadium Final Drawings-C-4 Utility Plan.dwg LAST SAVED BY: DWANSON, DM 7/11/2022



STORM SEWER STRUCTURE SCHEDULE					
STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CB-2	1088.13	4'	Standard		12" N: 1084.38

STORM SEWER STRUCTURE SCHEDULE					
STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CB-4	1087.37	4'	Standard	12" N: 1084.73	12" SW: 1084.73
CB-5	1088.56	4'	Standard		12" S: 1085.27
LB-1	1076.19	4'	Standard		12" SW: 1073.13
LB-2	1076.44	4'	Standard	12" NE: 1073.13	
MH-1	1074.51	4'	Standard	18" E: 1071.10	18" NW: 1071.10
MH-2	1075.16	4'	Standard	18" SE: 1071.47	18" W: 1071.47
MH-3	1075.12	4'	Standard	12" SW: 1072.64	18" NW: 1071.66

UTILITY NOTES

1. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
2. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
3. STORM SEWERS SHALL BE CONCRETE C76-III, SOLID WALL ADS N-12 RIGID PIPE MEETING AASHTO M-294, TYPE S, OR APPROVED EQUAL INSTALLED PER THE REQUIREMENTS OF MDOT AND CITY OF HILLSDALE. MANDREL TESTING SHALL BE PERFORMED PRIOR TO PAVING. USE CONCRETE PIPE WHERE INDICATED.
4. ALL WATER MAIN INSTALLED IN GROUNDWATER SHALL BE WRAPPED WITH POLYETHYLENE.
5. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
6. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER AND SOILS INFORMATION. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO THE CITY OF HILLSDALE STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
7. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
8. JET THE EXISTING STORM SYSTEM FOLLOWING COMPLETION OF THE PROJECT.
9. ADD SILT SACKS TO EXISTING STORM CATCH BASINS BEFORE CONSTRUCTION.

BENCHMARKS

ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF TRACK LEVEL OF BIERMANN CENTER BEING 1089.00', PER PROVIDED TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

BM 1 EL = 1085.84
CHISELED BOX IN SOUTHEAST CORNER OF CONCRETE PAD ON LOWER LEVEL LANDING ON SOUTH SIDE OF BIERMANN CENTER.

BM 2 EL = 1116.07
CHISELED BOX IN NORTH SIDE OF CONCRETE LIGHT POLE BASE ON THE WEST SIDE OF PARKING LOT.

2" SERVICE CONNECT TO EXISTING 4" WATER MAIN

4" FM CONNECT TO EXISTING MH AT ELEV = 1086.50



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

hurley & stewart, llc
 2800 s. 11th street
 kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleyandstewart.com

hurley & stewart

Job No.: 21-137D P.M. & JWP Drt: DSJ QA: QC: 07/13/22
 ISSUED FOR PREVISIONS: 04/20/22
 1. PRELIMINARY PLAN 06/30/22
 2. FOR PERMITS 07/13/22
 3. FOR CONSTRUCTION
 4.

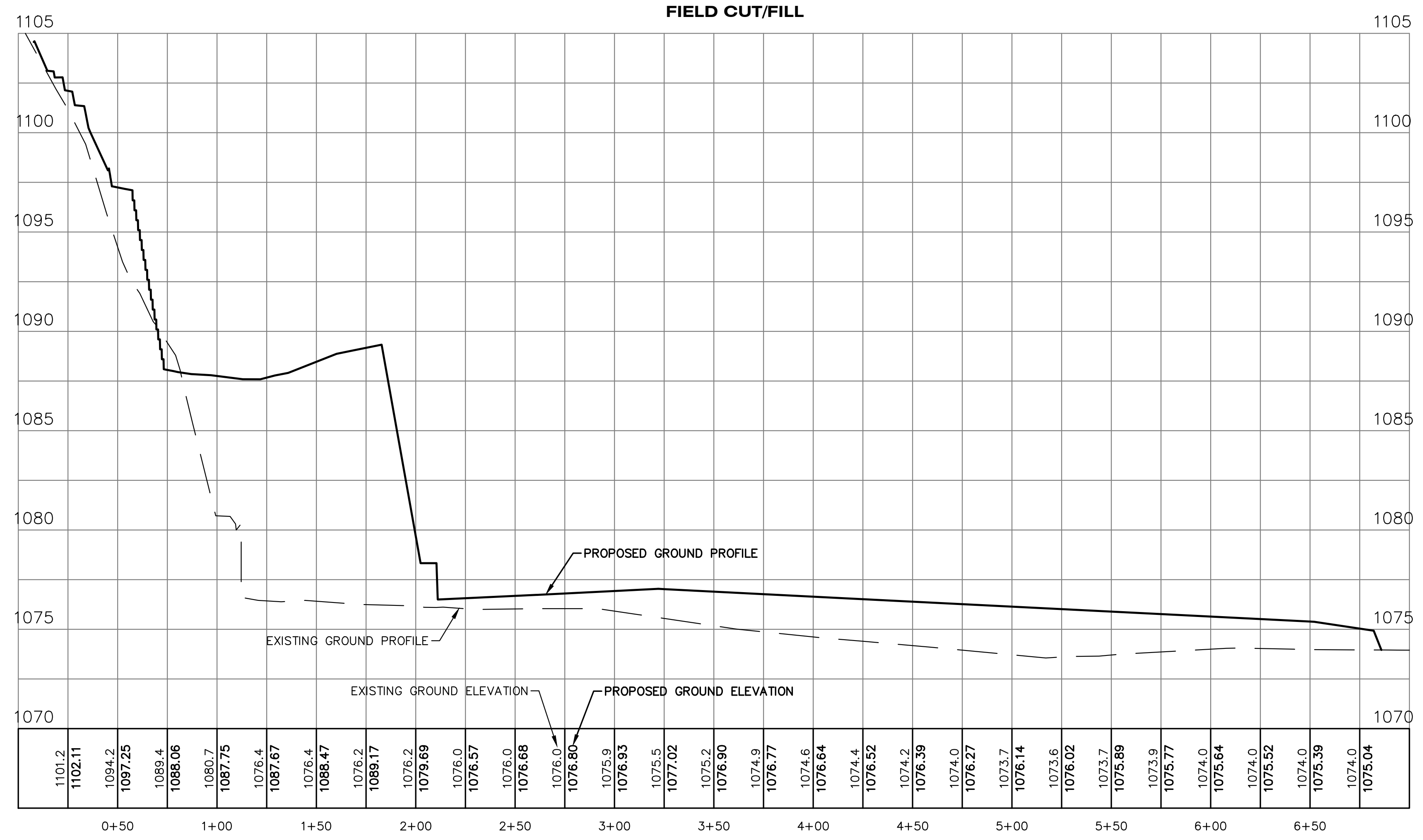
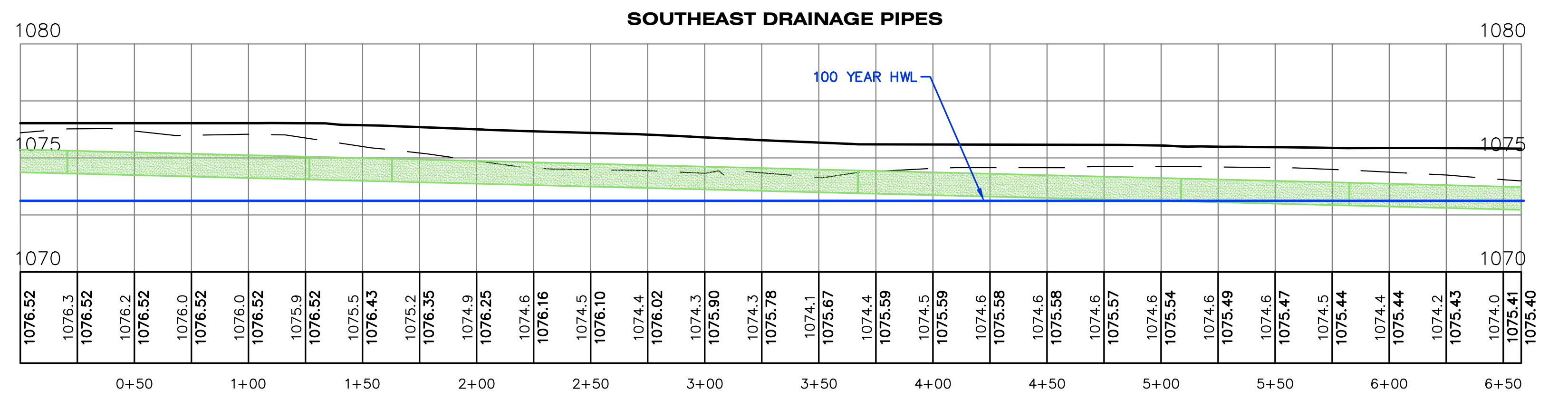
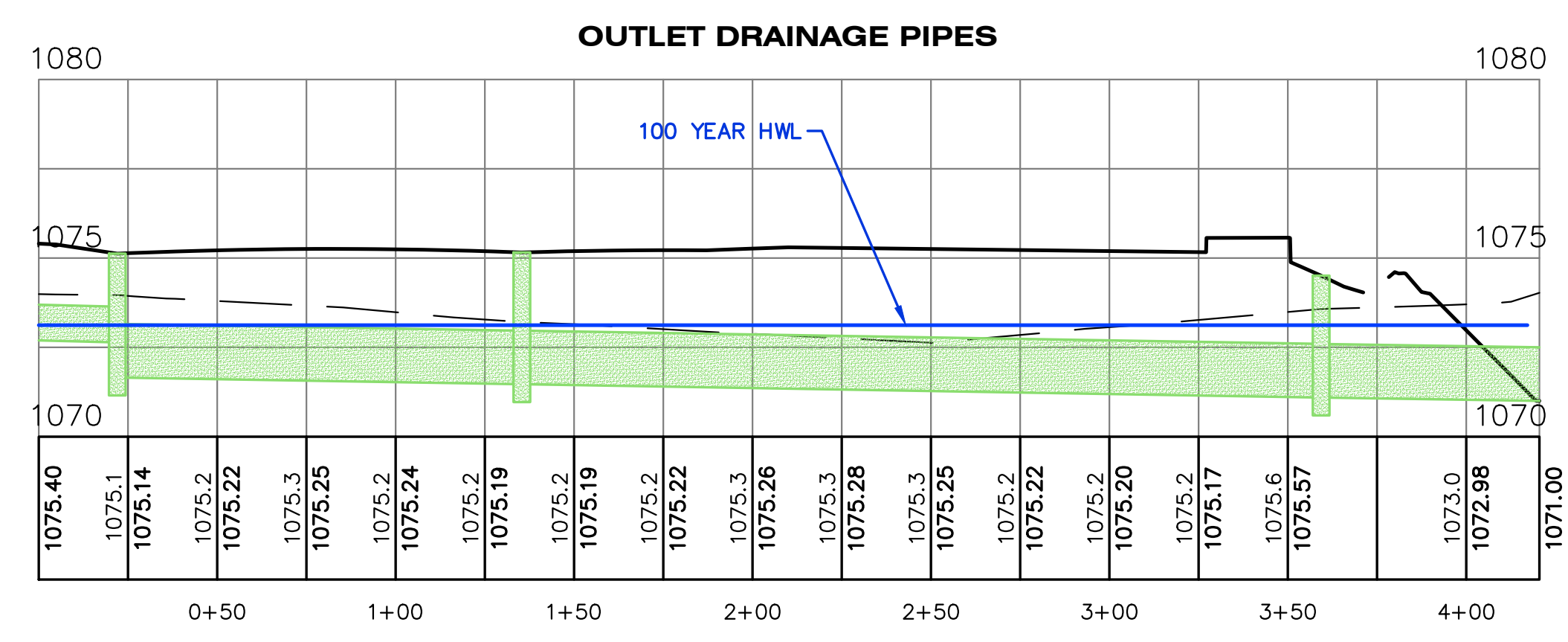
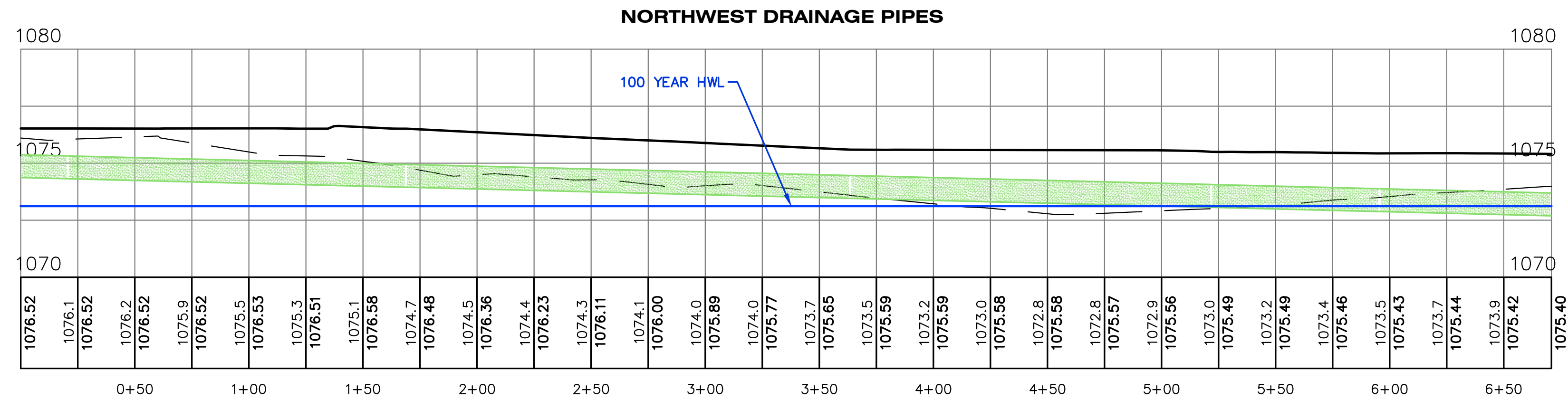
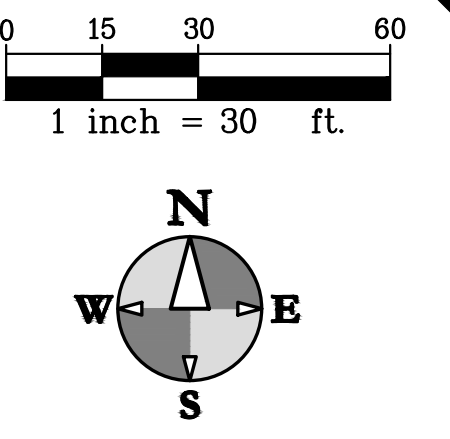
COPYRIGHT © of Hurley & Stewart, LLC

UTILITY PLAN
HILLSDALE COLLEGE BASEBALL STADIUM
HILLSDALE COLLEGE

Sheet Title:
 Project:
 Client:

07/13/22
 Sheet
C-4

DRAWING LOCATION: HILLSDALE COLLEGE BASEBALL STADIUM - FINAL DRAWINGS - 5 Utility Profiles - LAST SAVED BY: DWANSON ON 6/20/22



UTILITY NOTES

1. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
2. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
3. STORM SEWERS SHALL BE CONCRETE C76-III, SOLID WALL ADS N-12 RIGID PIPE MEETING AASHTO M-294, TYPE S, OR APPROVED EQUAL INSTALLED PER THE REQUIREMENTS OF MDOT AND CITY OF HILLSDALE. MANDREL TESTING SHALL BE PERFORMED PRIOR TO PAVING. USE CONCRETE PIPE WHERE INDICATED.
4. ALL WATER MAIN INSTALLED IN GROUNDWATER SHALL BE WRAPPED WITH POLYETHYLENE.
5. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
5. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER AND SOILS INFORMATION. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO THE CITY OF HILLSDALE STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
6. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

BENCHMARKS
 ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF TRACK LEVEL OF BIERMANN CENTER BEING 1089.00', PER PROVIDED TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

BM 1 EL = 1085.94
 CHISELED BOX IN SOUTHEAST CORNER OF CONCRETE PAD ON LOWER LEVEL LANDING ON SOUTH SIDE OF BIERMANN CENTER.

BM 2 EL = 1116.07
 CHISELED BOX IN NORTH SIDE OF CONCRETE LIGHT POLE BASE ON THE WEST SIDE OF PARKING LOT.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

FIELD WORK PERFORMED BY:
 HURLEY & STEWART, LLC

hurley & stewart, llc
 2800 s. 11th street
 kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleystewart.com

Job No.: 21-137D P.M. & JWP Drt: DSV QA/QC: 07/13/22
 ISSUED FOR/REVISIONS:
 1. PRELIMINARY PLAN 04/20/22
 2. FOR PERMITS 06/30/22
 3. FOR CONSTRUCTION 07/13/22
 4.

COPYRIGHT © of Hurley & Stewart, LLC

UTILITY PROFILE
HILLSDALE COLLEGE BASEBALL STADIUM
HILLSDALE COLLEGE

Sheet Title:
 Project:
 Client:

07/13/22
 Sheet
C-5

DRAWING LOCATION: 811-137D (Hillsdale College Baseball Stadium) FINAL DRAWING: C-6 SESC & Grading Plan Date: 07/13/22

GRADING PLAN LEGEND

- 720 PROPOSED CONTOUR 5-FT
- 719 PROPOSED CONTOUR NORMAL
- 720 EXISTING CONTOUR 5-FT
- 719 EXISTING CONTOUR NORMAL
- x 896.32 PROPOSED SPOT GRADE
- x 894.76 TOP AND BOTTOM OF CURB/WALL
- x 894.26 5'W
- x 895.25 EXISTING SPOT GRADE
- 1:4 2.5% PROPOSED SURFACE SLOPE
- XX— PROPOSED SILT FENCE
- >>> PROPOSED GRADED SWALE
- SB-11 SOIL BORING
- BM#XX BENCH MARK
- E XX SOIL EROSION MEASURE
- S XX SEDIMENT CONTROL MEASURE

BENCHMARKS

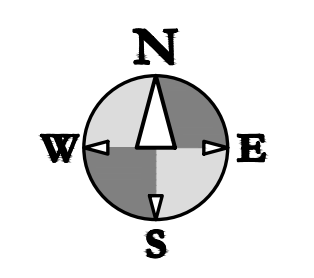
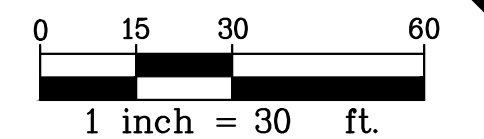
ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF TRACK LEVEL OF BIERMANN CENTER BEING 1089.00', PER PROVIDED TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

BM 1 EL = 1085.94
CHISELED BOX IN SOUTHEAST CORNER OF CONCRETE PAD ON LOWER LEVEL LANDING ON SOUTH SIDE OF BIERMANN CENTER.

BM 2 EL = 1116.07
CHISELED BOX IN NORTH SIDE OF CONCRETE LIGHT POLE BASE ON THE WEST SIDE OF PARKING LOT.

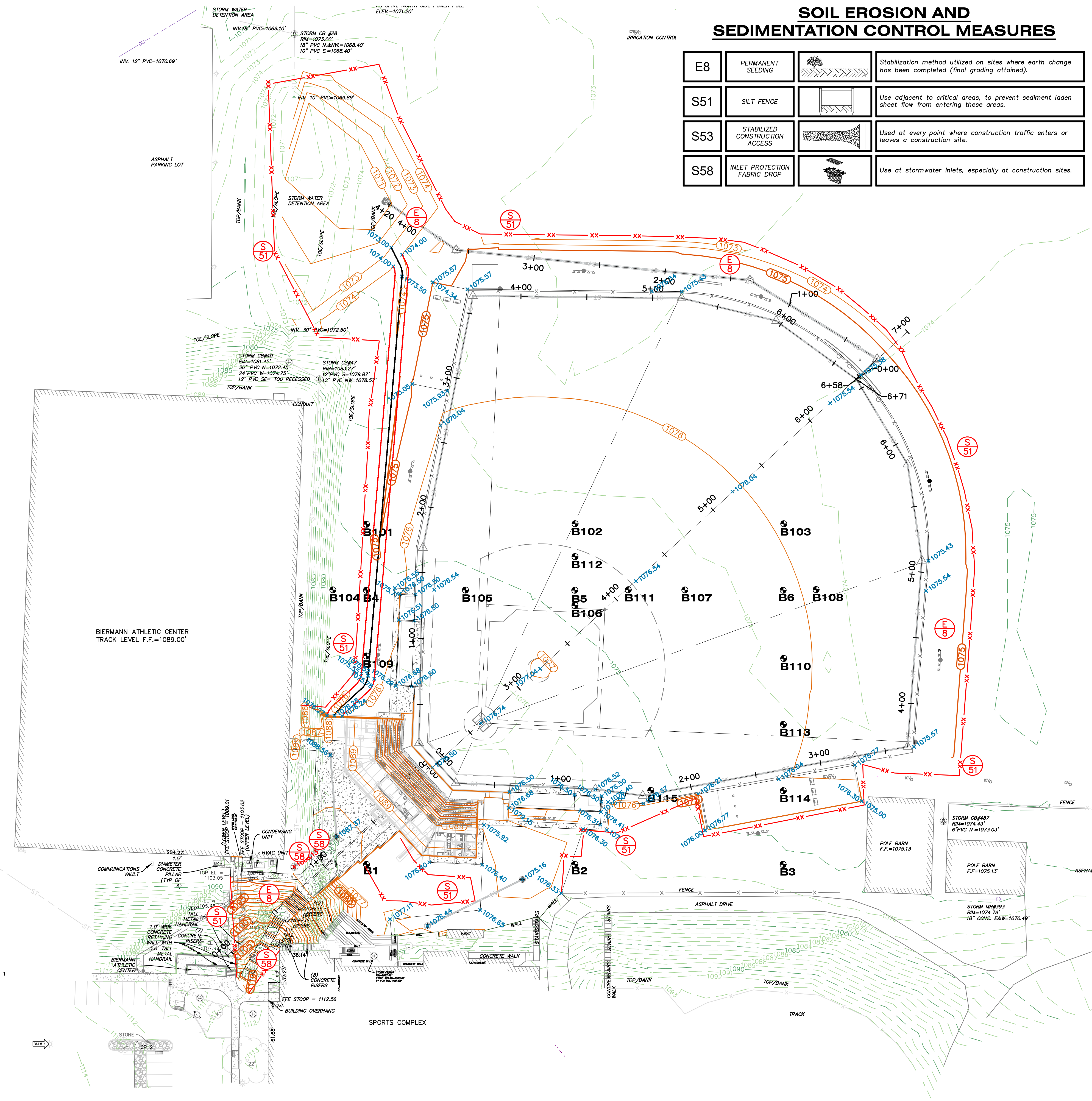
SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.



SESC & GRADING NOTES

1. ALL WORK SHALL COMPLY WITH THE PROVISIONS OF PART 91 OF THE EROSION AND SEDIMENTATION CONTROL ACT OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT (P.A. 451 OF 1994, AS AMENDED) AND AS ADMINISTERED BY THE KALAMAZOO COUNTY DRAIN COMMISSIONER.
2. AVOID UNNECESSARY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE AREAS ACT AS SEDIMENT FILTERS.
3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEANUP AND APPROVAL.
4. CONTRACTOR TO PROVIDE SILT FENCES ACROSS ALL DITCHES, SWALES, AND ROUGH CUT ROADS WHICH EXIST FROM THE SITE TO ELIMINATE SEDIMENT RUNOFF. PROVIDE SILT FENCES AND INSTALL FABRIC DROP INLET PROTECTION UNDER INLETS AT ALL STORM SEWER STRUCTURES DURING CONSTRUCTION.
5. ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS. SPOIL PILES SHALL NOT BE PLACED WITHIN 50' FROM ANY TEMPORARY OR PERMANENT WATERCOURSE.
6. THE CONTRACTOR SHALL COMPLY WITH THE WEEKLY RECOMMENDATIONS OF THE CERTIFIED STORM WATER OPERATOR.
7. ALL INLETS IN PAVED AREAS SHALL HAVE SILT SAVER SEDIMENTATION REDUCERS DURING CONSTRUCTION.
8. CLEAN ADJACENT ROADWAYS WHEN NECESSARY.
9. FINAL LANDSCAPING SHALL CONSIST OF MIN. 3" TOPSOIL, 200#/ACRE CLASS A SEEDING, 2T/ACRE MULCH AND 240#/ACRE CHEMICAL FERTILIZER NUTRIENT.
10. COORDINATE TOPSOIL STOCKPILE WITH OWNER.
11. NO SITE WORK SHALL BEGIN UNTIL THE SILT FENCE AND ACCESS ROAD ARE INSTALLED.
12. PLACE TRACK MATS AT THE ENTRANCE TO REDUCE MATERIAL TRACKED OFF SITE.
13. COORDINATE THE CLEARING LIMITS WITH THE OWNER PRIOR TO COMMENCING WORK.
14. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 3 MAX IF NOT LABELED.
15. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
16. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
17. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
18. REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
19. ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
20. ALL GRANULAR FILL UNDER THE INFLUENCE OF THE ROADWAY AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
21. ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
22. SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE REGRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUBBASE. REMOVAL OF ANY EXCESS SOIL OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
23. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EARTHWORK CALCULATIONS PRIOR TO COMMENCING WORK. NO EXTRA EARTHWORK WILL BE PAID FOR ONCE EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
24. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

hurley & stewart

Job No.: 21-137D P.M. & J.P. Drt: DSV OA/QC: 07/13/22

ISSUED FOR/REVISIONS:

1	PRELIMINARY PLAN	04/20/22
2	FOR PERMITS	06/30/22
3	FOR CONSTRUCTION	07/13/22
4		

SESC & GRADING PLAN

HILLSDALE COLLEGE BASEBALL STADIUM

HILLSDALE COLLEGE

Sheet Title:

Project:

Client:

07/13/22

Sheet

C-6

DRAWING LOCATION: H:\31-137D Hilldale College Baseball Stadium\FINAL DRAWINGS\C-7 Zoomed SESC & Grading Plan.dwg LAST SAVED BY: DWANOMAN ON 6/20/2022

GRADING PLAN LEGEND

	PROPOSED CONTOUR 5-FT
	PROPOSED CONTOUR NORMAL
	EXISTING CONTOUR 5-FT
	EXISTING CONTOUR NORMAL
	PROPOSED SPOT GRADE
	PROPOSED SPOT GRADES: TOP AND BOTTOM OF CURB/WALL
	EXISTING SPOT GRADE
	PROPOSED SURFACE SLOPE
	PROPOSED SILT FENCE
	PROPOSED GRADED SWALE
	SOIL BORING
	BENCH MARK
	SOIL EROSION MEASURE
	SEDIMENT CONTROL MEASURE

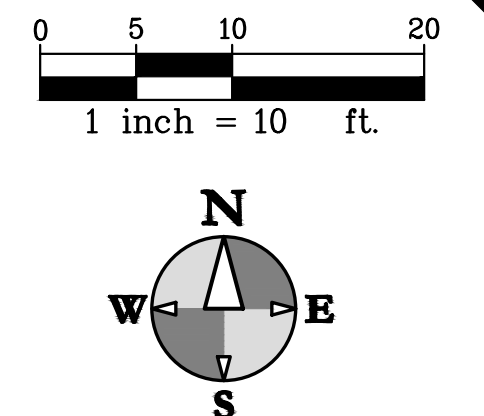
BENCHMARKS
 ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF TRACK LEVEL OF BIERMANN CENTER BEING 1089.00', PER PROVIDED TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

BM 1 EL = 1085.94
 CHISELED BOX IN SOUTHEAST CORNER OF CONCRETE PAD ON LOWER LEVEL LANDING ON SOUTH SIDE OF BIERMANN CENTER.

BM 2 EL = 1116.07
 CHISELED BOX IN NORTH SIDE OF CONCRETE LIGHT POLE BASE ON THE WEST SIDE OF PARKING LOT.

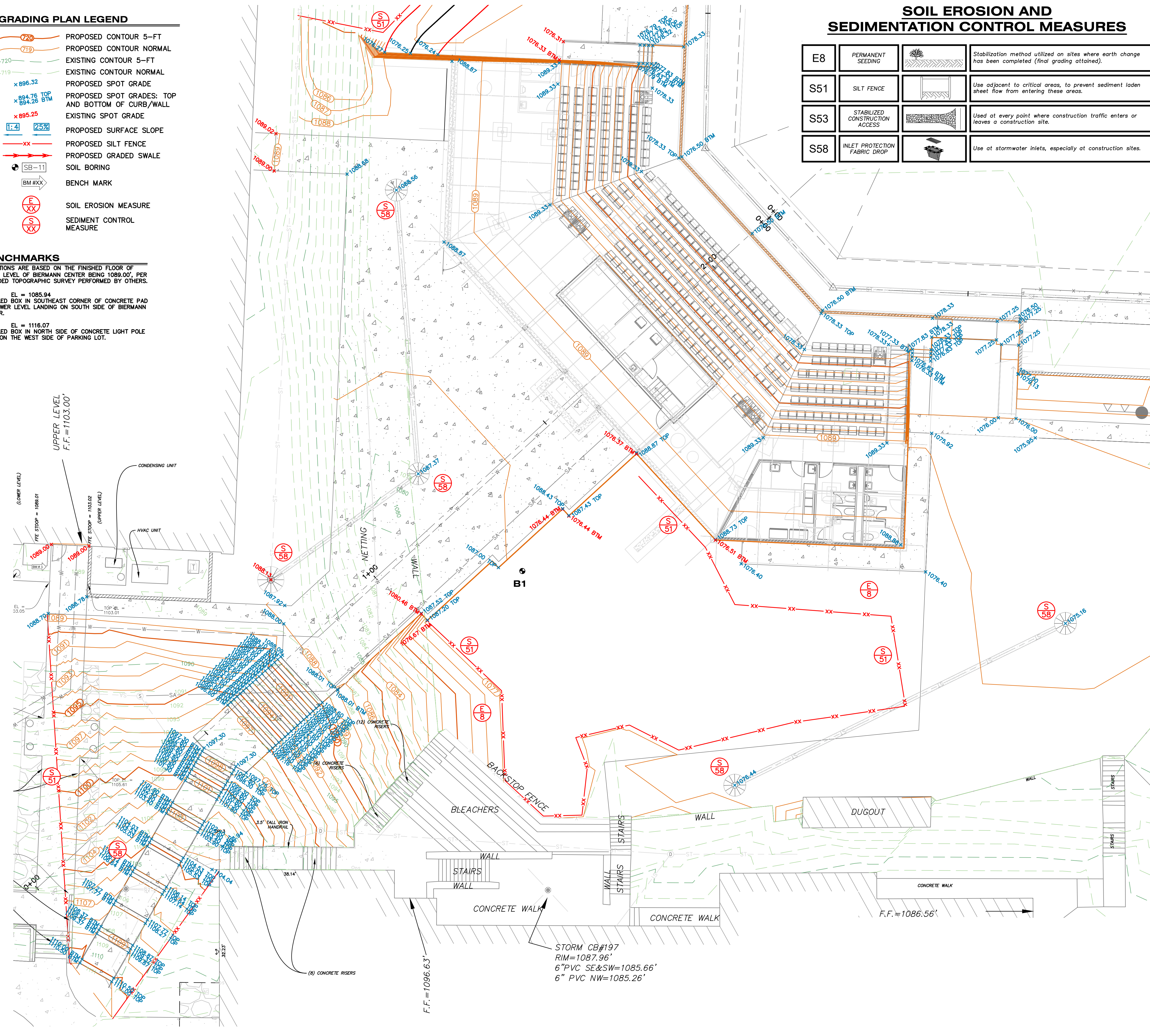
SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.



SESC & GRADING NOTES

- ALL WORK SHALL COMPLY WITH THE PROVISIONS OF PART 91 OF THE EROSION AND SEDIMENTATION CONTROL ACT OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT (P.A. 451 OF 1994, AS AMENDED) AND AS ADMINISTERED BY THE KALAMAZOO COUNTY DRAIN COMMISSIONER.
- AVOID UNNECESSARY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEANUP AND APPROVAL.
- CONTRACTOR TO PROVIDE SILT FENCES ACROSS ALL DITCHES, SWALES, AND ROUGH CUT ROADS WHICH EXIST FROM THE SITE TO ELIMINATE SEDIMENT RUNOFF. PROVIDE SILT FENCES AND INSTALL FABRIC DROP INLET PROTECTION UNDER INLETS AT ALL STORM SEWER STRUCTURES DURING CONSTRUCTION.
- ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS. SPOIL PILES SHALL NOT BE PLACED WITHIN 50' FROM ANY TEMPORARY OR PERMANENT WATERCOURSE.
- THE CONTRACTOR SHALL COMPLY WITH THE WEEKLY RECOMMENDATIONS OF THE CERTIFIED STORM WATER OPERATOR.
- ALL INLETS IN PAVED AREAS SHALL HAVE SILT SAVER SEDIMENTATION REDUCERS DURING CONSTRUCTION.
- CLEAN ADJACENT ROADWAYS WHEN NECESSARY.
- FINAL LANDSCAPING SHALL CONSIST OF MIN. 3" TOPSOIL, 200#/ACRE CLASS A SEEDING, 2T/ACRE MULCH AND 240#/ACRE CHEMICAL FERTILIZER NUTRIENT.
- COORDINATE TOPSOIL STOCKPILE WITH OWNER.
- NO SITE WORK SHALL BEGIN UNTIL THE SILT FENCE AND ACCESS ROAD ARE INSTALLED.
- PLACE TRACK MATS AT THE ENTRANCE TO REDUCE MATERIAL TRACKED OFF SITE.
- COORDINATE THE CLEARING LIMITS WITH THE OWNER PRIOR TO COMMENCING WORK.
- MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 3 MAX IF NOT LABELED.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
- ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL GRANULAR FILL UNDER THE INFLUENCE OF THE ROADWAY AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
- SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE REGRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUBBASE. REMOVAL OF ANY EXCESS SOIL OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EARTHWORK CALCULATIONS PRIOR TO COMMENCING WORK. NO EXTRA EARTHWORK WILL BE PAID FOR ONCE EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

FIELD WORK PERFORMED BY:
 HURLEY & STEWART, LLC

hurley & stewart, llc
 2800 s. 11th street
 kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleyandstewart.com

hurley & stewart

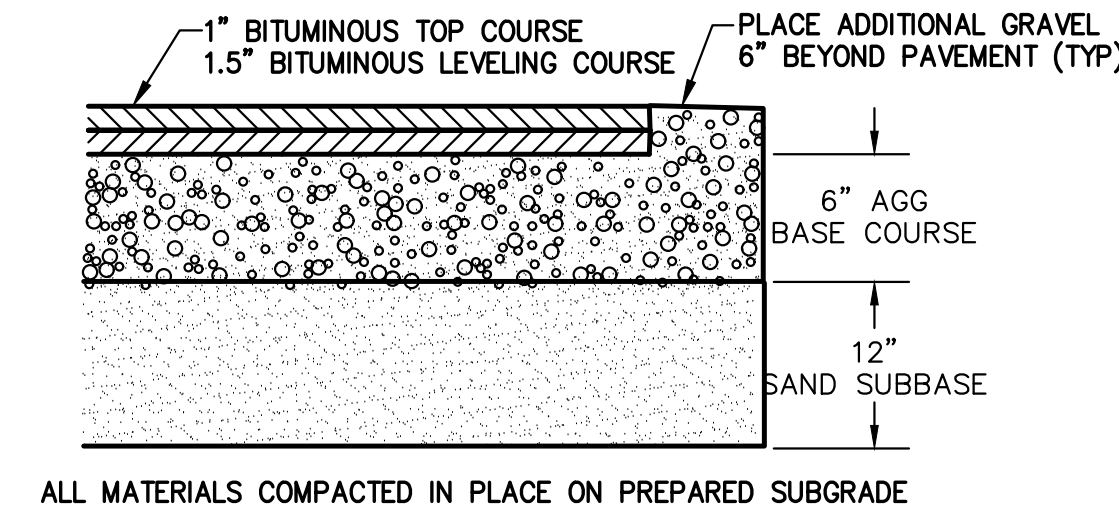
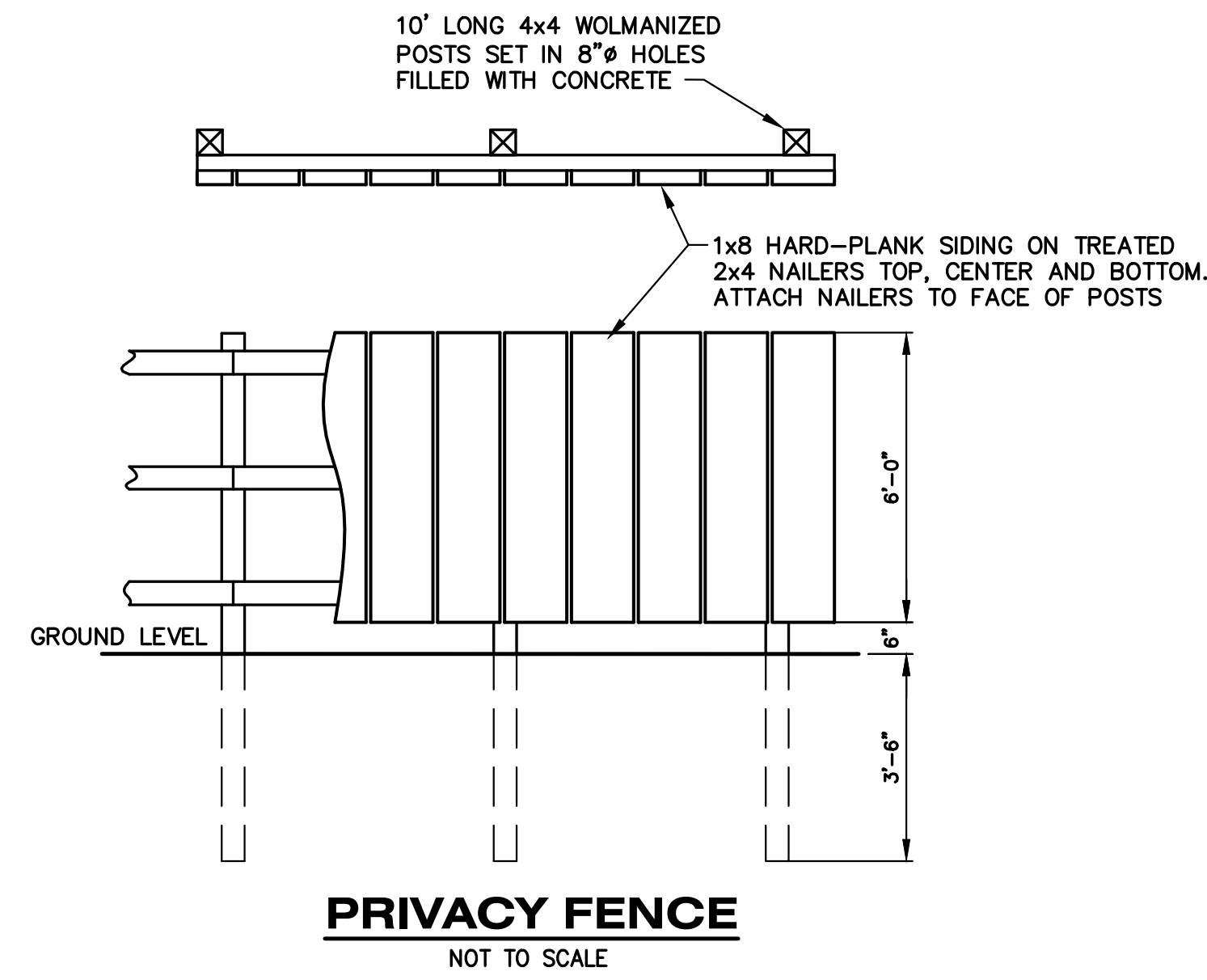
Job No.: 21-137D P.M.A./P.D. Drt: DSJ OA/QC: 07/13/22
 ISSUED FOR/REVISIONS:
 1. PRELIMINARY PLAN 04/20/22
 2. FOR PERMITS 06/30/22
 3. FOR CONSTRUCTION 07/13/22
 4. 07/13/22

COPYRIGHT © of Hurley & Stewart, LLC

ZOOMED SESC & GRADING PLAN
HILLSDALE COLLEGE BASEBALL STADIUM
HILLSDALE COLLEGE

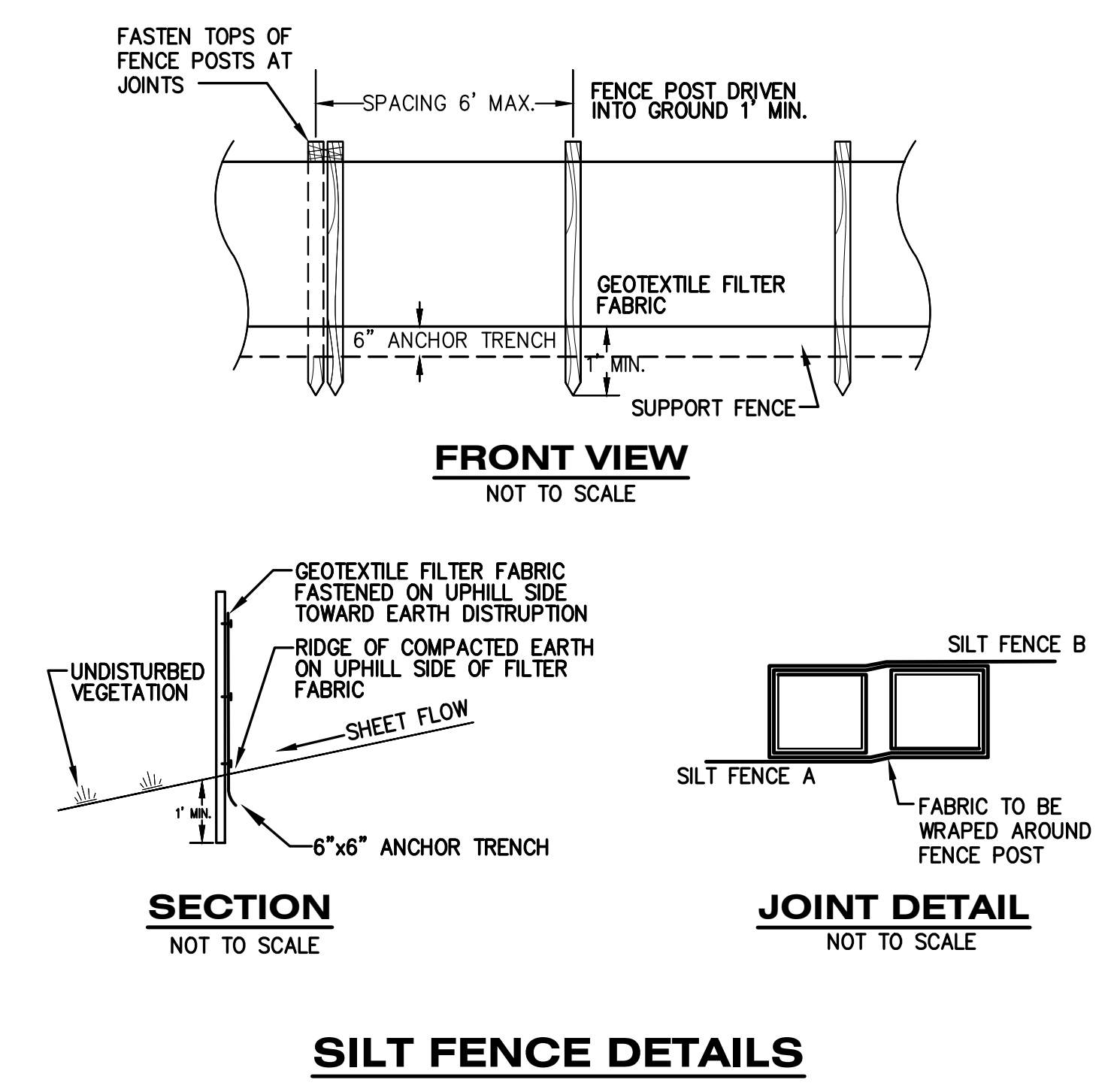
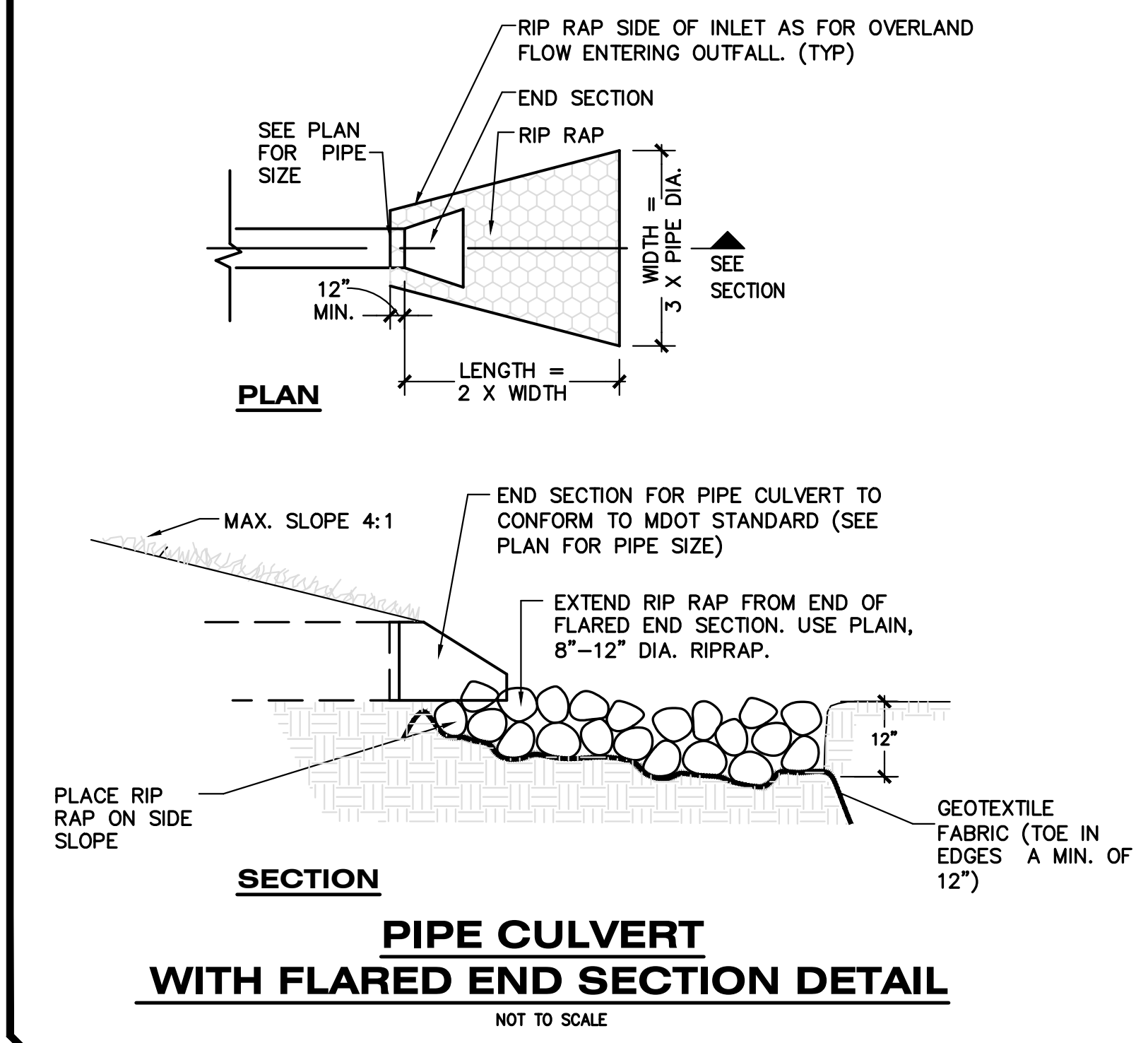
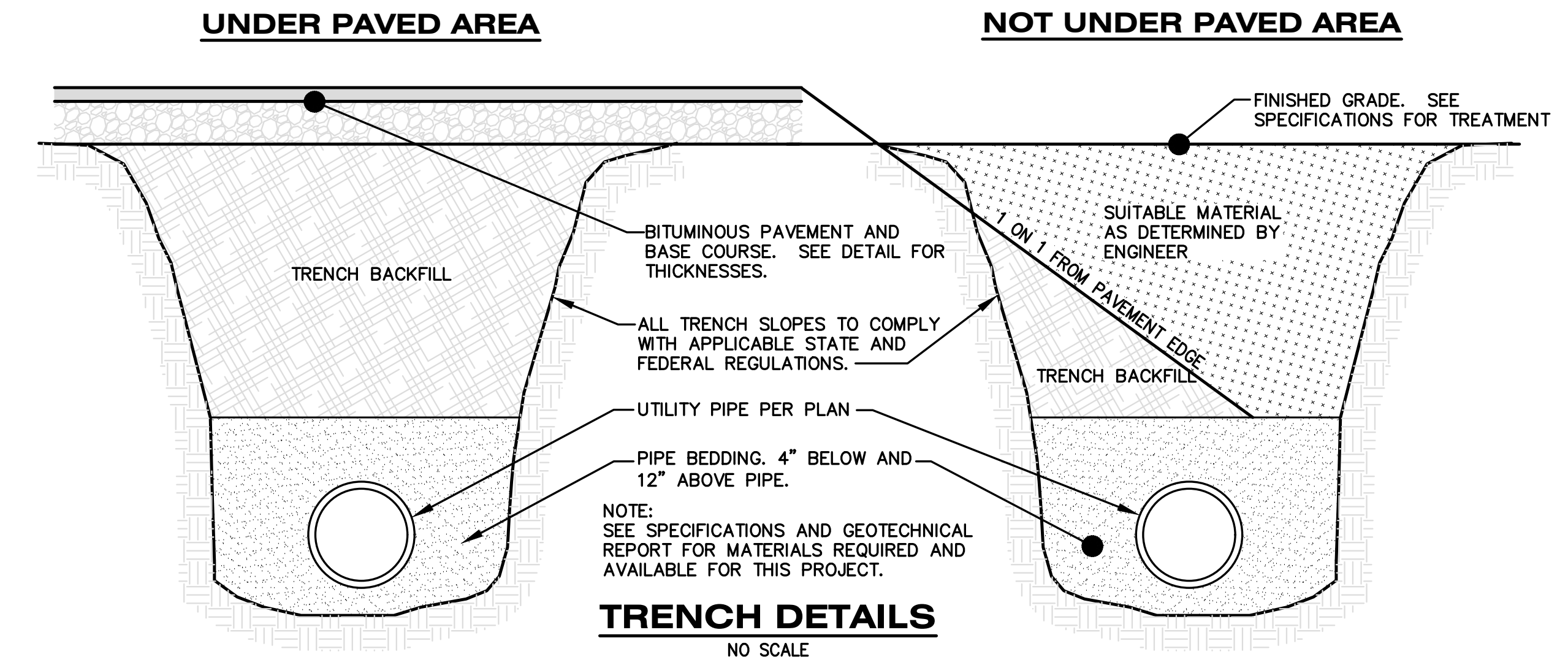
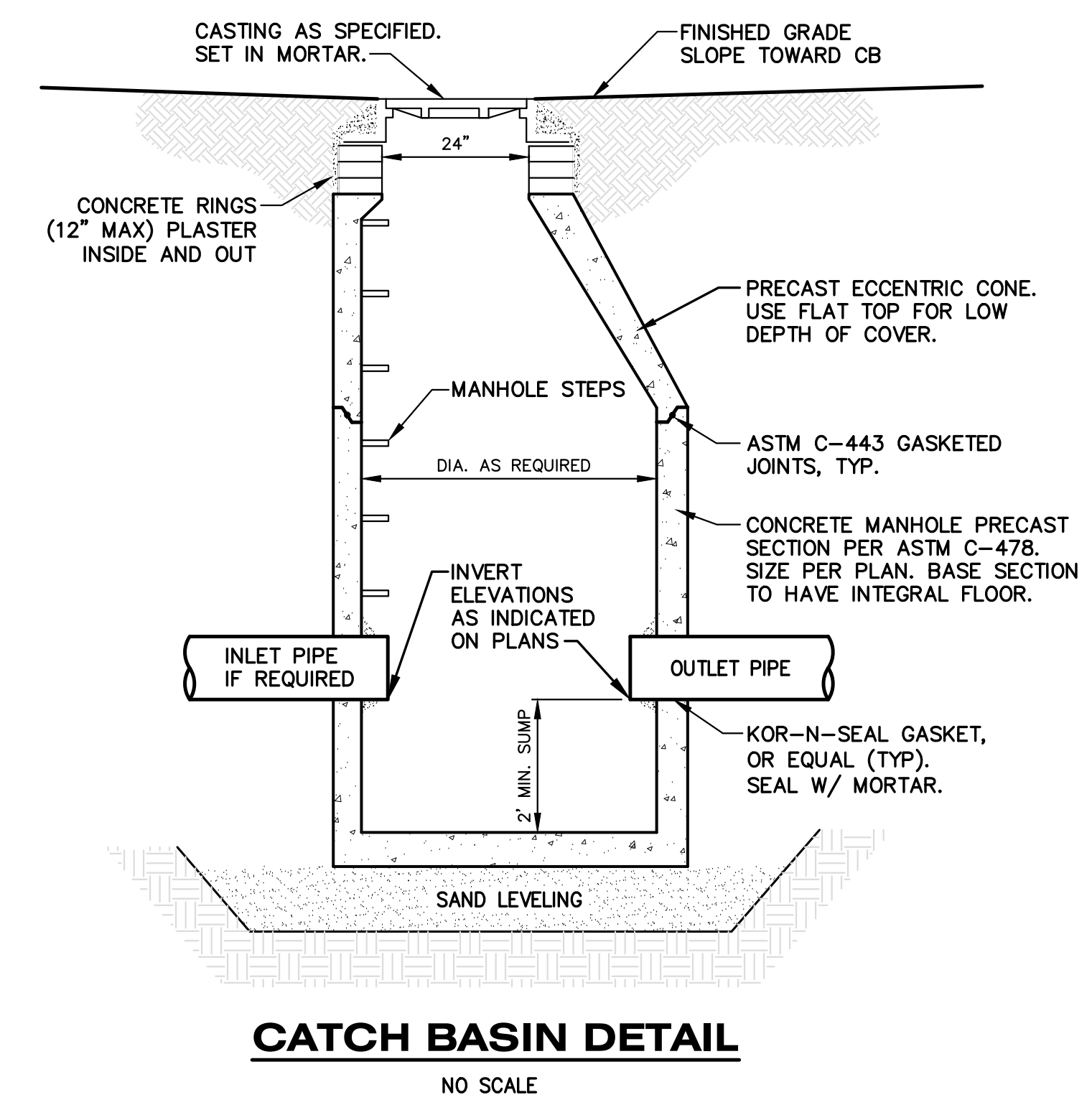
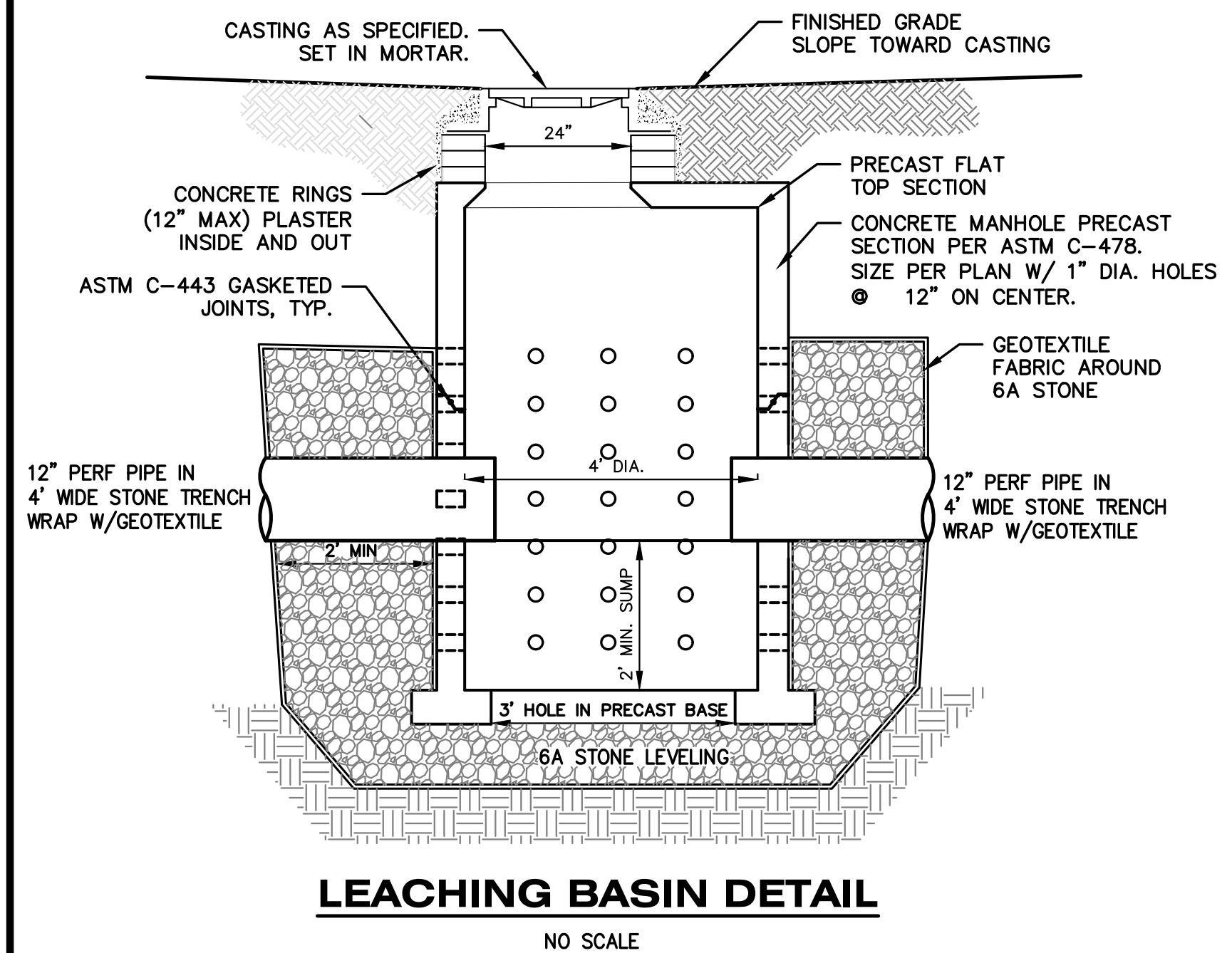
Sheet Title:
 Project:
 Client:
 07/13/22
 Sheet
C-7

DRAWING LOCATION: H:\171-137D (Hillsdale College Baseball Stadium)_FINAL DRAWINGS-C-B Details.dwg LAST SAVED BY: DWANOMAN ON 6/28/2022



LEGEND

◻ #	BENCH MARK	⊛	PIPE MARKER COMMUNICATIONS
◻	SET MONUMENT	⊛	PIPE MARKER ELECTRIC
◻	FOUND MONUMENT	⊛	PIPE MARKER GAS
◻	SET CAPPED IRON LIC. # 57885	⊛	YARD DRAIN
◻	FOUND IRON	⊛	GAS METER
◻	SET CHISELED "X"	⊛	GAS VALVE
◻	FOUND CHISELED "X"	⊛	TELEPHONE MANHOLE
◻	CONTROL POINT	⊛	RISER
P	PLATTED	⊛	SIGN
D	DESCRIBED	⊛	MAILBOX
M	MEASURED	⊛	TRANSFORMER
R	RECORD	⊛	YARD LIGHT
C	CALCULATED	⊛	HAND HOLE (ELECTRIC)
⊛	CURB CATCH BASIN	⊛	LIGHT POLE
⊛	SQUARE CATCH BASIN	⊛	(UTILITY, GUY, POWER) POLE
⊛	ROUND CATCH BASIN	⊛	GUY WIRE
⊛	MANHOLE STORM	⊛	ELECTRIC MANHOLE
⊛	MANHOLE SANITARY	⊛	ELECTRIC METER
⊛	SANITARY CLEANOUT	⊛	CONTOUR HIGHLIGHTED
⊛	FIRE HYDRANT	⊛	CONTOUR NORMAL
⊛	WATER VALVE	⊛	POWER LINE
⊛	WATER METER	⊛	MISS DIG COMMUNICATION
⊛	WELL HEAD	⊛	MISS DIG ELECTRIC
⊛	SPRINKLER CONTROL VALVE	⊛	MISS DIG FIBEROPTIC
⊛	SPRINKLER HEAD	⊛	MISS DIG GAS
⊛	BOLLARD	⊛	MISS DIG SANITARY SEWER
⊛	AIR CONDITIONER	⊛	MISS DIG STORMWATER
⊛	FIRE DEPARTMENT CONNECTION	⊛	MISS DIG TELEPHONE
⊛	DOWN SPOUT	⊛	MISS DIG WATER
⊛	COMMUNICATION MANHOLE	⊛	MISS DIG UNKNOWN
⊛	FLARED END SECTION	⊛	TREE LINE
⊛	FLAG	⊛	FENCE
⊛	COLUMN	⊛	GUARD RAIL
⊛	MONITOR WELL	⊛	PAVEMENT
⊛	PARK BENCH	⊛	CONCRETE SURFACE
⊛	POST INDICATOR VALVE	⊛	DECIDUOUS TREE
⊛	PARKING METER	⊛	CONIFEROUS TREE
⊛	POST	⊛	BUSH
⊛	SOIL BORING		
⊛	SPIGOT		



hurley & stewart, llc
 2800 s. 11th street
 kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleystewart.com

hurley & stewart

Job No.: 21-137D P.M.A./P.D. Drt./DSV O.A./QC: 07/13/22
 ISSUED FOR/REVISIONS:
 1 PRELIMINARY PLAN 04/20/22
 2 FOR PERMITS 06/30/22
 3 FOR CONSTRUCTION 07/13/22
 4
 COPYRIGHT © of Hurley & Stewart, LLC

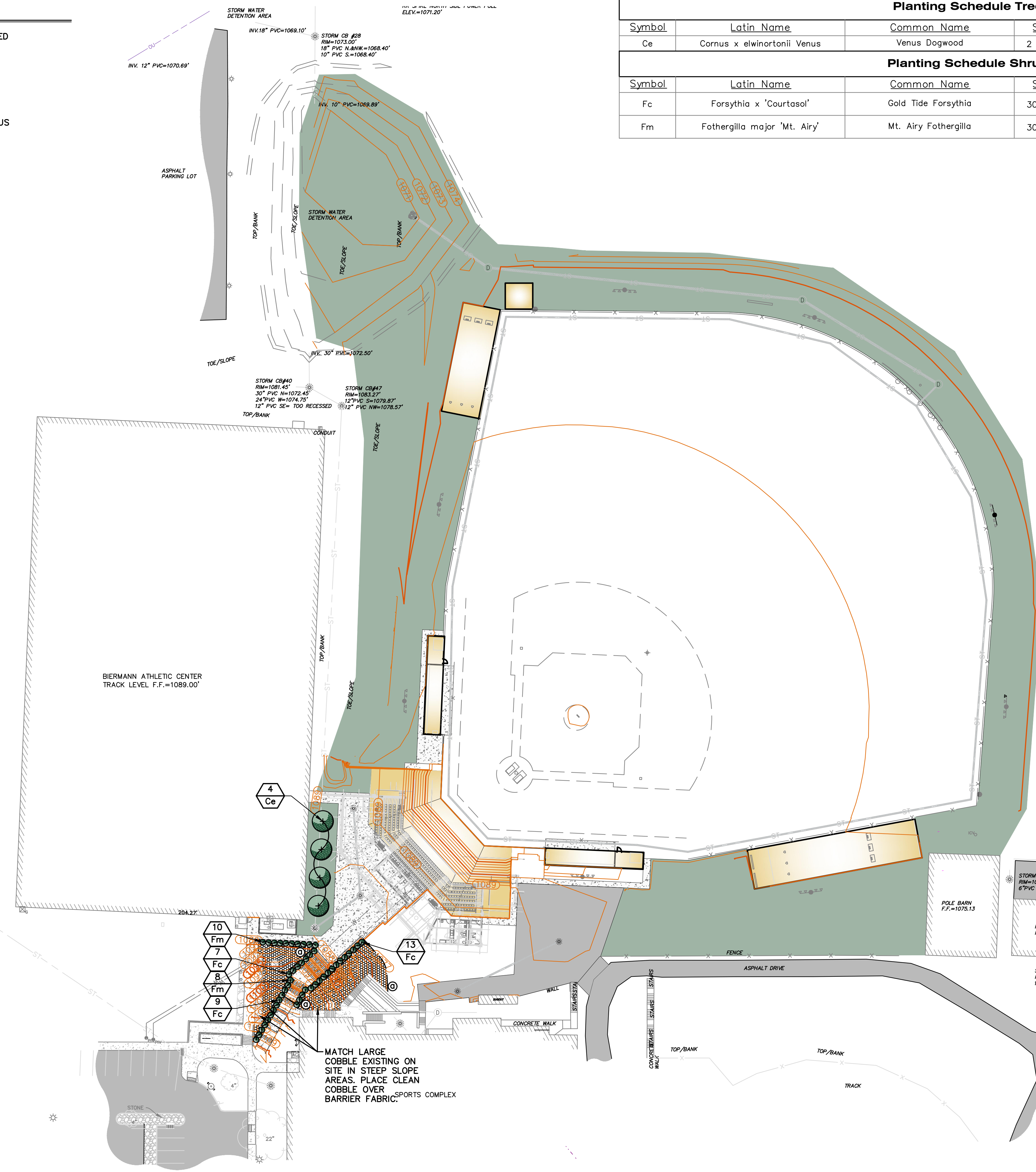
DETAILS
HILLSDALE COLLEGE BASEBALL STADIUM
HILLSDALE COLLEGE

Sheet Title:
 Project:
 Client:
 07/13/22
 Sheet
C-8

DRAWING LOCATION: H:\21-137D Hillside College Baseball Stadium\FINAL DRAWINGS\1- Landscape\Planting\LAST SAVED BY: DWANMAN ON 6/29/2022

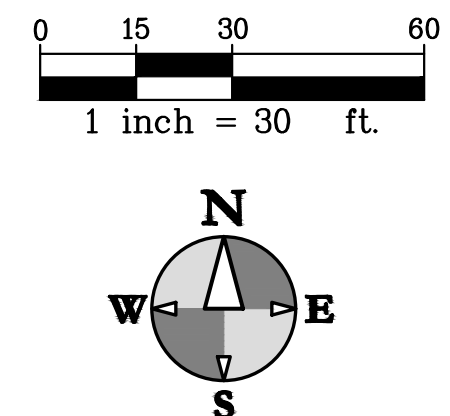
LEGEND

- 13
Ca NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED.
- SEEDED LAWN.
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUBS, EVERGREEN AND DECIDUOUS
- ⊙ STEEL LANDSCAPE EDGING.



Planting Schedule Trees					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Ce	Cornus x elwintonii Venus	Venus Dogwood	2" Cal	B&B	Tree Form

Planting Schedule Shrubs					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Fc	Forsythia x 'Courtasol'	Gold Tide Forsythia	30" Ht.	Cont.	
Fm	Fothergilla major 'Mt. Airy'	Mt. Airy Fothergilla	30" Ht.	Cont.	



IRRIGATION NOTES:

1. LANDSCAPE CONTRACTOR TO PROVIDE LAYOUT AND DETAILS FOR FULL IRRIGATION SYSTEM PRIOR TO INSTILLATION.
2. ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
3. IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
4. A SEPARATE METER AND BACKFLOW PREVENTER WILL BE REQUIRED.
5. LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT/ CURB.

LANDSCAPE NOTES:

1. ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 8-10 LBS/ 1000 SFT. PROVIDE 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
2. ALL EDGING SHALL BE STANDARD COMMERCIAL-STEEL EDGING 3/8" X 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
3. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK," MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
4. WARRANT TREES, SHRUBS AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
5. REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
6. MAINTAIN TREES, SHRUBS, AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
7. BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
8. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, USING CHEMICAL TREATMENT TO ELIMINATE BROADLEAF AND NOXIOUS WEEDS, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
9. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
10. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER FROM SITE.
11. MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
12. DO NOT PLACE STONE COBBLE DURING WET WEATHER. DO NOT PLACE DIRTY OR MUDDY COBBLE ON BARRIER FABRIC.
13. APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS REAPPLY AS RECOMMENDED BY PRODUCT DURING ONE YEAR WARRANTY PERIOD.

MATCH LARGE COBBLE EXISTING ON SITE IN STEEP SLOPE AREAS. PLACE CLEAN COBBLE OVER BARRIER FABRIC.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
 FIELD WORK PERFORMED BY:
 HURLEY & STEWART, LLC

hurley & stewart, llc
 2800 s. 11th street
 kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleystewart.com

Job No. 21-137D	P.M. JWP	Dr. H. DSV	QA/QC: 07/13/22
ISSUED FOR PREVISIONS:	04/20/22		
1. PRELIMINARY PLAN	06/30/22		
2. FOR PERMITS	07/13/22		
3. FOR CONSTRUCTION			
4.			

LANDSCAPE PLAN
 HILLSDALE COLLEGE BASEBALL STADIUM
 HILLSDALE COLLEGE
 Sheet Title:
 Project:
 Client:

July 7, 2022

Plans for the proposed Baseball Stadium for Hillsdale College located at 150 Barber Dr. were reviewed by the City Dept. Heads on July 7, 2022. Their comments are as follows:

Present: Kristin Bauer (City Engineer), Ryan Kafer (Engineering Intern), Chief Scott Hephner (Police Department), Jason Blake (Dept. of Public Services), Alan Beeker (Planning & Zoning), Eric Sheffer (Board of Public Utilities), Jeff Geir (Board of Public Utilities), Scott Morrison (Project Architect)

City Engineer

- Storm Water Calculations:
 - Include calculations of existing storm water amounts.

Public Services

- Add notes to the drawings to jet the existing storm system following completion of the project.
- Add notes to bag the catch basins during construction.

Public Safety

- Verified that the construction materials would not increase fire liability on the site

Board of Public Utilities

- Electrical:
 - No issues.
- Water
 - No issues.
- Sanitary
 - No issues.

Planning/Zoning

- No issues

Final drawings with all department approved revisions must be received by the Planning Dept. no later than July 13, 2022. The Planning Commission will review the drawings for final approval at the regular meeting which will be held on July 20, 2022 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 3rd Floor Council Chambers.



TO: Planning Commission

FROM: Zoning Administrator

DATE: July 20, 2022

RE: Ordinance Review – Lighting

Background: The current lighting section requires that parking lighting may not exceed 20' in height. That height restriction is extremely antiquated and there were developments in the township (now City) that exceed that height. Future developers will require variances to install industry standard height lighting for future projects. The City Attorney has returned his comments and the newly amended ordinance is submitted for review.

Sec. 36-631. - Lighting.

All lighting used to illuminate any off-street parking area ~~shall not exceed 20 feet in overall height above ground level, and~~ shall be so installed as to be confined within and directed on the parking area only.

(Code 1979, § 17.34.110; Ord. No. 2017-005, 11-6-2017)