



Planning Commission
97 North Broad Street
Hillsdale, Michigan 49242-1695
(517) 437-6440 Fax: (517) 437-6450

Planning Commission Agenda
May 17, 2023

I. Call to Order 5:30 pm

- A. Pledge of Allegiance
- B. New Member Welcome
- C. Roll Call

II. Public Comment

Any agenda item – 3 min. limit

III. Consent Items

- A. Approval of agenda
- B. Approval of Planning Commission 4/19/2023 minutes

IV. Communications

- A. R2PC May Packet

https://www.cityofhillsdale.org/sites/default/files/fileattachments/planning_commission/meeting/14370/may_11_2023_pkt.pdf

V. Site Plan Reviews

- A. 111 E Fayette – Hillsdale College, Sajak Media Center
- B. 248 Hillsdale – Hillsdale College, Classical Education Building

VI. Old Business

- A. No old business

VII. New Business

- A. Rezoning 440 & 450 Hidden Meadows Drive

VIII. Zoning Administrator Report

IX. Commissioners' Comments

X. Public Comment

Any Commission related item – 3 min. limit

XI. Adjournment

Next meeting: Wednesday, June 21, 2023 at 5:30 pm

Planning Commission Meeting Minutes
Hillsdale City Hall
Council Chambers
April 19, 2023
5:30 pm

I. Call to Order

Meeting opened at 5:30 pm followed by the Pledge of Allegiance, and Roll Call.

II. Members Present

- A. Members Present: Chairman Eric Moore, Secretary Elias McConnell, Commissioner William Morrissey, Commissioner Penny Swan, Commissioner Roma Rogers
- B. Public Present: Zoning Administrator Alan Beeker
- C. Members Absent: Vice Chair Kerry Moore, Commissioner Ron Scholl

III. Public Comment

- Comments on accessory building height
- Commissioners discuss if accessory building height should be looked at, leading to discussion of entire section of 36-431 and 36-432 and if it should be looked at further by commissioners and possible cancelling of public hearing and setting public hearing after commissioners can make further comments and changes

IV. Consent Agenda and Minutes

Motion to approve the consent items by Commissioner Swan, seconded by Commissioner Morrissey, unanimous

V. Public Hearing

Section 36-431 and section 36-432

- Decision to cancel the public hearing made, motioned by Commissioner Swan, seconded by Commissioner Moore, unanimous

VI. Communications

R2PC April Packet, none

Old Business

None

VII. New Business

None

VIII. Zoning Administrator Report

None

IX. Commissioner' Comments

None

X. Public Comment
None

XI. Adjournment
Commissioner Swan moved to adjourn the meeting, Commissioner Morrissey seconded.
Unanimous. Meeting adjourned at 6:18 PM.

Next meeting Wednesday, May 17, 2023 at 5:30 pm



TO: Planning Commission

FROM: Zoning Administrator

DATE: May 17, 2023

RE: Hillsdale College Sajak Media Center Site Plan Review

Background: Hillsdale College is proposing the construction of a new media center educational building. The building will be located at 111 E. Fayette St. on the west side of the lot located at 113 E. Fayette St, formerly the Mauck Elementary building. The building will be constructed in two phases. The project includes a 21,682 s.f. structure and site improvements. City Department heads and project designers met on May 3, 2023 to discuss the project. All revisions have been completed and the final drawings are submitted for Planning Commission review.

April 19, 2023

Plans for the proposed Sajak Media Center Building for Hillsdale College located at 111 E Fayette St. were reviewed by the City Dept. Heads on May 3, 2023. Their comments are as follows:

Present: Kristin Bauer (City Engineer), Chief Scott Hephner (Police Department), Mark Hawkins (Fire Department), Jason Blake (Dept. of Public Services), Alan Beeker (Planning & Zoning), Jake Hammel (Board of Public Utilities), Jeff Geir (Board of Public Utilities), Randy Borders (Board of Public Utilities), Colin Finch (Project Engineer), Bobby Beuchel (Project Architect)

Public Safety

- Requested that the FDC be 2 ½”.
- Would prefer the FDC be located on a wall facing a street. The proposed location is 105’ away from the nearest street.
- No perimeter fencing is proposed for the project that would inhibit building access during a fire.

Board of Public Utilities

- Electrical:
 - Requested electrical plans from architect to verify load amounts
 - New building will require 3ph power, existing 3ph is located on west side of Union St.
 - Proposed bringing new service to pedestal junction box directly north of new building transformer and then feed under proposed parking lot.
- Water
 - No issues.
- Sanitary
 - Connect new building sanitary to existing 8” clay under Union St.
 - Field verify depth of existing sanitary.

City Engineer

- Request that errors in notes be fixed.
- Add geo-tech fabric to top of detail to prevent soil infiltration.

Public Services

- Change curb/gutter detail from F2 to F4 curb style as existing street curb is F4 style
- Project parameters should include replacement of any broken sidewalk within project scope.
- Sidewalk at Fayette St. drive opening should be moved to the north to avoid being located in turning radius.

Planning/Zoning

- Dimension needed in the proposed parking lot.

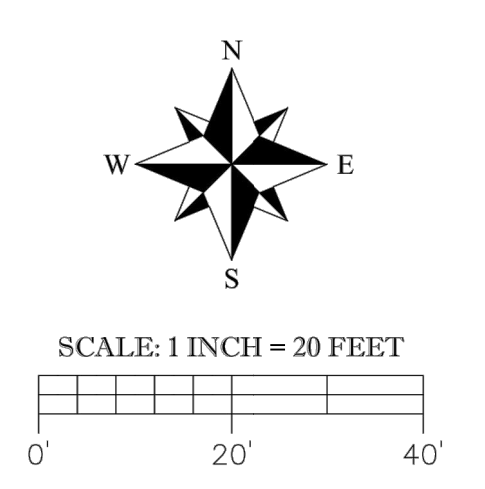
Final drawings with all department approved revisions must be received by the Planning Dept. no later than May 8, 2023. The Planning Commission will review the drawings for final approval at the regular meeting which will be held on May 17, 2023 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 3rd Floor Council Chambers.

REVISIONS

Boundary and Topographical Survey for
Hillsdale College
 Located in the
 City of Hillsdale, Hillsdale County, Michigan

MOSTROM & ASSOC., INC.
 610 W. Burr Oak St.
 Centreville, Michigan 49032
 Phone: (269) 467-6348
 www.mostromsurvey.com

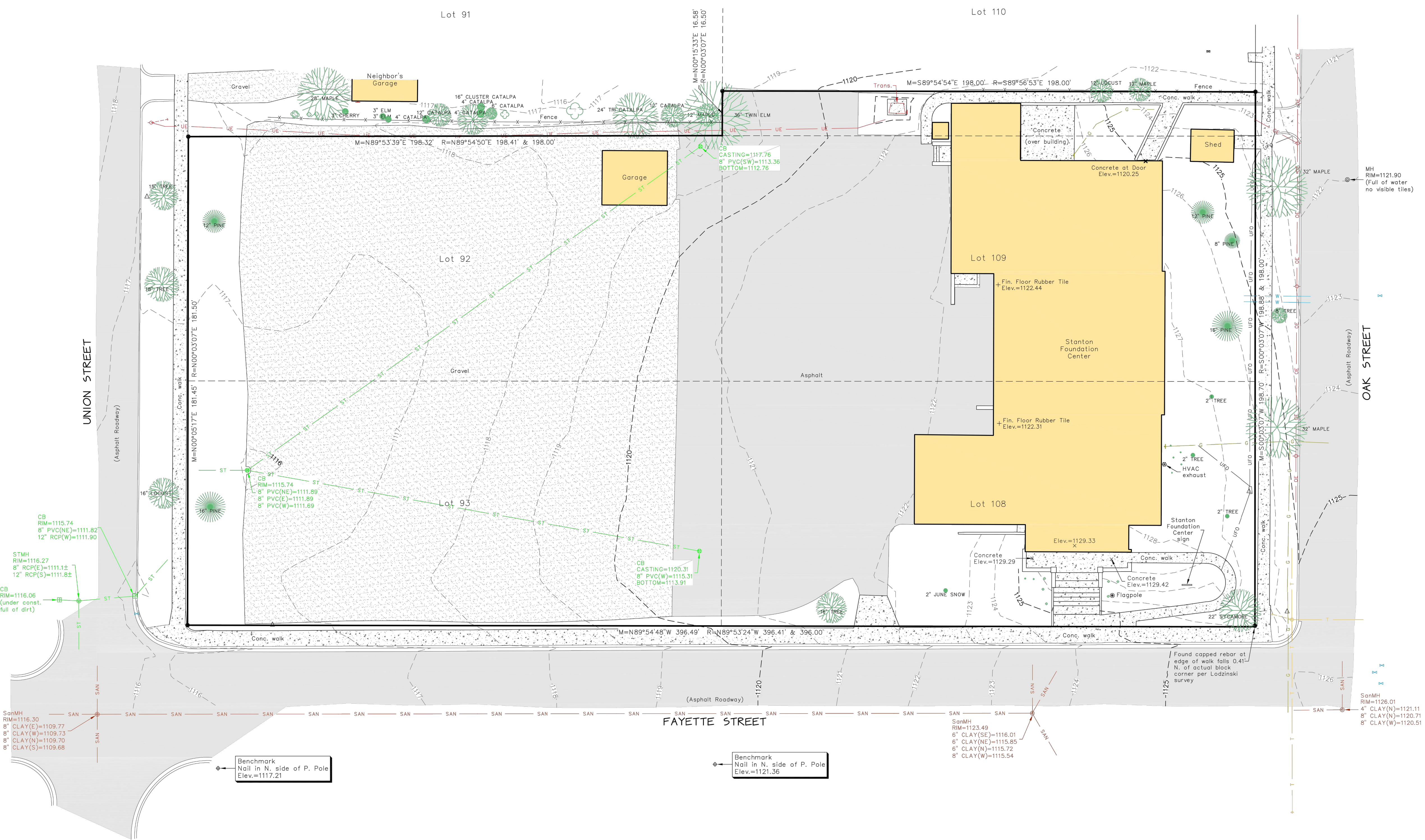
DRAWN BY:
 MCR
 DATE:
 October 7, 2021
 SCALE:
 1" = 20'
 CADFILE NO.:
 29205_TOP0.dwg
 SURVEY NO.:
 HILLS-29205
 SHEET 1 OF 1



LEGEND

- R = RECORDED DIMENSION
- M = MEASURED DIMENSION
- = HANICAP PARKING SPACE
- = MAG NAIL SET
- = MAG OR P.K. NAIL FOUND
- = CAPPED IRON SET
- = IRON FOUND
- = CHISELED "4" IN CONCRETE
- = CONCRETE MONUMENT FOUND
- = TELEPHONE PEDESTAL
- = ELECTRIC BOX
- = POWER POLE
- = GUY WIRE & ANCHOR
- = LIGHT POLE
- = SIGN
- = POST
- = CATCH BASIN
- = MANHOLE
- = WATER VALVE
- = FIRE HYDRANT
- = FENCE
- G = UNDERGROUND GAS
- CATV = CABLE TELEVISION
- OE = OVERHEAD ELECTRIC
- UE = UNDERGROUND ELECTRIC
- UFO = UNDERGROUND FIBER OPTIC
- T = OVERHEAD TELEPHONE
- UT = UNDERGROUND TELEPHONE
- ST = STORM SEWER
- SS = SANITARY SEWER
- W = WATER MAIN
- = LIMITS OF ASPHALT
- = LIMITS OF CONCRETE
- = LIMITS OF GRAVEL
- = LIMITS OF BUILDING

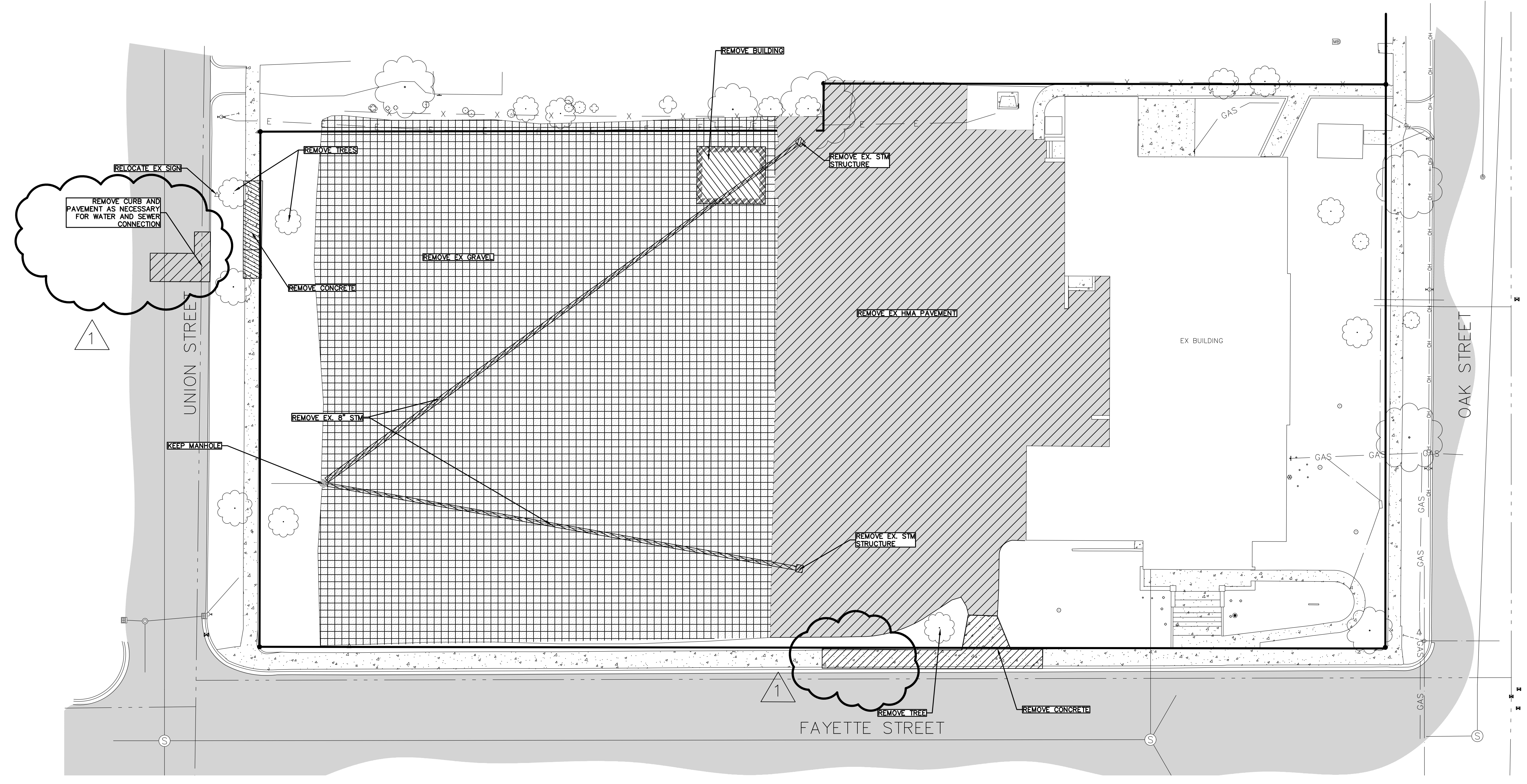
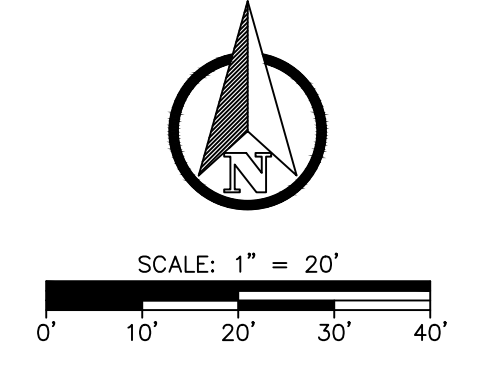
DESCRIPTION FURNISHED: (FROM SURVEY #21s01680 DATED 07-28-2021 BY P.S. #4001047961 OF LODZINSKI & ASSOCIATES, LLC)
 LOTS 92, 93, 108, 109 AND THE SOUTH 16.50 FEET OF LOT 110 OF BLACKMAR AND GALLAHER'S ADDITION TO THE VILLAGE, NOW CITY OF HILLSDALE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 96 OF DEEDS, PAGE 1, HILLSDALE COUNTY RECORDS.



- SURVEYOR'S NOTES:**
- Bearings are based on the State Plane Coordinate System - Michigan South Zone.
 - Vertical datum is based on NAVD88 - GPS Derived (GEOID 18).
 - The underground utilities shown are based on marked locations in the field and/or maps provided to this office. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, some utility companies and/or municipalities may ignore 811 utility locate requests. Mostrom & Assoc., Inc. makes no guarantees that the underground utilities shown comprise all that are located on the site, or that they are in the locations shown.
 - The boundary as shown was surveyed by Lodzinski & Associates, LLC on July 28, 2021.

Prepared by:
 Douglas E. Mostrom, P.S.
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 610 W. Burr Oak Street
 Centreville, MI 49032 (269) 467-6348
 28 W. Chicago Street, Suite 3-1
 Coldwater, MI 49036 (517) 279-9707
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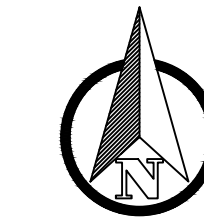
CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.03.2023

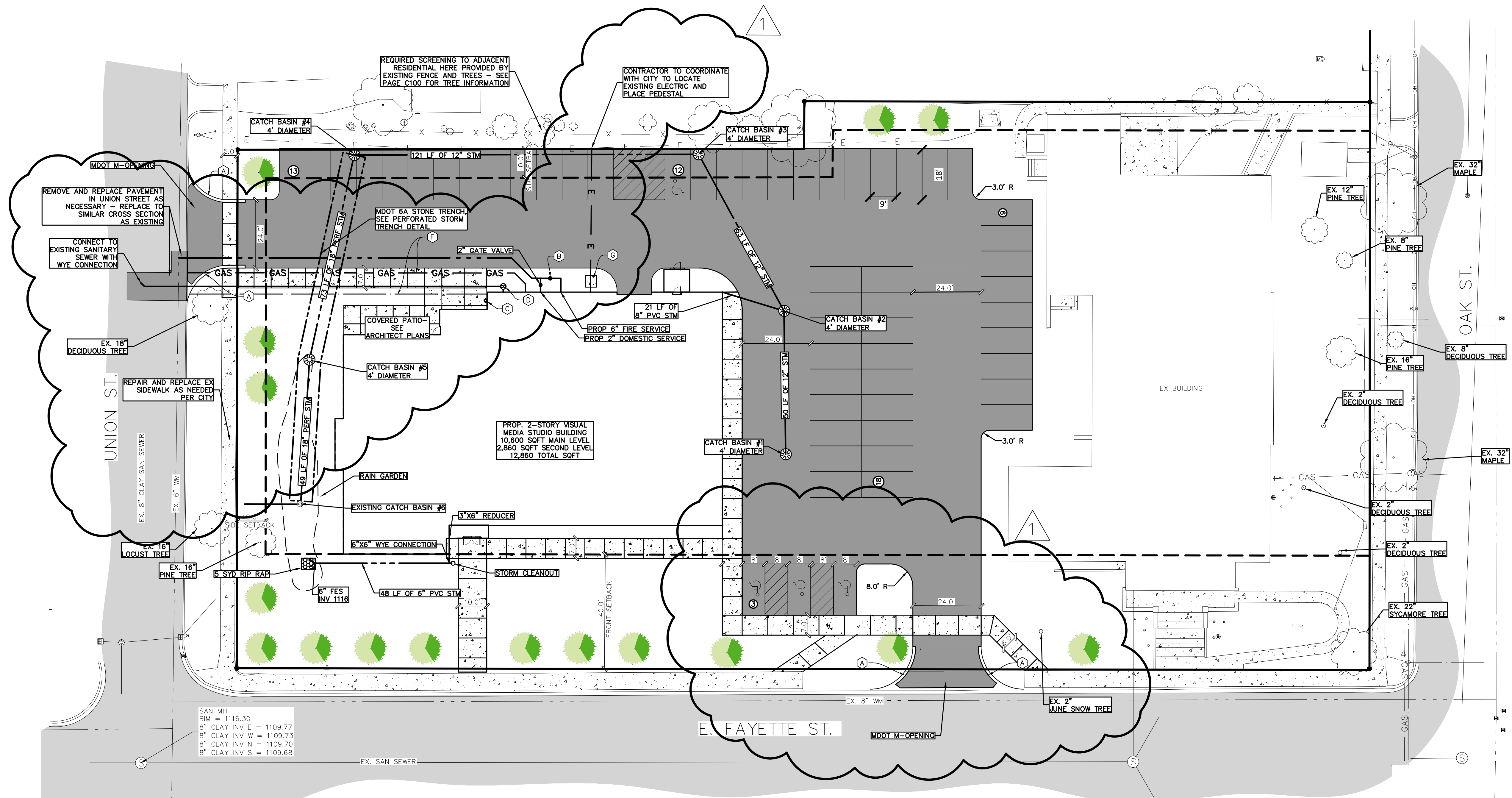
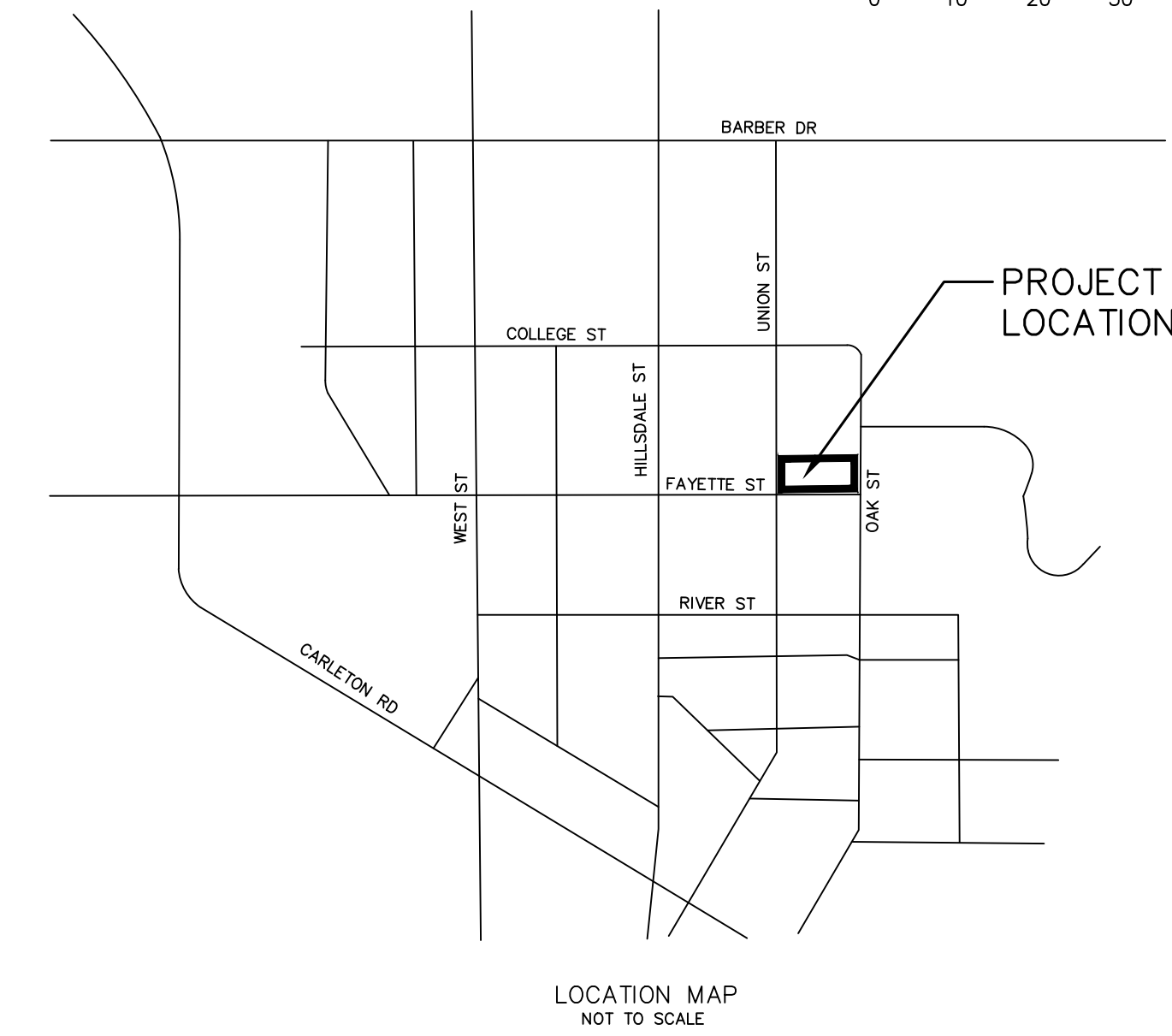
REVISIONS		
NO.	DATE	DESCRIPTION
1	05/09/2023	REVISION 1

DEMO PLAN

C200



SCALE: 1" = 20'
 0 10' 20' 30' 40'



- SYMBOL LEGEND**
- STORM CB
 - SAN STRUCTURE
 - 6" TALL EVERGREEN
- LINE AND HATCH LEGEND**
- WATER MAIN
 - STORM SEWER
 - SANITARY SEWER
 - HMA EXISTING
 - CONCRETE
 - HMA PROPOSED

- PLAN NOTES:**
- A. MDOT F4 CURB AND GUTTER
 - B. CLOW INDICATOR POST STYLE 2945A SIZE C TELESCOPING BARREL UL/716
 - C. FPC - DOUBLE 2.5" CONNECTION
 - D. SANITARY SEWER CLEANOUT
 - E. CONCRETE TURN DOWN EDGE
 - F. CONTRACTOR TO COORDINATE PRIVATE UTILITY CONNECTIONS WITH APPROPRIATE UTILITY AGENCY (GAS, AND COMMUNICATIONS)
 - G. ELECTRIC TRANSFORMER

STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
STM CB 1 EJ 5105	48" DIA. RIM = 1117.90 12" N 1113.69
STM CB 2 EJ 5105	48" DIA. RIM = 1117.90 12" NW 1113.42 12" S 1113.42 8" W 1113.58
STM CB 3 EJ 7045	48" DIA. RIM = 1118.00 12" SE 1112.91 12" W 1112.91
STM CB 4 EJ 7045	48" DIA. RIM = 1117.20 18" SW 1111.69 12" E 1111.69
STM CB 5 BEEHIVE	48" DIA. RIM = 1117.00 18" S 1111.69 18" NE 1111.69
STM CB 6 BEEHIVE	48" DIA. RIM = 1117.00 8" W 1111.69 (WITH 7" ORIFICE PLATE) 18" N 1111.69

TOTAL AREAS

- TOTAL HARD SURFACE, PAVEMENT (ASPHALT), CURBS & CONCRETE SIDEWALKS= 28,389 SQ. FT.
- TOTAL YARD AREA= 26,265 SQ. FT.
- TOTAL BUILDING AREA = 21,892 SQ. FT.
- TOTAL SITE AREA= 74,333 SQ. FT.

PERCENTAGES OF LOT

- HARD SURFACE = 35.5%
- GREEN SPACE/ YARD = 35.3%
- BUILDING = 29.2%

LANDSCAPING CALCULATION:

REQUIRED: 25% LANDSCAPING = 18,583 SQFT

PROVIDED: 35.3%

1 EVERGREEN REQUIRED EVERY 1000 SQFT OF LANDSCAPING=19
 1 DECIDUOUS OR SHRUB REQUIRED EVERY 2000 SQFT OF LANDSCAPING=10
 TOTAL PROVIDED=29 (13 EXISTING 16 PROPOSED)

DESIGN ENGINEER
 VK CIVIL
 DAN LEWIS, P.E.
 269-697-7120
 DAN@VKCIVIL.COM

- UTILITY PLAN NOTES:**
- CONTRACTOR SHALL CONTACT PRIVATE AND PUBLIC UTILITY COMPANIES IF ANY COORDINATION IS NEEDED BETWEEN PROPOSED WORK AND EXISTING UTILITIES.
 - UTILITIES SHOWN (IF ANY) ARE APPROXIMATE LOCATIONS DERIVED FROM MEASUREMENTS OR AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITY INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION, AND CONDITION.
 - ALL WATERMAIN TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL WATER UTILITY STANDARDS AND ECLG STANDARDS.
 - ALL SANITARY SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL SANITARY SEWER UTILITY STANDARDS AND ECLG STANDARDS.
 - ALL 6" UNDERDRAIN TO BE CORRUGATED PLASTIC PIPE WITH SOCK, ADS N-12 OR APPROVED EQUAL.
 - ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED PLASTIC PIPE, ADS N-12 OR EQUAL, UNLESS OTHERWISE LABELED ON THE PLANS.
 - ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
 - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - CATCH BASINS WITHIN BIT VALLEY CURB SHALL HAVE EJ 7045 CASTINGS.
 - CATCH BASINS WITHIN PAVED AREAS SHALL HAVE EJ 5105 CASTINGS.
 - STORM SEWER MANHOLES SHALL HAVE EJ 1020 CASTINGS WITH SOLID COVERS.
 - STORM SEWER YARD DRAINS SHALL HAVE EJ 6508 CASTINGS.
 - ROOF DRAINS SHALL BE PVC SOH=40.
 - CONTRACTOR IS TO UNCOVER AND VERIFY ALL TOP LOCATIONS AND INVERTS. LOCATION AND INVERT DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION PRIOR TO CONTINUING WORK.
 - SANITARY AND STORM STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT.
 - THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.

- SITE LAYOUT NOTES:**
- ALL WORK SHALL BE DONE TO ALL FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.
 - ALL WORK WITHIN ROW SHALL BE DONE IN ACCORDANCE WITH LOCAL ROADWAY JURISDICTION REQUIREMENTS.
 - THE CONTRACTOR SHALL RESTORE ALL STREET SURFACES, DRIVEWAYS, CURBS, ROADSIDE DRAINAGE, AND OTHER INFRASTRUCTURE DISTURBED OR DAMAGED DUE TO CONSTRUCTION ACTIVITIES TO MATCH EXISTING CONDITIONS.
 - ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY OWNER.
 - WHERE REQUIRED OR AS SHOWN, ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL CONTACT MISS DIG THREE WORKING DAYS BEFORE YOU DIG. CALL MISS DIG AT 1-800-482-7171 OR 811.
 - ALL WORK SHALL BE DONE TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
 - ADA PARKING SPACES SHALL BE MARKED WITH APPROVED PAVEMENT SYMBOL, MARK ADA SPACES WITH 4" BLUE PAINT AND SIGNS PER MMUTCD.
 - CONTRACTOR SHALL ENSURE ALL ADA RAMPS AND ACCESS MEET CURRENT ADA STANDARDS. IF IT IS DISCOVERED THAT ANY ITEMS WILL NOT MEET ADA STANDARDS IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
 - ALL SIGNAGE SHALL BE PER MDOT AND MICHIGAN STANDARDS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, DEMOLITION PERMITS, TAP FEES, ASSESSMENTS, UTILITY PERMITS, ROW PERMITS, BONDS, INSURANCE, OR OTHER FEES ASSOCIATED WITH CONSTRUCTION.
 - SITE CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF A MINIMUM 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE A 4-6" AIR ENTRAINMENT WITH A BROOM FINISH.
 - INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE CONCRETE ADJUTS HMA PAVEMENT.
 - CONTRACTOR SHALL REVIEW THE GEOTECHNICAL AND ENVIRONMENTAL REPORTS FOR THE SITE AND INCORPORATE INTO THEIR CONSTRUCTION MEANS AND METHODS.
 - THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD SURVEY LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
 - THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS.
 - THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY MARKERS AND BENCHMARKS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES, AND SAFETY FENCES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE LOCAL POLICE DEPARTMENT AND MUNICIPALITY.
 - PRIOR TO CONSTRUCTION OR GRADING A PROTECTIVE BARRIER, FENCE, POST, AND SIGNS CLEARLY INDICATING LIMITS OF DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS.
 - NO PARKING OF CONTRACTOR OR SUBCONTRACTORS SHALL BE ALLOWED ON PUBLIC STREETS WITHOUT PRIOR APPROVAL.
 - NO BUILDING MATERIAL, EQUIPMENT, VEHICLES, OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE OF THE LIMITS OF DISTURBANCE.
 - CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH LOCAL MUNICIPAL ORDINANCES.

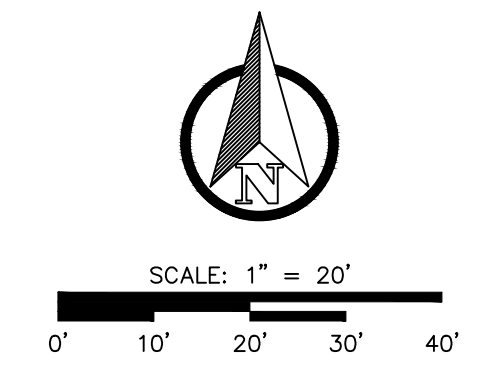


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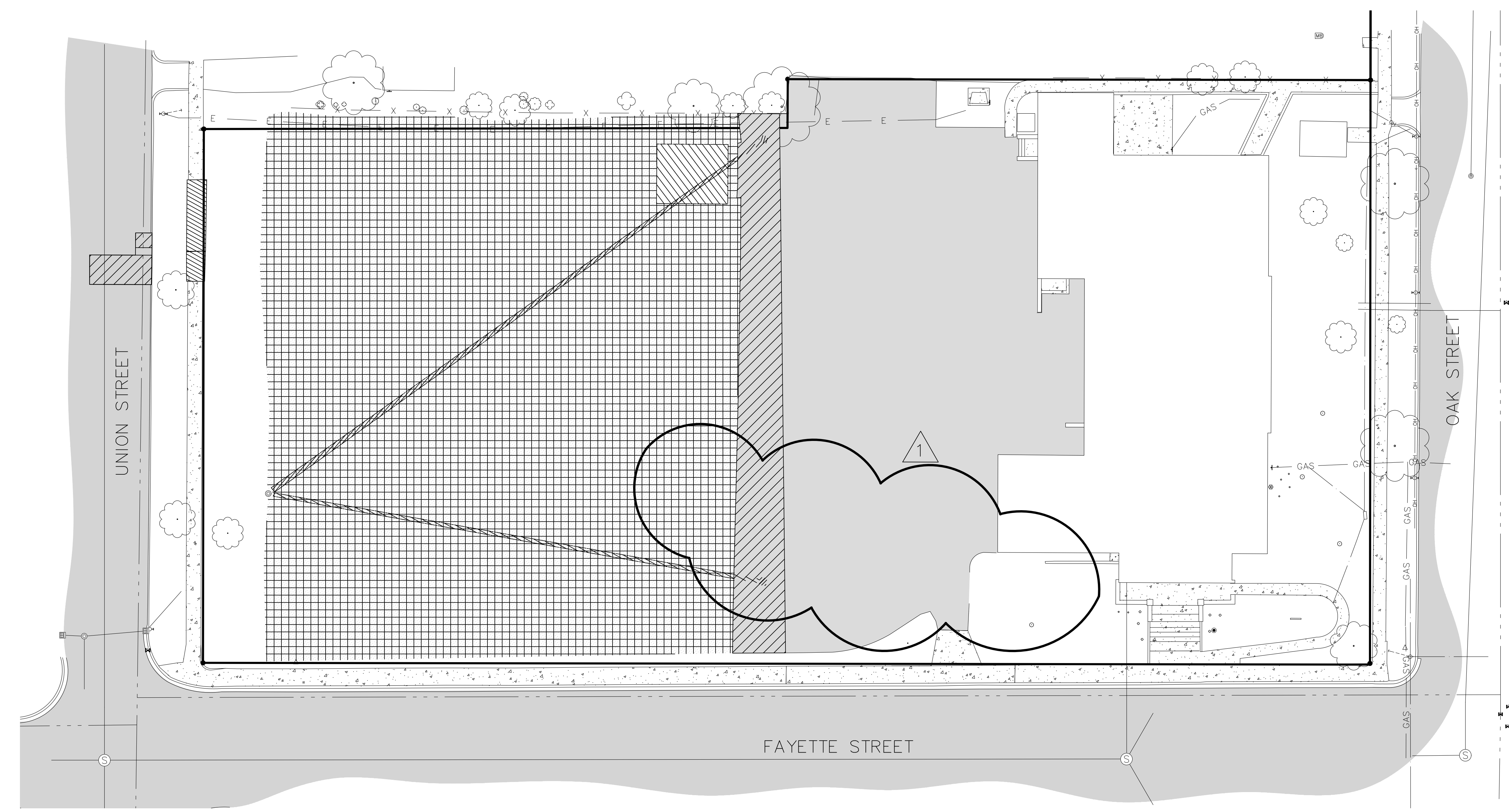
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ISSUE DATE: 04.03.2023

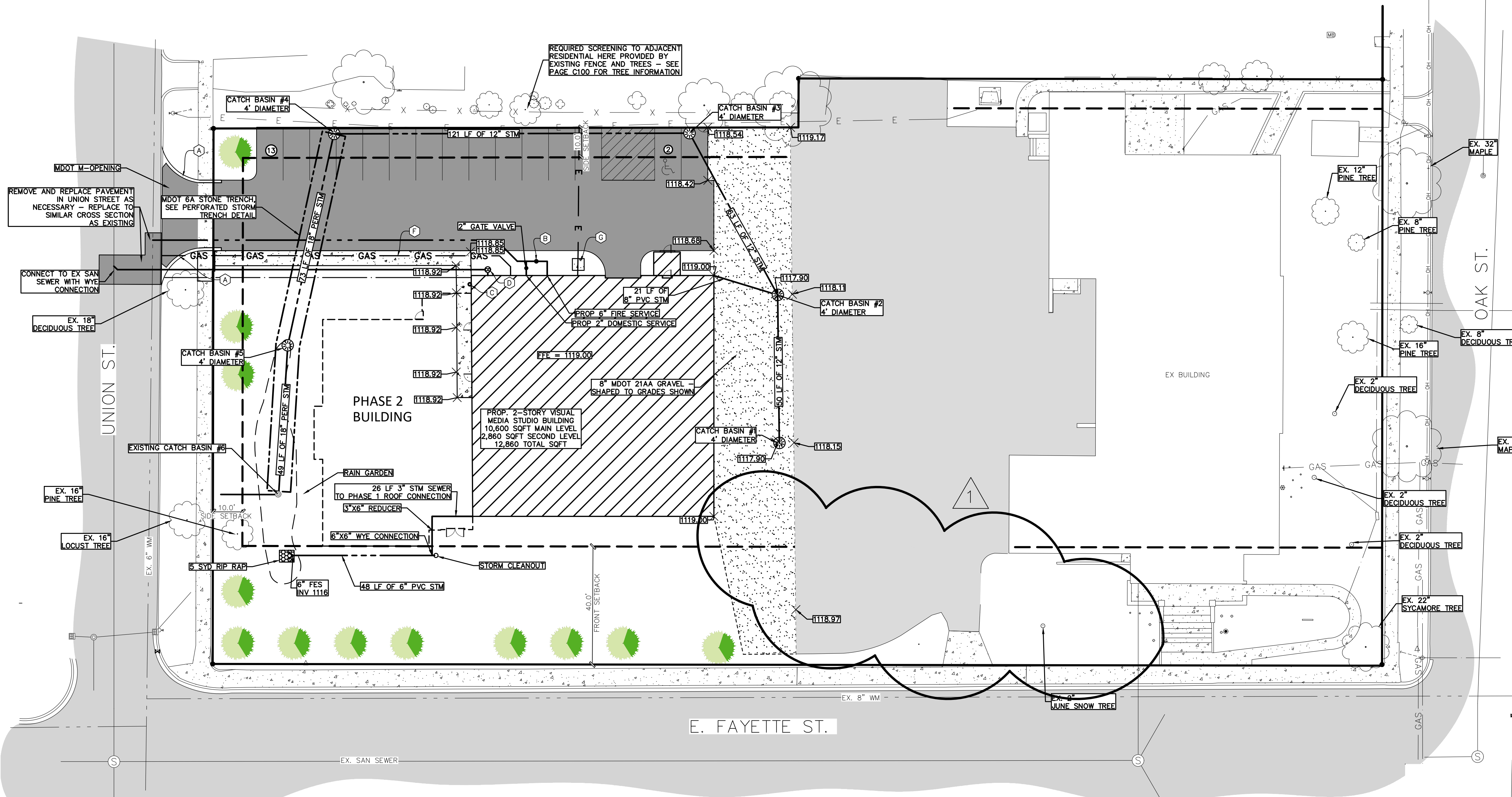
REVISIONS		
NO.	DATE	DESCRIPTION
1	05/09/2023	REVISION 1



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DEMO PLAN



SITE PLAN

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- STORM CB
- SAN STRUCTURE
- 6" TALL EVERGREEN

LINE AND HATCH LEGEND

- WATER MAIN
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PLAN NOTES:

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- GLOW INDICATOR POST STYLE 2945A SIZE C TELESCOPING BARREL 10.7M
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TOTAL AREAS

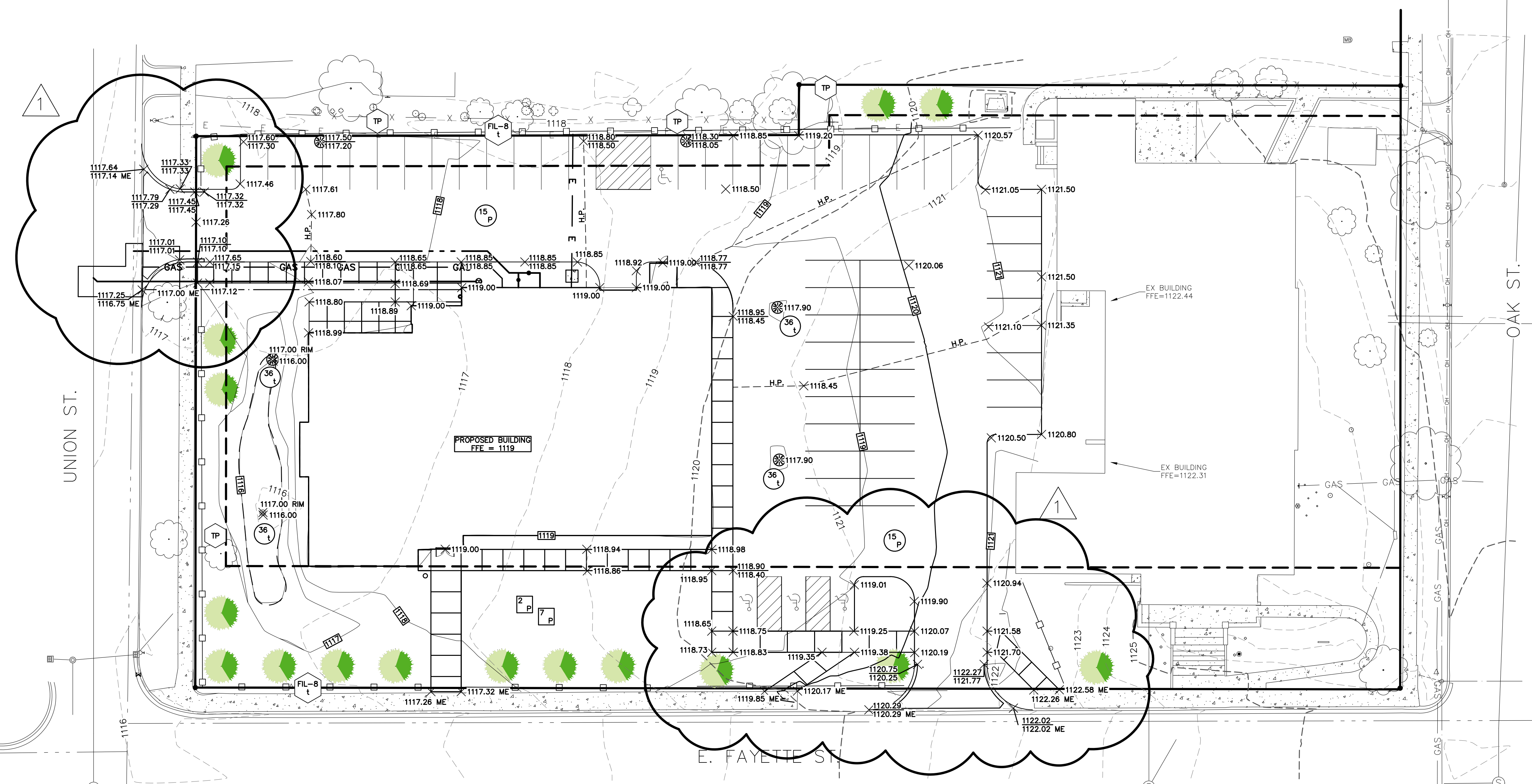
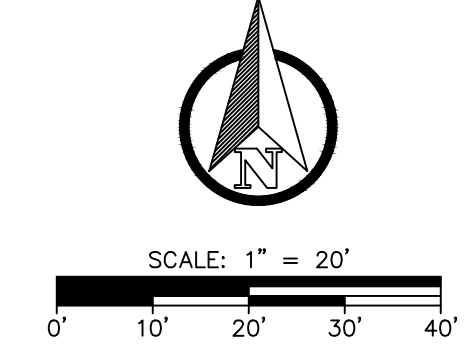
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 DAN LEWIS, P.E.
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- CONTROL MEASURE KEY**
- 2 P** SELECTIVE GRADING & SHAPING, PERMANENT
 - 7 P** HYDROSEEDING, PERMANENT. TYPICAL IN ALL NON-PAVED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES
 - 14 t** AGGREGATE COVER, TEMPORARY. TYPICAL ON ALL STREETS DISTURBED BY CONSTRUCTION ACTIVITIES
 - 15 P** PAVING, PERMANENT, TYPICAL ON ALL STREETS DISTURBED BY CONSTRUCTION ACTIVITIES.
 - FL-2 t** SEDIMENT BASIN BMP EXHIBIT 2, SEDIMENT BASIN, TEMPORARY REQUIRED FOR DE-WATERING ACTIVITIES, SEVERE SLOPES, AND LARGE DISTURBED AREAS.
 - 36 t** SILTSACK, TEMPORARY. TYPICAL AT ALL CATCH BASINS WITHIN OR DISTURBED BY CONSTRUCTION ACTIVITIES
 - 45 t** CULVERT SEDIMENT TRAP. TEMPORARY. TYPICAL AT ALL STORM OUTLETS AND STREAMS DISTURBED BY CONSTRUCTION ACTIVITIES
 - FL-8 t** FILTER BMP EXHIBIT 8A, SILT FENCE, TEMPORARY. TYPICAL IN ALL AREAS, ESPECIALLY ADJACENT TO STREAMS, PONDS, ETC. AND ALONG PROJECT UNITS.
 - TP** TREE PROTECTION, INCLUDES TUNNELING UNDER TREES, TYPICAL FOR ALL TREES ENCOUNTERED UNLESS TREE REMOVAL IS DIRECTED BY THE ENGINEER.
 - GA** DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MIN. OF 12' WIDE, 6" DEEP, AND CONSIST OF 2"-4" AGGREGATE.

GENERAL SOIL EROSION MEASURES (APPLICABLE TO ENTIRE SITE)

- 2 P** SELECTIVE GRADING & SHAPING, PERMANENT
- 7 P** HYDROSEEDING, PERMANENT
- 14 t** AGGREGATE COVER, TEMPORARY
- 15 P** PAVING, PERMANENT
- FL-2 t** SEDIMENT BASIN BMP EXHIBIT 2, TEMPORARY
- 36 t** SILTSACK, TEMPORARY
- 45 t** CULVERT SEDIMENT TRAP, TEMPORARY
- FL-8 t** FILTER BMP EXHIBIT 8A, TEMPORARY
- TP** TREE PROTECTION

LEGEND

- 34 t** MICHIGAN UNIFIED KEYING SYSTEM (MUKS)
- t** BEST MANAGEMENT PRACTICE (BMP)
- t** TEMPORARY CONTROL MEASURE (DURING CONSTRUCTION AND UNTIL PERMANENT)
- P** PERMANENT CONTROL MEASURE

NOTE:
 SOIL EROSION AND SEDIMENTATION CONTROL MEASURES INDICATED ARE KNOWN OR ANTICIPATED CONTROL MEASURES NEEDED DURING TYPICAL CONSTRUCTION ACTIVITIES. ADDITIONAL CONTROL MEASURES MAY BE REQUIRED DUE TO CONSTRUCTION ACTIVITY, LOCATION, SOIL TYPE, WEATHER EVENT, ETC. ALL ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.

- GRADING PLAN NOTES:**
- 1) SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
 - 2) REMOVE ALL SUBGRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
 - 3) ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MOIST-MODED. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM GLE IF APPLICABLE, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS IF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUESTED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTORS RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
 - 4) AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
 - 5) ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
 - 6) GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSE WHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
 - 7) CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ON ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
 - 8) ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 20 DAYS OR LONGER MUST BE SEEDDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
 - 9) ALL SOIL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO THE START OF ANY GRADING.
 - 10) ALL NON PAVED AREAS TO BE TOPSOILED (6" MIN.) & SEEDDED
 - 11) VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNSUITABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
 - 12) DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR A MOTORIZED DUST-FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND ADHERE TO ALL ORDINANCES OF THE TOWNSHIP, COUNTY, MDEQ OR ANY OTHER GOVERNMENT AGENCY.
 - 13) IF MULCH, SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
 - 14) STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
 - 15) CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE SOIL EROSIONS AND SEDIMENT CONTROL PERMIT.
 - 16) PLACE TEMPORARY EROSION CONTROL MEASURES PRIOR TO EARTH MOVING ACTIVITIES.
 - 17) MULCH BLANKETS SHALL BE PLACED, STAPLED, AND OVERLAPPED ON ALL SLOPES THAT ARE 1:1 OR GREATER AFTER.
 - 18) CONTRACTOR TO INSTALL SILT SACK IN ALL CATCH BASINS ONCE THEY ARE CONSTRUCTED.
 - 19) ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY A CERTIFIED STORM WATER OPERATOR AND MAINTAINED BY CONTRACTOR EVERY 7 DAYS AND AFTER EVERY SIGNIFICANT RAIN EVENT IN ACCORDANCE WITH MDEQ PERMIT BY RULE REQUIREMENTS IF APPLICABLE.
 - 20) EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED.
 - 21) BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SILT FENCING, SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.

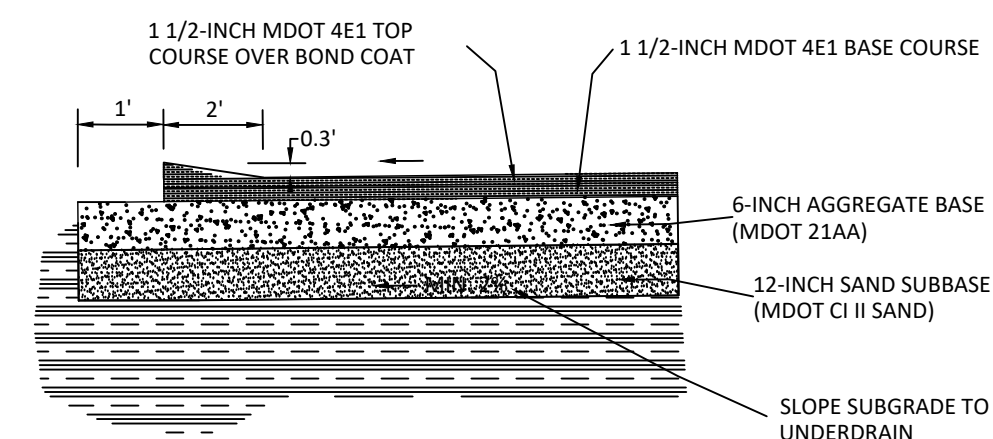


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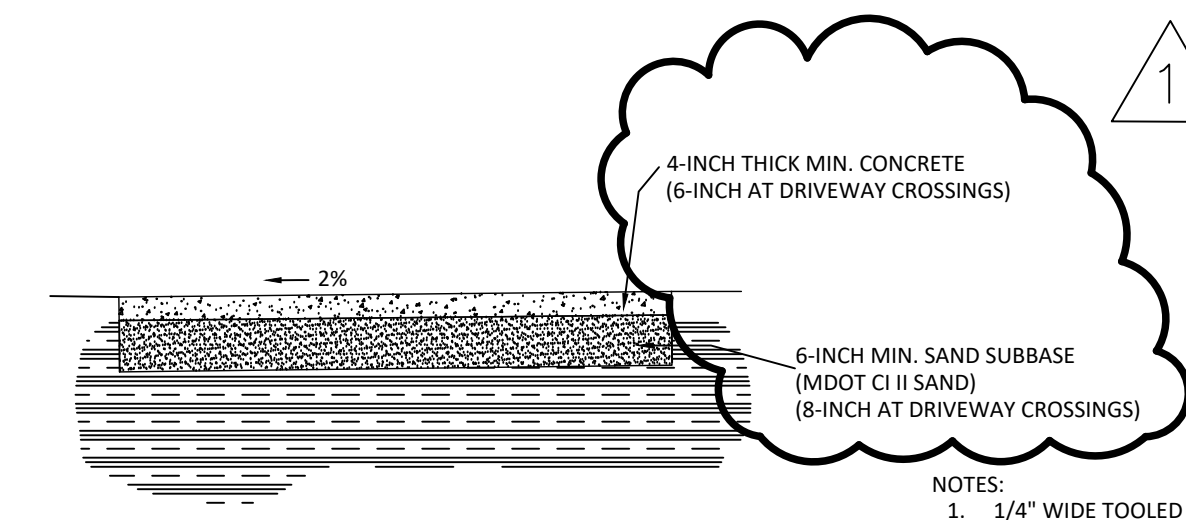
CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.03.2023

REVISIONS		
NO.	DATE	DESCRIPTION
1	05/09/2023	REVISION 1

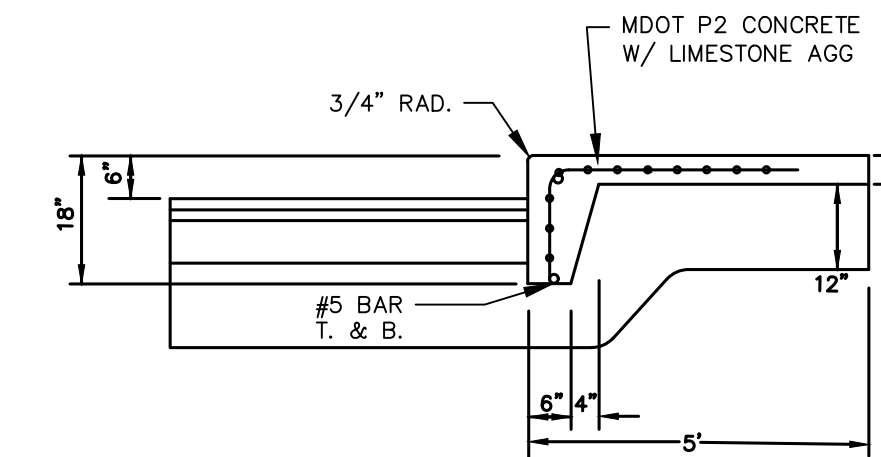


LIGHT DUTY PAVEMENT DETAIL
 NOT TO SCALE

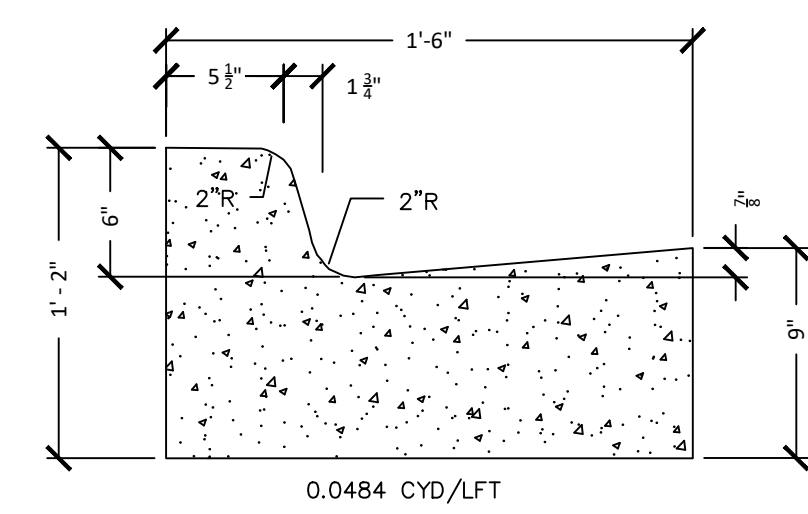


CONCRETE SIDEWALK DETAIL
 NOT TO SCALE

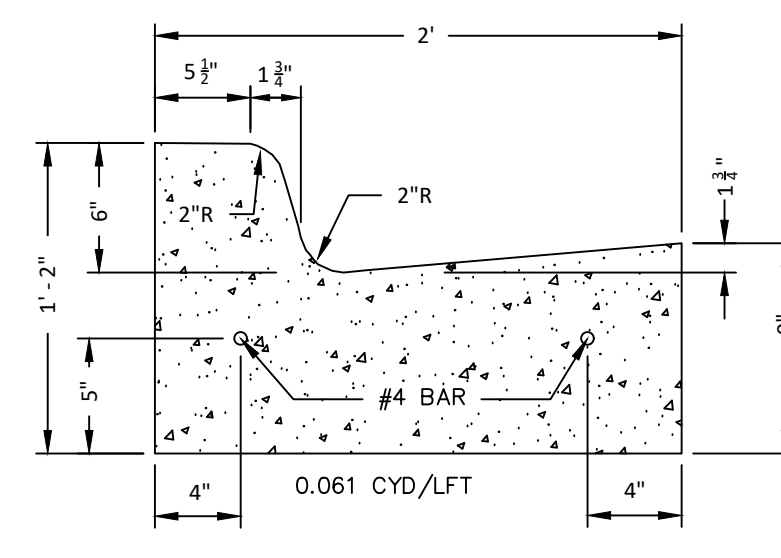
- NOTES:
- 1/4" WIDE TOOLED CONTRACTION JOINTS TO 1" DEPTH AT 5 FOOT INTERVALS.
 - WHERE SIDEWALK IS PLACED ADJACENT TO CURB AND GUTTER, CONTRACTION JOINTS SHALL LINE UP WITH CURB AND GUTTER JOINTS.
 - ISOLATION JOINTS WHERE PAVEMENT ABUTS PROPOSED STRUCTURES OR OTHER PAVEMENTS.



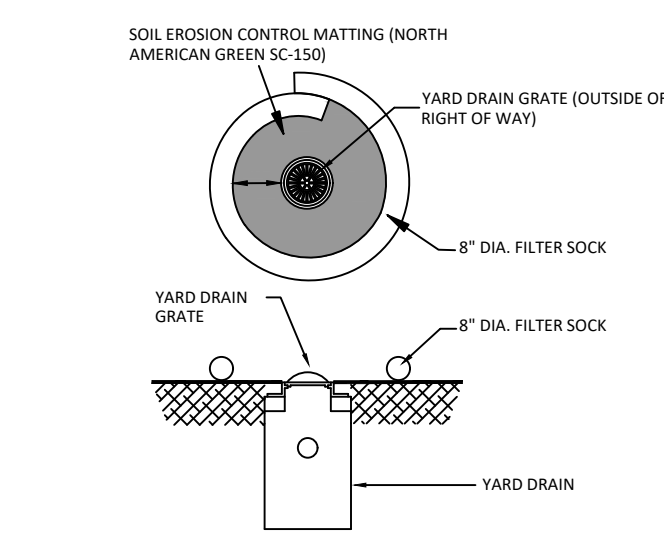
CONCRETE TURNDOWN EDGE DETAIL FOR ALL RAISED CONCRETE ADJACENT TO DRIVE AREA
 NOT TO SCALE



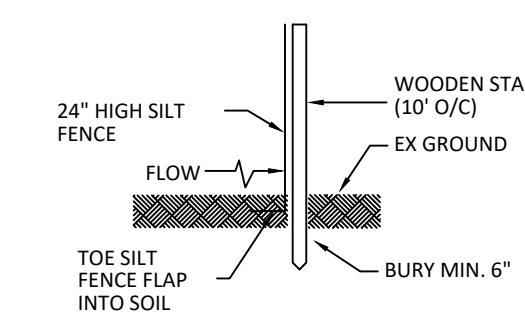
18" CONCRETE CURB & GUTTER
 NOT TO SCALE



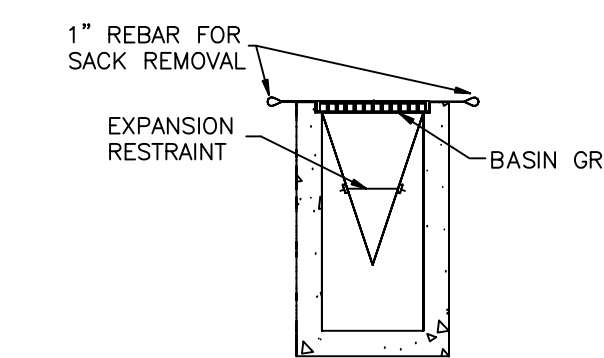
MDOT DETAIL F4 CONCRETE CURB & GUTTER
 NOT TO SCALE



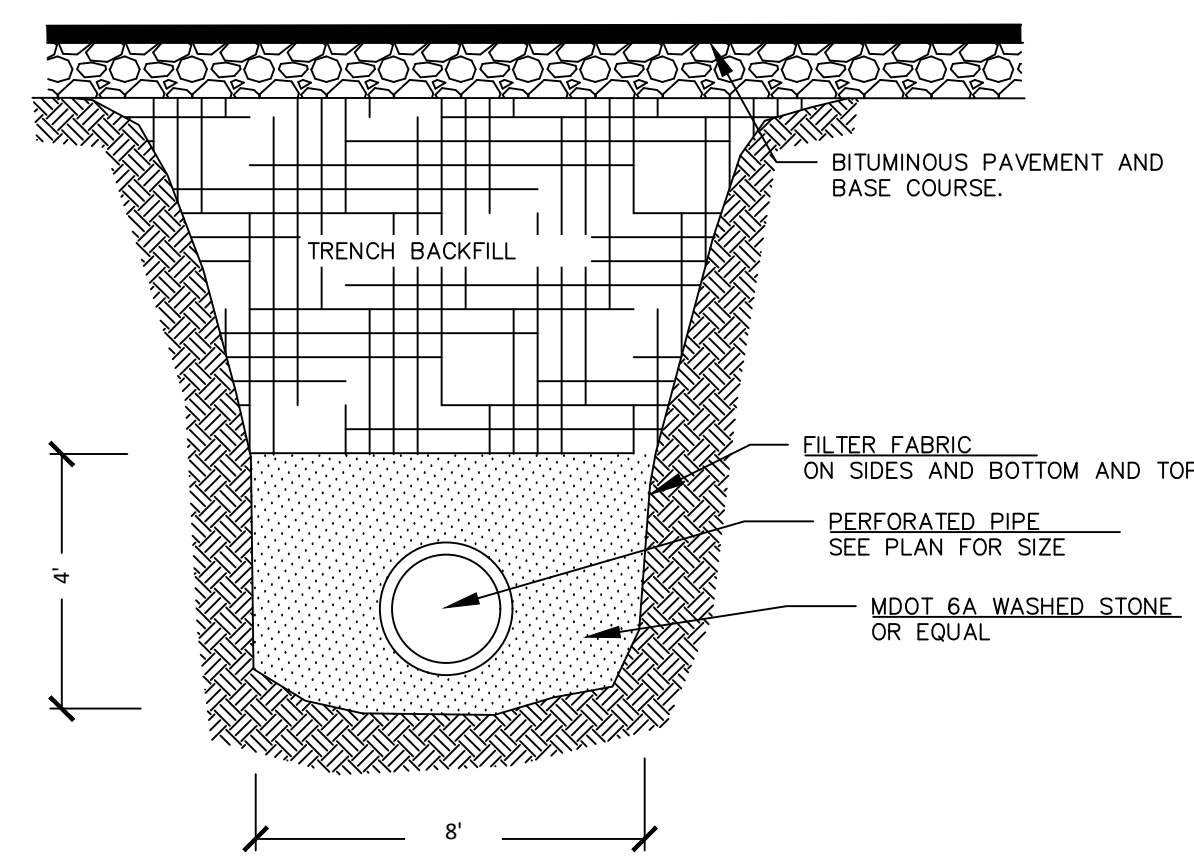
INLET PROTECTION DETAIL
 NOT TO SCALE



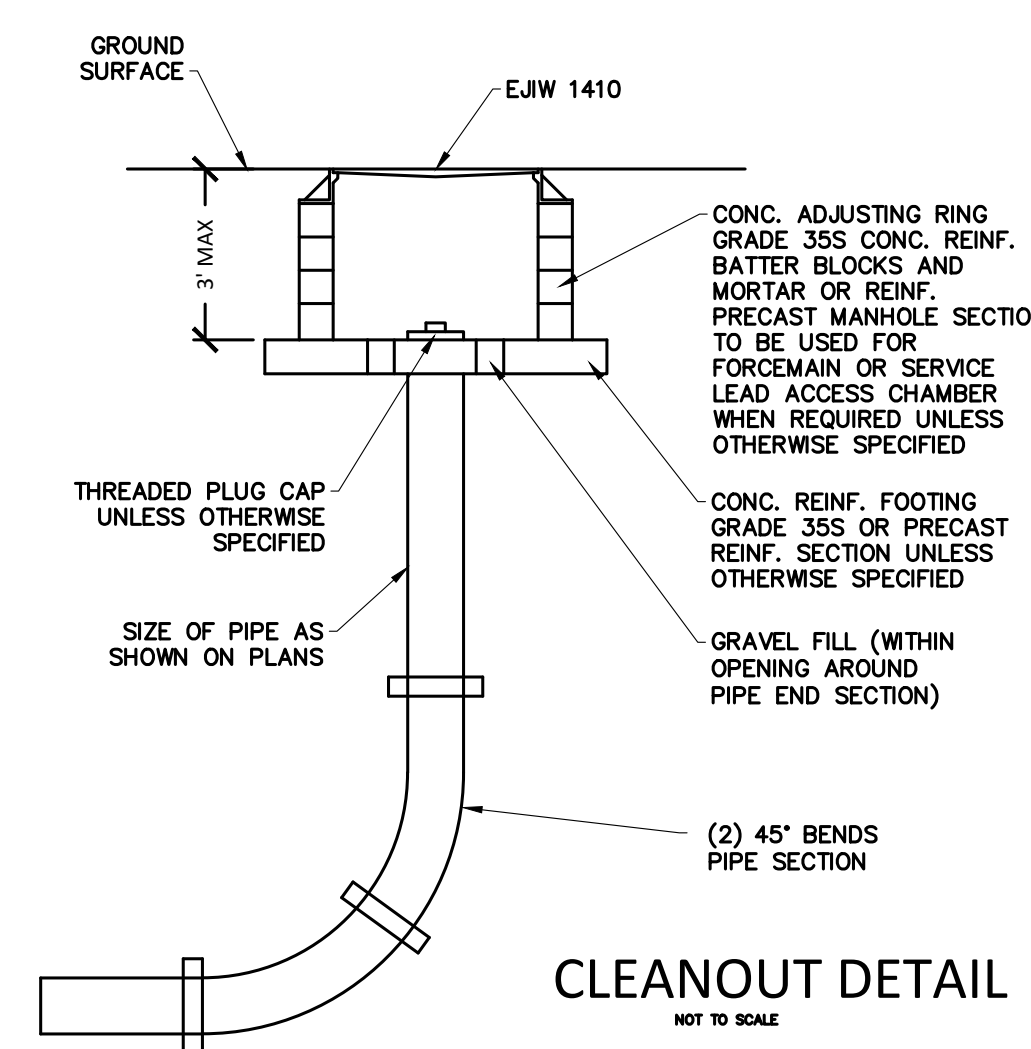
SILT FENCE DETAIL
 NOT TO SCALE



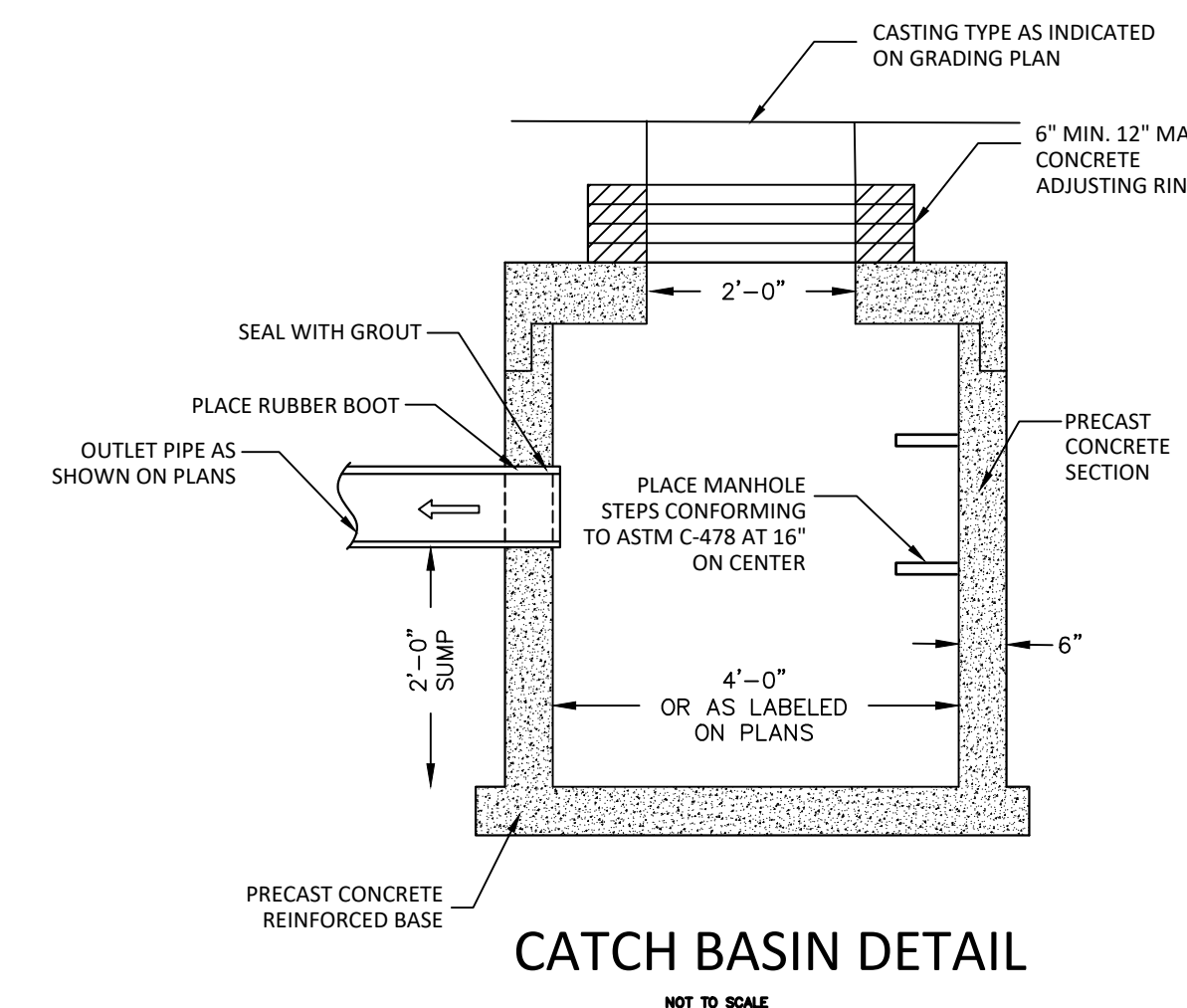
SILT SACK DETAIL
 NOT TO SCALE



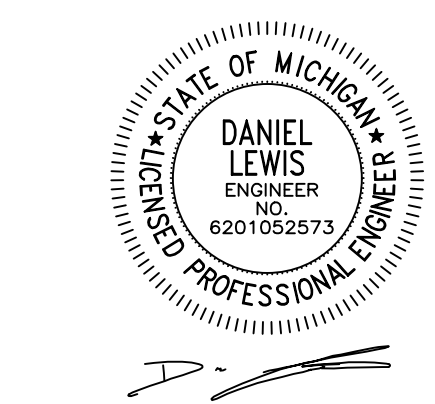
PERFORATED STORM TRENCH
 NOT TO SCALE



CLEANOUT DETAIL
 NOT TO SCALE



CATCH BASIN DETAIL
 NOT TO SCALE



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CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.03.2023

REVISIONS		
NO.	DATE	DESCRIPTION
1	05/09/2023	REVISION 1

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BID/PRICING SET		
ISSUE DATE: 01/06/2023		
REVISIONS		
NO.	DATE	DESCRIPTION

EXTERIOR ELEVATIONS

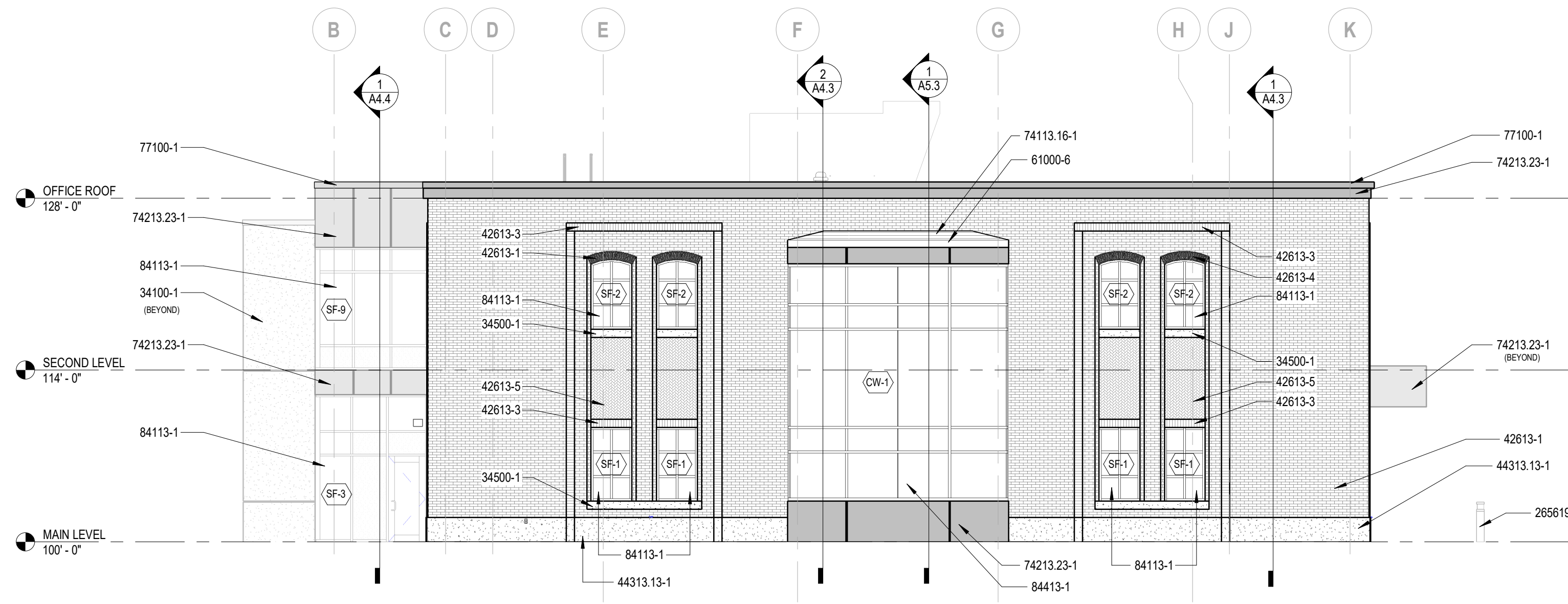
A4.1

EXTERIOR ELEVATION KEYNOTES

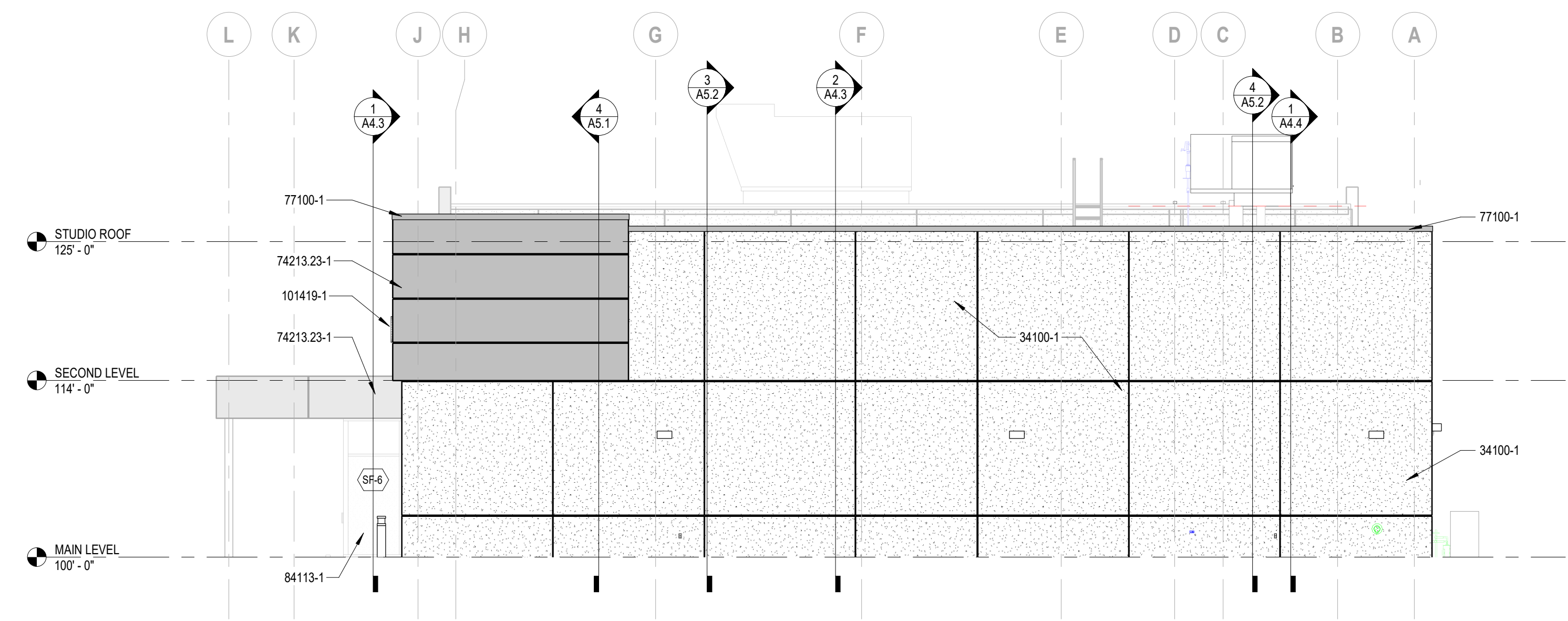
08 36 00	PRECAST STRUCTURAL CONCRETE WALL PANEL, 4" MIN. CONTINUOUS INSULATION, SEE STRUCTURAL.
34500-1	PRECAST WATERTABLE PROFILE WITH INTEGRAL DRIP.
42613-1	FACE BRICK VENEER, MODULAR, RUNNING BOND, SECURED WITH ADJUSTABLE ANCHORS TO SUPPORTING SUBSTRATE @ 32" O.C. EACH WAY. OFFSET 16" VERTICALLY. FASTEN THROUGH TO BACKUP STRUCTURE.
42613-3	FACE BRICK VENEER, MODULAR, SOLDIER COURSE SECURED AS NOTED IN 42613-1 ABOVE.
42613-4	FACE BRICK VENEER, MODULAR, ARCHED SOLDIER COURSE SECURED AS NOTED IN 42613-1 ABOVE. SEE ELEVATIONS FOR RADIUS.
42613-5	FACE BRICK VENEER, MODULAR, HERRINGBONE COURSE SECURED AS NOTED IN 42613-1 ABOVE.
44313.13-1	4" THICK SMOOTH FACED STONE VENEER, WITH 12"x24" FACES. UNITS TO BE ANCHORED WITH WIRE TIES @ EACH COURSE VERTICALLY. BASIS OF DESIGN "REMANISANCE" BY ARRISCRAFT.
55000-3	FABRICATED STEEL LADDER, TO CONFORM TO OSHA FOR CONSTRUCTION & SAFETY. SEE SPECIFICATIONS.
61000-6	2X WOOD FASCIA BOARD, WRAPPED WITH PREFINISHED METAL FASCIA TRIM.
74113.16-1	PREFINISHED STANDING SEAM METAL ROOF SYSTEM ON MFR. APPROVED SLIP MEMBRANE SYSTEM.
74213.23-1	PREFINISHED METAL COMPOSITE WALL PANEL SYSTEM EQUAL TO CITADEL ENVELOPE 2000 RS. COLOR TBD BY ARCHITECT.
77100-1	PREFINISHED METAL COPING SYSTEM, SINGLE SLOPE. SNAP-ON OVER METAL CLEAT SECURED TO SUBSTRATE, INCLUDING EXPANSION CLOSURE AT EACH JOINT. REFER TO "SMACNA DETAIL 3.4 SERIES."
81113-3	HOLLOW METAL DOOR, INSULATED. SEE SCHEDULE.
84113-1	THERMALLY BROKEN ALUMINUM WINDOW SYSTEM, BASIS OF DESIGN - "KAWNEER 1800 WALL SYSTEM". SEE FRAME ELEVATIONS FOR GLASS TYPES.
84413-1	THERMALLY BROKEN ALUMINUM CURTAINWALL SYSTEM, BASIS OF DESIGN - "KAWNEER 1800 WALL SYSTEM". SEE FRAME ELEVATIONS FOR GLASS TYPES.
101419-1	DIMENSIONAL METAL SIGNAGE, COORDINATE FINAL GRAPHICS WITH OWNER.
265619-1	EXTERIOR BOLLARD LIGHTS, SEE ELECTRICAL PLANS.

ELEVATION GRAPHIC LEGEND

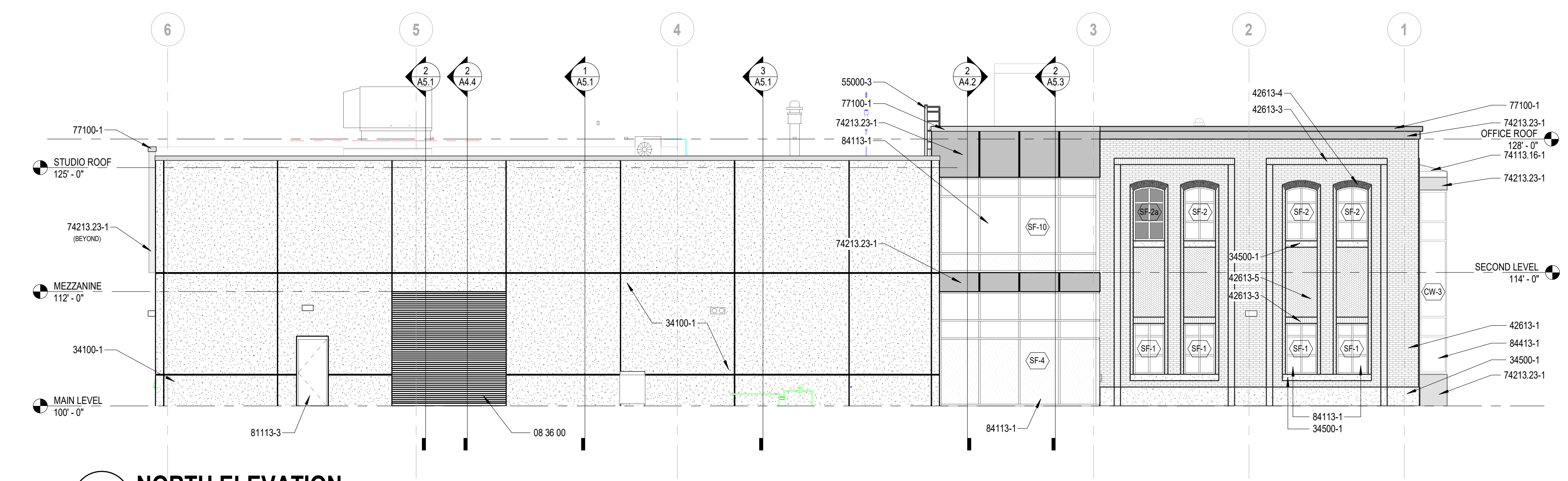
	MASONRY - BRICK VENEER
	PRECAST CONCRETE
	INSULATED CLEAR GLAZING
	INSULATED FULLY TEMPERED GLAZING
	ACM WALL PANEL



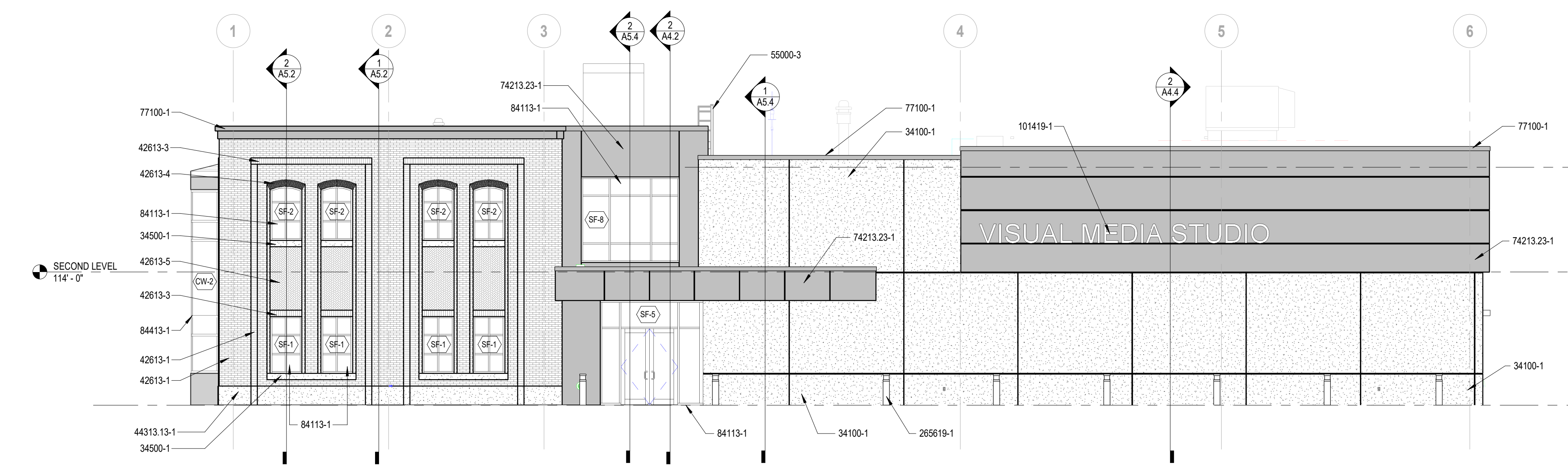
3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



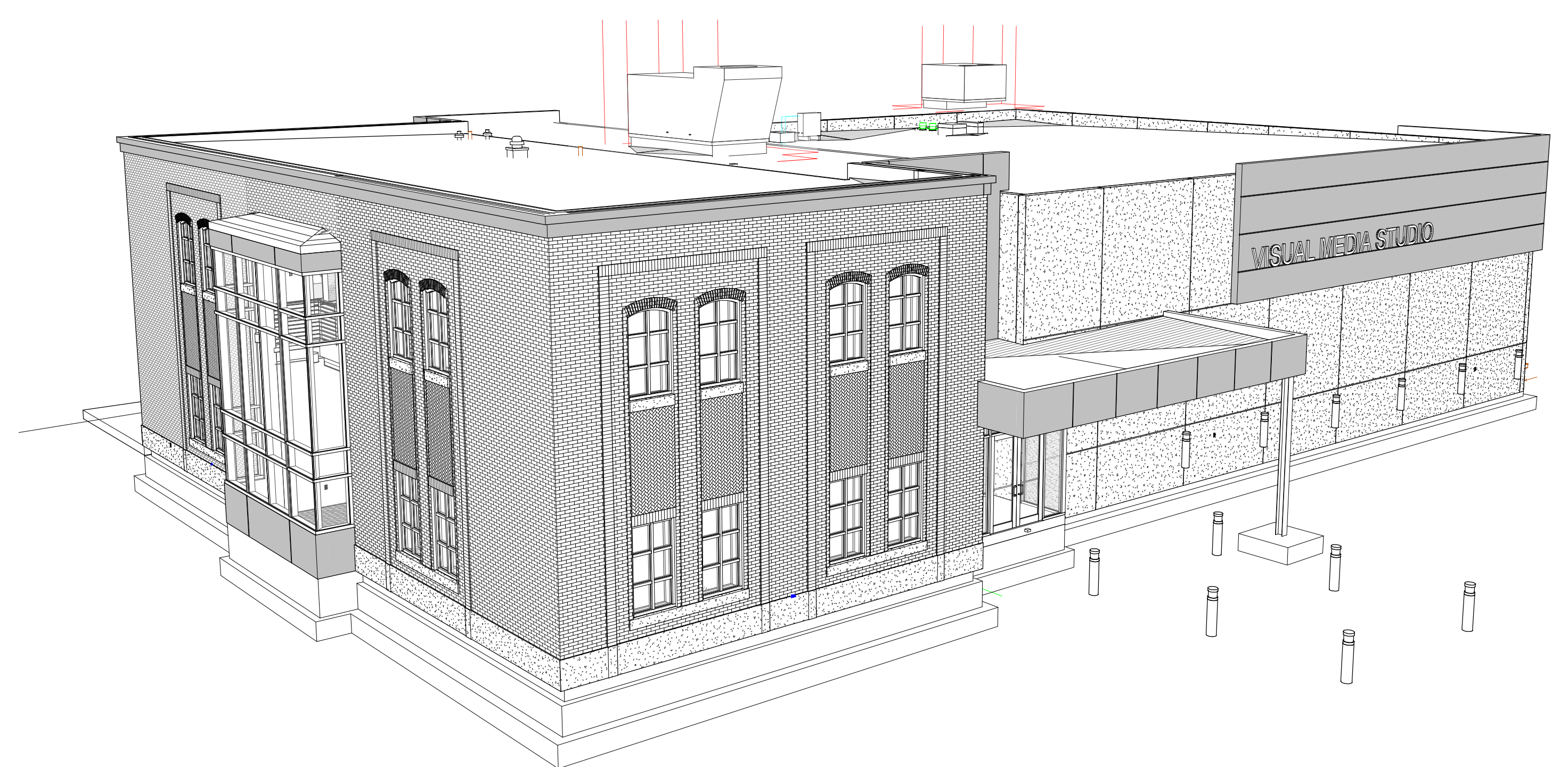
4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



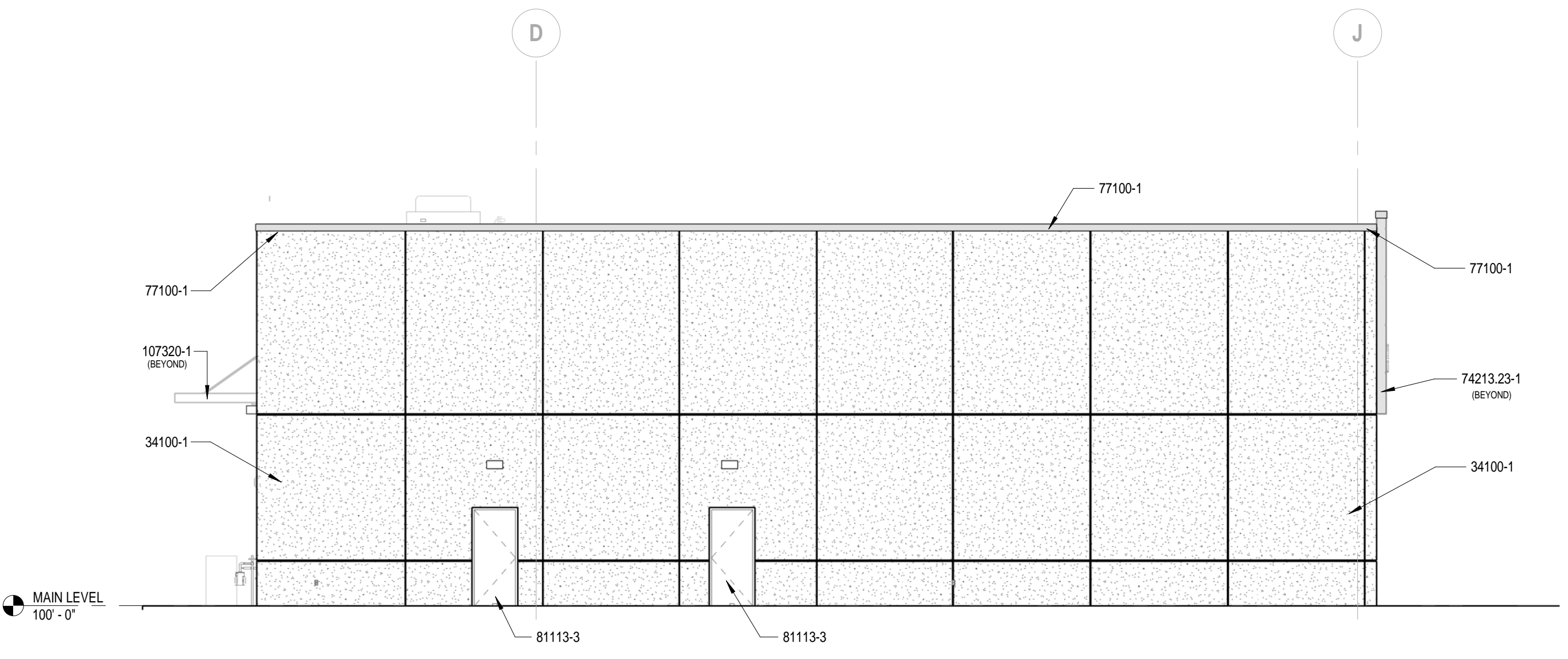
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



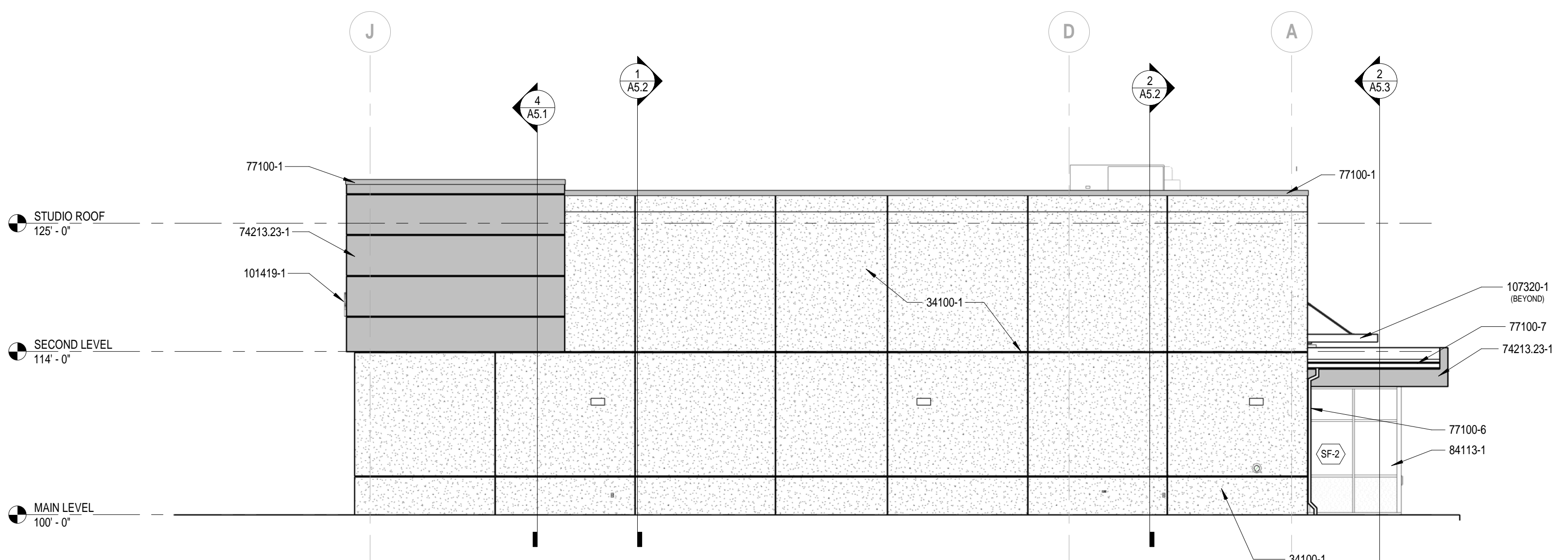
3D VIEW - SOUTH EAST CORNER

11/2/2023 3:01:50 PM

EXTERIOR ELEVATION KEYNOTES	
34100-1	PRECAST STRUCTURAL CONCRETE WALL PANEL, 4" MIN. CONTINUOUS INSULATION. SEE STRUCTURAL.
74213.23-1	PREFINISHED METAL COMPOSITE WALL PANEL SYSTEM EQUAL TO CITADEL ENVELOPE 2000 RS. COLOR TBD BY ARCHITECT.
77100-1	PREFINISHED METAL COPING SYSTEM, SINGLE SLOPE. SNAP-ON OVER METAL CLEAR SECURED TO SUBSTRATE, INCLUDING EXPANSION CLOSURE AT EACH JOINT. REFER TO 'SMACNA DETAIL 3.4 SERIES.
77100-6	PREFINISHED METAL DOWNSPOUT SECURED TO BUILDING WITH MATCHING BRACKETS AT 8'-0" O.C. MIN. SIZE AS SHOWN.
77100-7	PREFINISHED EXTERIOR HUNG METAL GUTTER W/ SUPPORT BRACKETS & ACCESSORIES. SLOPE 1/8" MIN. TO DOWNSPOUT LOCATION(S). SIZE AS NOTED.
81113-3	HOLLOW METAL DOOR, INSULATED. SEE SCHEDULE.
83326-5	OVERHEAD MOTOR OPERATED COILING DOOR, WALL MOUNTED WITH HOOD. PROVIDE MANUFACTURER'S STANDARD DETAILS FOR HEAD AND JAMB CONDITIONS.
84113-1	THERMALLY BROKEN ALUMINUM WINDOW SYSTEM, BASIS OF DESIGN - 'X'AWNEER TRIFAB 451.1 SYSTEM.
101419-1	DIMENSIONAL METAL SIGNAGE, COORDINATE FINAL GRAPHICS WITH OWNER.
107320-1	PREFINISHED METAL CANOPY WITH HANGER RODS. EQUAL TO MAPES ARCHITECTURAL CANOPIES LUMISHADE. PROVIDE WITH 10" 'C' CHANNEL FASCIA AND INTERNAL GUTTER. PROVIDE THROUGH BOLT CONNECTION FOR HANGER ROD AND CANOPY CONNECTION. PER MANUFACTURE STANDARD DETAILS. COLOR AS SELECTED BY ARCHITECT.

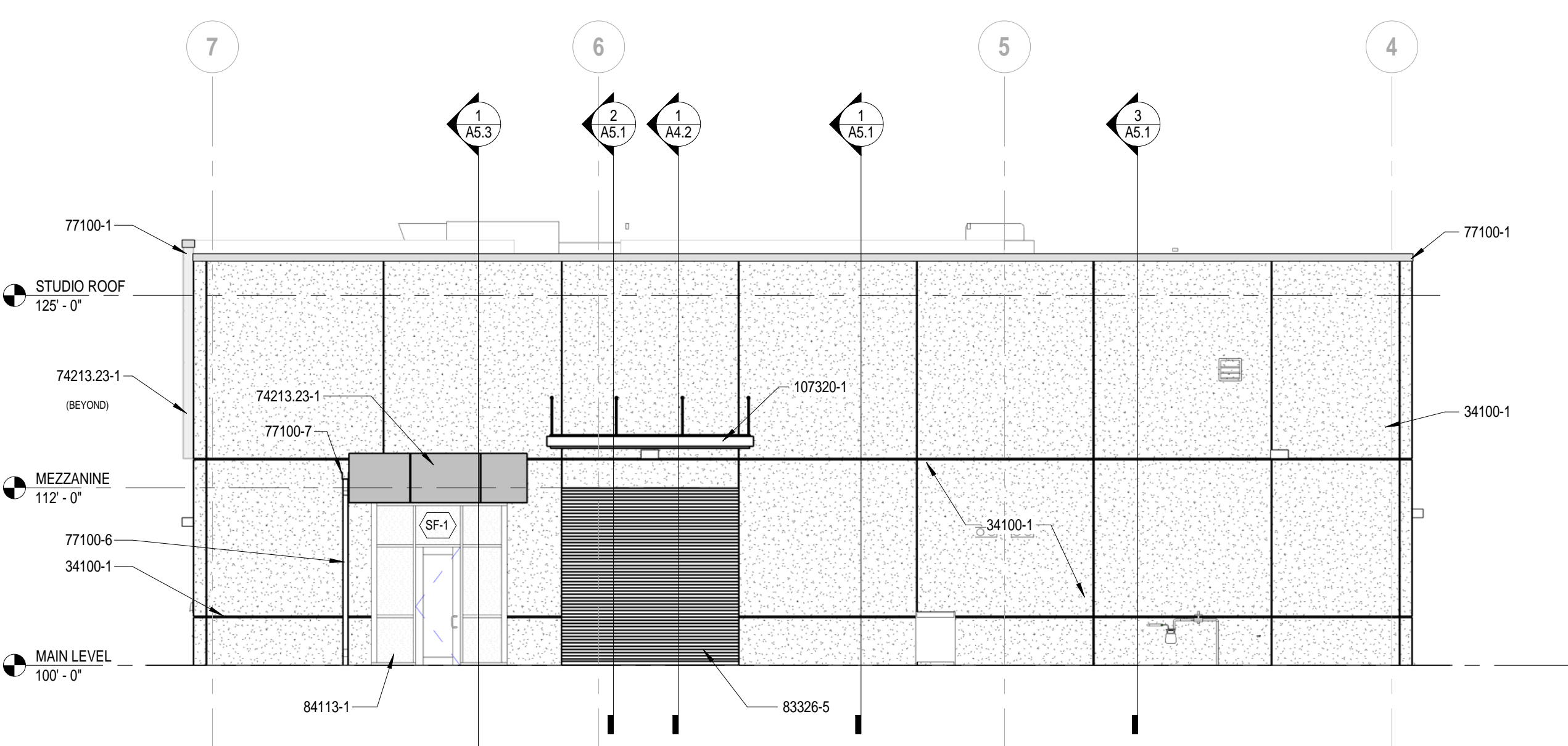


3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

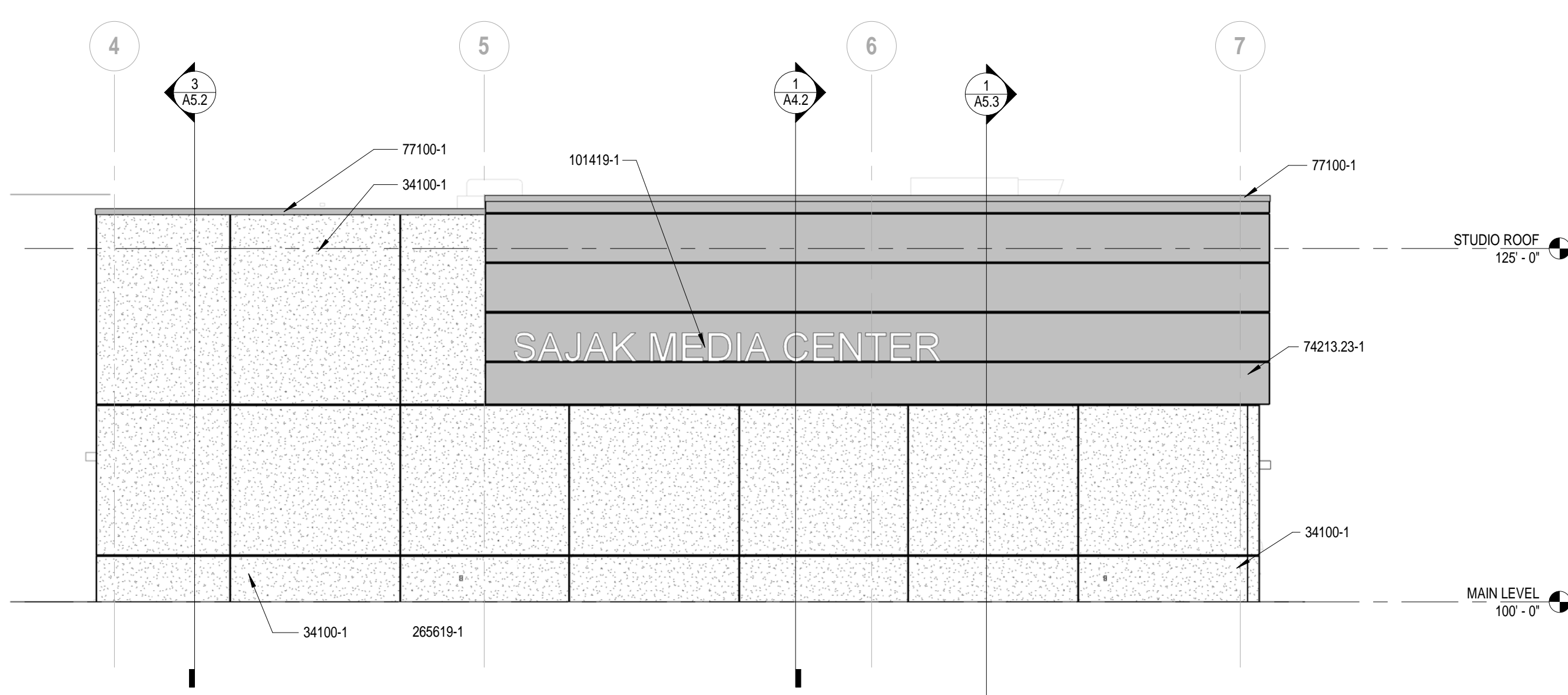


4 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

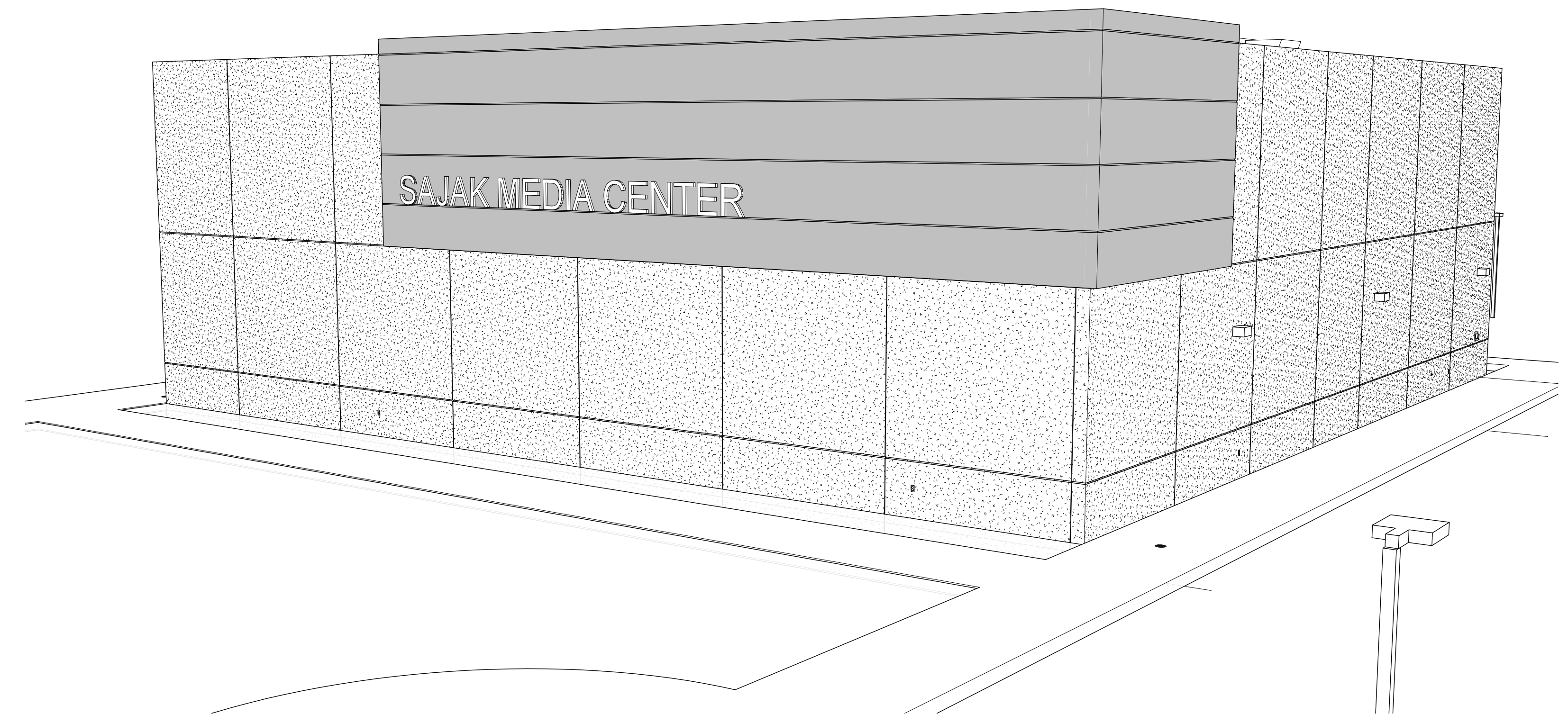
ELEVATION GRAPHIC LEGEND	
	PRECAST CONCRETE
	INSULATED CLEAR GLAZING
	INSULATED FULLY TEMPERED GLAZING
	ACM WALL PANEL



2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



3D VIEW - SE PERSPECTIVE
 SCALE:

9/31/2023 10:57:46 AM



TO: Planning Commission

FROM: Zoning Administrator

DATE: May 17, 2023

RE: Hillsdale College Classic Education Building Site Plan Review

Background: Hillsdale College is proposing the construction of a new educational building on the Quad. The building will be located at 248 Hillsdale St. on the west side of the quad located east of the Searle between Central Hall and the Chapel buildings. The project includes a two story structure and site improvements. City Department heads and project designers met on April 19, 2023 to discuss the project. All revisions have been completed except sanitary. 90% completed drawings are submitted for Planning Commission review. The College and City are requesting that approvals be contingent on resolution of sanitary flow requirements prior to any permits are issued.

April 19, 2023

Plans for the proposed Classical Education Building for Hillsdale College located at 248 Hillsdale St. were reviewed by the City Dept. Heads on April 19, 2023. Their comments are as follows:

Present: Kristin Bauer (City Engineer), Chief Scott Hephner (Police Department), Jason Blake (Dept. of Public Services), Alan Beeker (Planning & Zoning), Jake Hammel (Board of Public Utilities), Jeff Geir (Board of Public Utilities), Randy Borders (Board of Public Utilities), Matt Taylor (Project Engineer), David Billington (Hillsdale College), Mike Fowler (Hillsdale College).

City Engineer

- Verify CB 18, 19 & 22 are 15" RCP.
- Key notes need to be reviewed and corrected.
- Storm Schedule
 - Call out sheet number referenced.
- Suggested reroute of storm not to avoid future library building expansion. (CB 24 thru 26)
- Revise detail of underground detention chamber.

Public Services

- Requested that a traffic control plan be submitted showing construction entrance and new pedestrian traffic paths.
- College will utilize property at corner of Galloway and West streets for construction material storage and staging.
- City requesting that the existing stone retaining wall at Hillsdale St. be abandoned as stones begin to fall out.

Public Safety

- Requested that the FDC be 2 ½".

Board of Public Utilities

- Electrical:
 - Requested electrical plans from architect to verify load amounts
 - Verified that the new building would be fed from existing Central Hall transformer
 - Verified there would not need to be a new transformer as lead order times still long.
 - Matt Taylor to send updated drawings.
 - Asked for crane route through town to be established early in project timeline.
- Water
 - No issues.
- Sanitary
 - Existing lift station on Barber Dr. will not handle additional flows. Suggested connecting to MH on Hillsdale St.
 - Matt indicated that the plans submitted to the City had been revised.
 - Requested revised drawings to review.

Planning/Zoning

- Requested updated drawings. Most of the issues during the meeting could have been resolved or been non-existent if the City had been sent revised drawings.

Final drawings with all department approved revisions must be received by the Planning Dept. no later than May 10, 2023. The Planning Commission will review the drawings for final approval at the regular meeting which will be held on May 17, 2023 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 3rd Floor Council Chambers.

Existing Storm Structure Schedule

Table listing storm structure details including catch basins (CB 1-30), storm manholes (STMH 2-25), and structures (S1-S8) with their respective elevations and materials.

Existing Sanitary Structure Schedule

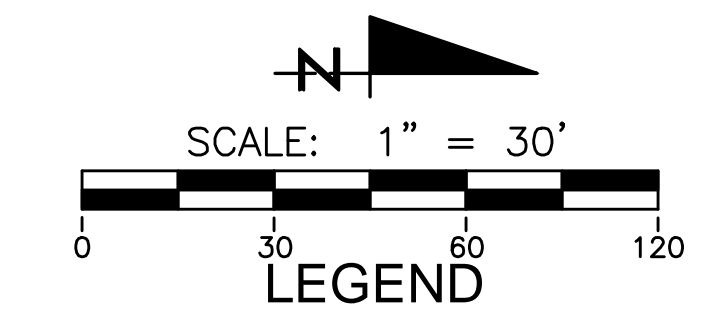
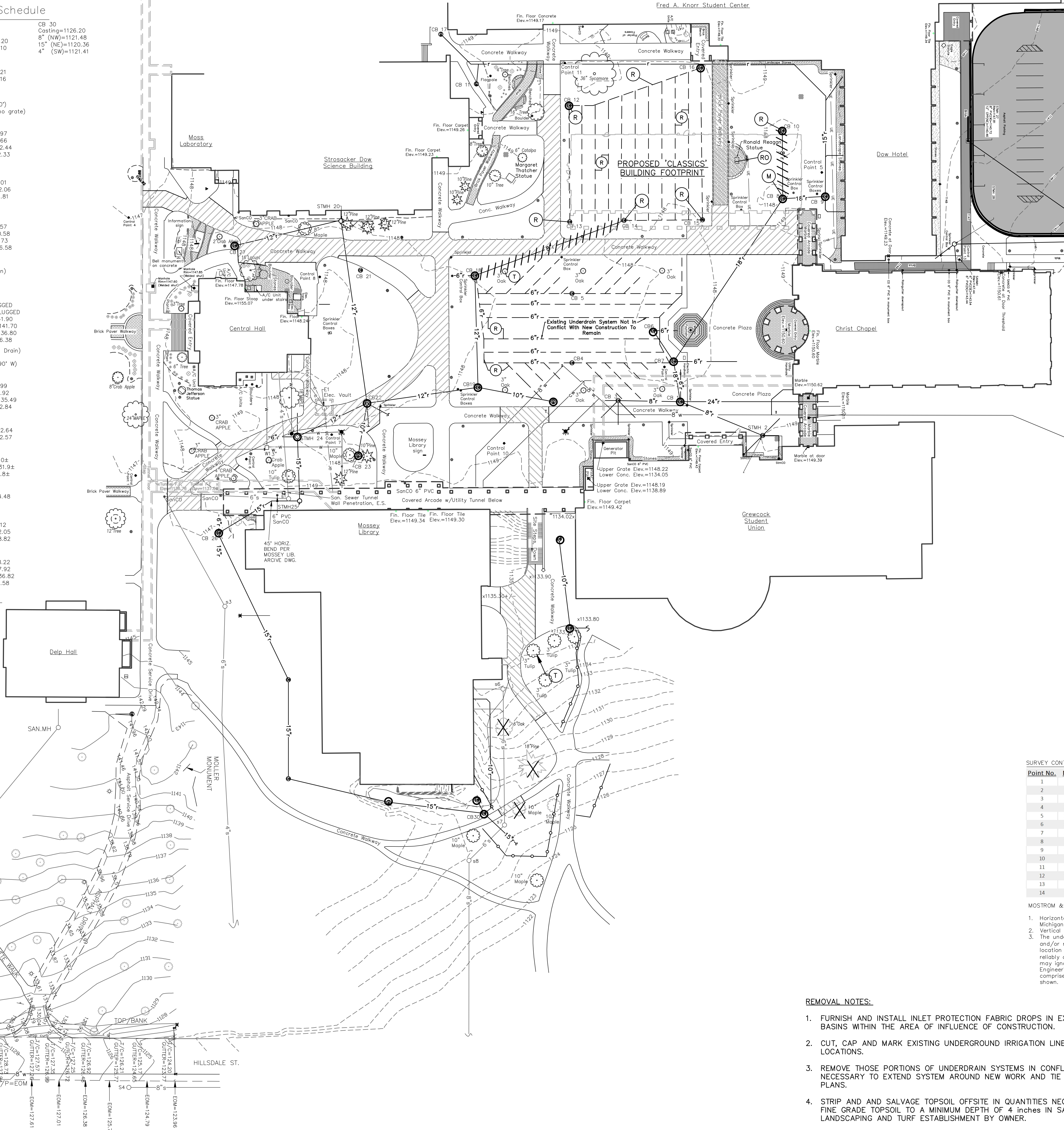
Table listing sanitary structure details including manholes (s1-s8) with their respective elevations and materials.

Existing Water Structure Schedule

Table listing water structure details including waterline meter access hatch (W1) with its elevation.

Existing Elec. Structure Schedule

Table listing electrical structure details including electric vault (E1) with its elevation.



- Legend for symbols: EXISTING TREE (DECIDUOUS), EXISTING TREE (CONIFEROUS), EXISTING MANHOLE, EXISTING CATCH BASIN, EXISTING GAS METER, EXISTING CURB INLET, EXISTING SIGN, EXISTING ELECTRIC, EXISTING TELEPHONE RISER, EXISTING WATER VALVE, EXISTING FIRE HYDRANT, SOIL BORING LOCATION, EXISTING FLAG POLE, EXISTING GAS VALVE, EXISTING SPOT ELEVATION, EXISTING POWER POLE, EXISTING LIGHT POLE, EXISTING GUY WIRE ANCHOR, EXISTING STORM SEWER, EXISTING SANITARY SEWER, EXISTING WATER MAIN, EXISTING NATURAL GAS, EXISTING OVERHEAD ELECTRIC, EXISTING UNDERGROUND ELECTRIC, EXISTING CURB & GUTTER OR GUTTER PAN, EXISTING UTILITY TUNNEL BELOW, STRUCTURE WITH PROPOSED S.E.C. INLET FILTER, S.E.C. SILT FENCE, U.G. SEWER REMOVAL, SANITARY SEWER REMOVAL, WATER MAIN REMOVAL, CURB & GUTTER REM, HMA PAVEMENT REMOVAL, CONC PAVT AND SIDEWALK REMOVAL, REMOVE & SALVAGE BRICK PAVERS, TREE REMOVAL, TRANSPLANT BY OWNER, STRUCTURE OR ITEM REMOVAL, ITEM REMOVED BY OWNER, RELOCATE, MODIFY.

SURVEY CONTROL POINT TABLE with columns: Point No., Northing, Easting, Elevation, Description. Lists 14 control points with their coordinates and descriptions.

MOSTROM & ASSOCIATES, INC. SURVEYOR'S NOTES: 1. Horizontal datum is based on the State Plane Coordinate System - Michigan South Zone. 2. Vertical datum is based on NAVD88. 3. The underground utilities shown are based on marked locations in the field and/or maps provided to this office. However, locking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, some utility companies and/or municipalities may ignore 811 utility locate requests. Mostrom & Assoc., Inc & MT Engineering, LLC, makes no guarantees that the underground utilities shown comprise all that are located on the site, or that they are in the locations shown.

- REMOVAL NOTES: 1. FURNISH AND INSTALL INLET PROTECTION FABRIC DROPS IN EXISTING CATCH BASINS TO REMAIN AND IN PROPOSED CATCH BASINS WITHIN THE AREA OF INFLUENCE OF CONSTRUCTION. 2. CUT, CAP AND MARK EXISTING UNDERGROUND IRRIGATION LINES WHERE ENCOUNTERED. NOTIFY OWNER OF CAPPED LOCATIONS. 3. REMOVE THOSE PORTIONS OF UNDERDRAIN SYSTEMS IN CONFLICT WITH NEW WORK. REWORK REMAINING SYSTEM AS NECESSARY TO EXTEND SYSTEM AROUND NEW WORK AND TIE INTO STORM SYSTEM WHERE SHOWN ON CONSTRUCTION PLANS. 4. STRIP AND AND SALVAGE TOPSOIL OFFSITE IN QUANTITIES NECESSARY FOR RESTORATION OF GREEN SPACES. PLACE AND FINE GRADE TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES IN SAID GREEN SPACES PRIOR TO PROJECT COMPLETION. LANDSCAPING AND TURF ESTABLISHMENT BY OWNER.

MCCRERY Architects logo and contact information: 900 Massachusetts Avenue, NE, Washington, District of Columbia 20002. TEL: 202.737.5444, FAX: 202.737.7377.

OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF MCCRERY ARCHITECTS, PLLC.

CONSULTANT: MTE Engineering, LLC. 143 LEIS STREET, PH: 517.437.4283, PO BOX 232, HILLSDALE, MI 49624, FX: 517.437.4344.

Classical Education Building AT HILLSDALE COLLEGE HILLSDALE, MICHIGAN

DRAWING TITLE:

SITE REMOVALS PLAN

NOT FOR CONSTRUCTION

DATE: MARCH 24, 2023

SCALE:

DRAWING #:

C-1

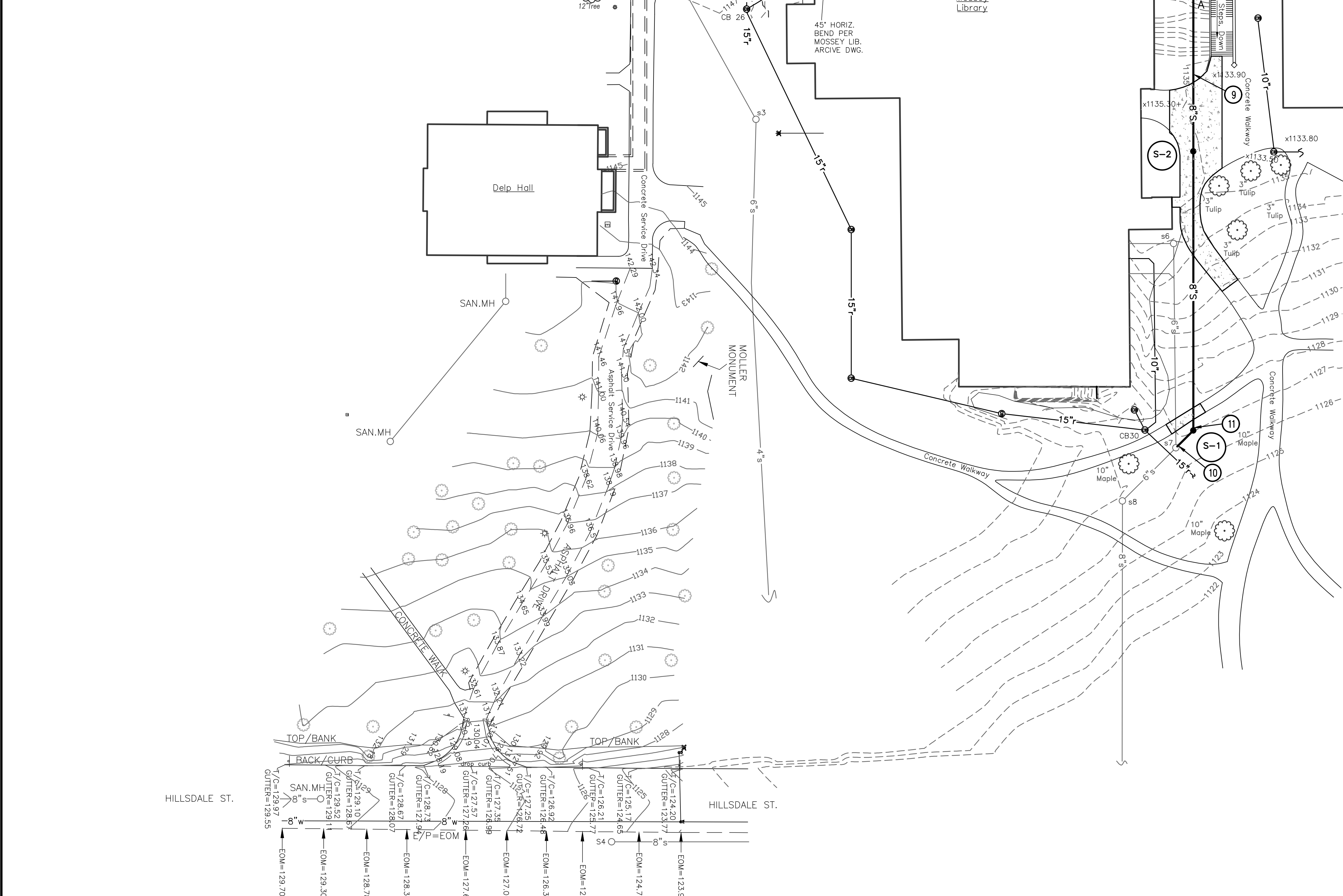
ISSUE: 50% CD

FILE: COPYRIGHT © 2023

Water Main			
Structure No.	Rim Elevation	Top of Pipe Elev. at Wall Penetration	Remarks
W-1	1144.67	1143.17	6" Gate Valve in Box
W-2	NA	1143.17	2" Copper Domestic Water Service With 2" Curb-Stop Valve
W-3	NA	NA	Building Mounted FDC, See Arch. & Mech Plans

Sanitary Sewer							
Structure No.	Structure Dia., ft	Structure Type	Rim Elevation	Invert Elev.	Invert Elev.	Structure Cover	Remarks
S-1	4	D	1126.70	1119.10 8" SE	1121.99 8" W	1040C	Construct west invert with internal drop connection and construct flow channel in bottom of structure. Pipe run from S-2 to S-3 to be installed in 24" steel carrier pipe. Carrier pipe to be installed below existing utility tunnel using trenchless methods. See section detail A-A.
S-2	4	E	1134.80	1124.78 8" E	1125.08 6" W	1040C	Construct west invert with internal drop connection and construct flow channel in bottom of structure. Pipe run from S-2 to S-3 to be installed in 24" steel carrier pipe. Carrier pipe to be installed below existing utility tunnel using trenchless methods. See section detail A-A.
S-3	4	E	1148.95	1126.88 6" E	1131.38 6" N	1040C	Construct west invert with internal drop connection and construct flow channel in bottom of structure. Pipe run from S-4 to S-5 to be installed in 24" steel carrier pipe. Carrier pipe to be installed below existing utility tunnel using trenchless methods. See section detail A-A.
S-4	4	E	1148.00	1132.87 6" S	1132.97 6" W	1040C	See mechanical plans for invert fwd. wall penetration horizontal and vertical location.
S-5	4	E	1147.85	1134.24	1134.34	1040C	

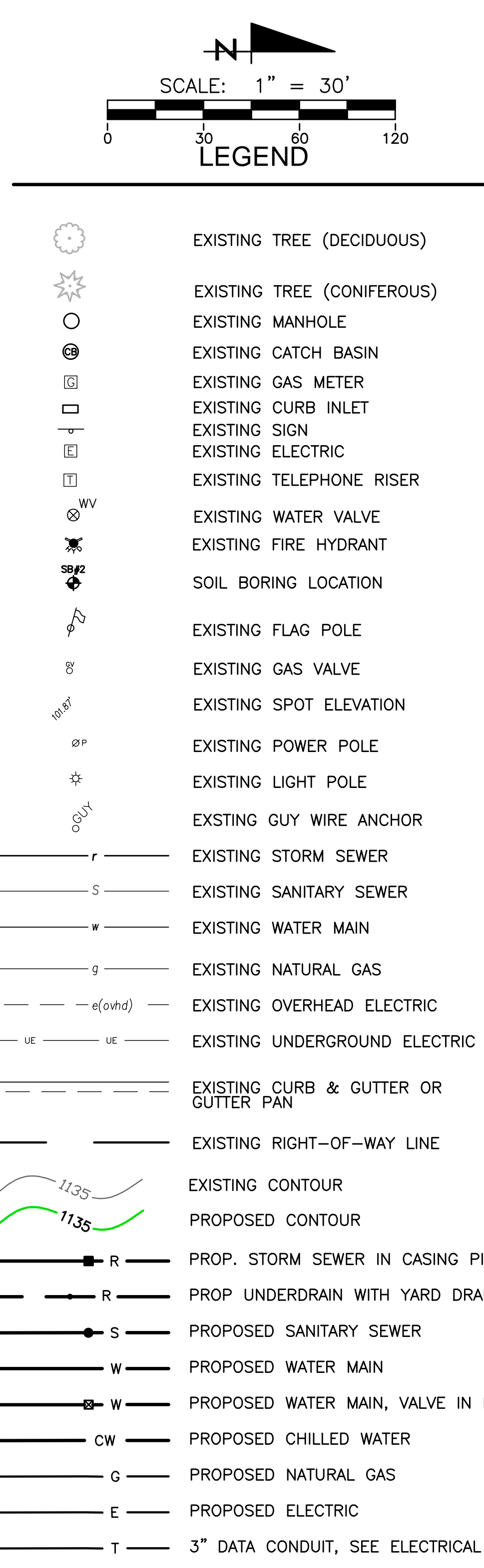
Storm Sewer Structure Schedule										
Structure No.	Structure Dia., ft	Structure Type	Rim Elevation	Invert Elev.	Invert Elev.	Invert Elev.	Invert Elev.	2 ft Sump	Structure Cover	Remarks
R-1	5	D	1148.28	1141.96 12" SE	1142.33 12" W	-	-	No	EJW	Control Structure w/Riser. See Detail Sheet, OUTLET CONTROL STRUCTURE, R-1.
R-1A	5	D	1148.26	1141.96 8" N	1142.06 15" W	1141.81 15" S	1142.16 12" NW	Yes	1581M1 & Reuse Exist. CB19 Cover	Replace existing 4" structure with 5" diameter structure as necessary to accommodate additional invert from R-1. See underground detention chamber notes and general layout provided on Sheet X.
R-2	NA	NA	NA	1142.50	-	-	-	NA	NA	See underground detention chamber notes and general layout provided on Sheet X.
R-3	4	D	1147.80	1142.60 12" SE	1142.60 12" N	1142.64 12" W	-	Yes	EJW 1040M2	Detention System Inlet Structure
R-4	4	D	1148.40	1143.23 12" SE	1143.33 12" N	1143.27 12" W	-	Yes	EJW 1040M2	
R-5	4	D	1148.40	1144.07 12" SE	1144.10 4" N	1144.17 10" NW	1148.00 4" W	Yes	EJW 1040M2	4" Underdrain Connection to the West
R-6	2	A	1148.10	1145.16 10" SE	1145.60 4" N	-	-	Yes	EJW 1040N	4" Underdrain Connection to the North
R-7	2	A	1148.50	1145.44 12" S	1145.54 8" NW	1145.75 6" NE	-	NA	EJW 1040M2	6" Downspout Connection to the Northeast
R-8	2	A	1148.10	1145.84 10" SE	1145.90 4" N	1145.90 4" S	-	Yes	EJW 1040N	4" Underdrain Connection to the North & South
R-9	2	A	1148.68	1144.67 10" S	1146.18 6" NW	-	-	Yes	EJW 1040M3	6" Downspout Connection to the Northwest



- ### CONSTRUCTION KEYNOTES
1. 8" x 8" TEE & 8" x 8" REDUCER AS PART OF PROPOSED WATER CONNECTION FOR NEW 6" SERVICE LEAD TO THE PROPOSED CLASSICS BUILDING. PROVIDE OWNER WITH A MINIMUM OF 72 HOURS ADVANCE NOTICE OF ANY POTENTIAL WATER SERVICE INTERRUPTIONS.
 2. PATCH & RECONNECT EXISTING UNDERDRAIN SYSTEM AS NECESSARY AS A RESULT OF WATER SERVICE TRENCHING.
 3. 6" WATER CROSSING 12" STORM SEWER, WATER TO TRAVEL BENEATH STORM PROVIDING 18" MIN. VERTICAL SEPARATION. FURNISH AND INSTALL 6" DIP VERTICAL BEND FITTINGS AS NECESSARY. RESTRAIN ALL JOINTS A MINIMUM OF 2 FULL PIPE LENGTHS IN EACH DIRECTION OF VERTICAL BENDS.
 - 3A. EXISTING 8" MUNICIPAL WATER MAIN DEPTH TO TOP OF PIPE ASSUMED TO BE STANDARD 5.0 FT, WHICH WILL CONFLICT WITH PROPOSED SANITARY SEWER. CONTRACTOR TO INCLUDE LINE ITEM COST FOR WORK NECESSARY TO INSTALL WATER MAIN VERTICAL BENDS TO ALLOW WATER MAIN TO TRAVEL BENEATH PROPOSED SANITARY WITH A MIN. VERTICAL SEPARATION OF 18". WORK SHALL INCLUDE COORDINATION WITH HILLSDALE BPU, TRAFFIC CONTROL TO CLOSE HILLSDALE STREET, ALL PAVEMENT REMOVAL, EXCAVATION, VERTICAL BEND FITTINGS, LENGTHS OF DIP PIPE TO INSTALL AND RESTRAIN ALL JOINTS 2 FULL PIPE LENGTHS FROM ALL VERTICAL BEND FITTINGS, PRESSURE TESTING, CHLORINATION, BACKFILL WITH CL1 MATERIAL, PAVEMENT PATCH PER TRENCH DETAIL B, PAVEMENT MARKINGS AS NECESSARY AND ALL INCIDENTAL ITEMS TO COMPLETE THE VERTICAL BEND INSTALLATION AND RESTORE HILLSDALE STREET TO CITY OF HILLSDALE STANDARDS.
 4. 6" DIAMETER STORM SEWER CONNECTING DOWNSPOUT TO STORM SEWER, TYPICAL AT EACH PROPOSED BUILDING DOWNSPOUT (DS). EXISTING CONTRACTOR TO EXTEND 6" PIPE TO FACE OF BUILDING WITH 90° VERTICAL BEND, ROOFING AND DS TRADES TO MAKE CONNECTION WITH 6" x 24" LONG, ASTM-A48 CL30 DOWNSPOUT BOOT AS MANUFACTURED BY JARHEAD & SONS. SEE ARCH. PLANS FOR LOCATION AND QUANTITY OF DOWNSPOUTS.
 5. INSTALL NEW FLAT-TOP SECTION ON EXISTING STORM SEWER STRUCTURE. NEW TOP OF STRUCTURE TO BE A MINIMUM OF 18" BELOW BOTTOM OF BUILDING SLAB. SEAL JOINT BETWEEN FLAT-TOP AND EXISTING STRUCTURE WITH "MEL-BOL" WATER PROOFING MEMBRANE OR APPROVED EQUAL. SLEEVE EXISTING STORM SEWER PIPE THROUGH PROPOSED FOUNDATION PER STRUCTURAL DRAWINGS.
 6. FURNISH AND INSTALL 4" DIA. UNDERDRAIN IN SOCK, TOP OR PIPE TO BE PROVIDED WITH A MINIMUM OF 18" O.V. COVER AND SLOPED AT 1% TO DRAINAGE STRUCTURES PER PLAN.
 7. TAP EXISTING STRUCTURE AS NECESSARY FOR DOWNSPOUT CONNECTION.
 8. REROUTE EXISTING UNDERDRAIN SYSTEM OUT OF CONFLICT WITH DETENTION SYSTEM AND CONNECT TO EXISTING CATCH BASIN CB18. USE MATERIALS IN-KIND TO EXISTING SYSTEM.
 9. INSTALL SANITARY SEWER BENEATH TUNNEL USING IN STEEL CARRIER PIPE USING TRENCHLESS METHODS WHICH WILL NOT DISTURB TUNNEL. PERFORM EXPLORATORY EXCAVATION TO VERIFY BOTTOM OF TUNNEL. FOOTING EXPLORATORY MAY BE DONE BY SAWCUTTING TUNNEL FINISH FLOORING AND HAND-DIGGING TO EXPOSE AND MEASURE ELEVATION OF BOTTOM OF FOOTING AT CROSSING. PATCH TUNNEL FLOOR UPON COMPLETION OF EXPLORATION. NOTIFY OWNER AND ENGINEER A MIN. OF 48 HRS IN ADVANCE OF EXPLORATORY EFFORTS. SEE ALSO TUNNEL SECTION AND SANITARY SEWER CROSSING DETAIL A-A.
 10. TAP EXISTING SANITARY STRUCTURE WITH NEW 8 INCH INVERT. TAPPED INVERT ELEVATION TO BE 1118.80.
 11. CONSTRUCT INTERNAL DROP CONNECTION IN SUBJECT STRUCTURE USING PVC PIPE MATERIAL, TEE AND 90° FITTING.

CONSTRUCTION NOTES:

1. SEE ARCHITECTURAL SITE PLAN FOR PROPOSED BUILDING LAYOUT LOCATION AND DIMENSIONAL PLAN OF PROPOSED ARCADE CONNECTION TO EXISTING CHAPEL ARCADE.
2. STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, PIPING TO BE ADS N-12 OR EQUAL AS DEPTH OF COVER ALLOWS IN ACCORDANCE WITH MDOT TABLE 402-1. WHERE DEPTH OF COVER IS NOT OBTAINABLE, ALTERNATIVE PIPE MATERIAL SHALL BE PROVIDED IN ACCORDANCE WITH SAID TABLE. STORM SEWER STRUCTURES SHALL BE IN ACCORDANCE WITH PREVIOUSLY MENTIONED MDOT STANDARDS.
3. STORM WATER DETENTION SHALL BE PROVIDED BY MEANS OF UNDERGROUND CHAMBERS AS SHOWN ON THE PLANS AND DETAIL SHEETS. DETENTION SYSTEM IS BASED ON 21eoch ADS STORMTECH MC-3500 CAMBERS EMBEDDED STONE BASE AND BACFILL WHICH SHALL HAVE 40% VOID RATIO.
4. SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED BY EITHER OPEN TRENCH OR TRENCHLESS METHODS. CONTRACTOR TO NOTE PROPOSED SANITARY SEWER CROSSING BENEATH EXISTING UTILITY TUNNEL AND THROUGH AREA OF WITH MULTIPLE UTILITY CROSSINGS BETWEEN CENTRAL HALL AND MOSSEY LIBRARY WHERE TRENCHLESS METHODS MAY BE PREFERRED.
 - 4.1. OPEN CUT SANITARY SEWER PIPING TO BE S-40 PVC OR ASTM D3034 SDR35 APPROVED PLASTIC PIPE.
 - 4.2. DRILLED SANITARY SEWER PIPING TO BE HDPE SDR11 WITH AN INSIDE DIAMETER CORRESPONDING TO THE DIAMETER SHOWN ON THE PLANS.
5. WATER MAIN AND WATER SERVICE CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH 2012 MDOT STANDARD SPECIFICATIONS SPECIFICATIONS FOR CONSTRUCTION SECTION 923 AND THE HILLSDALE BOARD OF PUBLIC UTILITIES (BPU) STANDARD SPECIFICATIONS. IF A DISCREPANCY EXISTS BETWEEN SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY. PIPE MATERIAL TO BE CL51.
6. FURNISH AND INSTALL 6-INCH WATER SERVICE LEAD WITH 6" GATE VALVE-IN-BOX AS NECESSARY FOR BUILDING FIRE SUPPRESSION, SEE UTILITY LABEL "W-1"; FURNISH AND INSTALL 2-INCH DOMESTIC WATER SERVICE LEAD WITH 2" CURB-STOP BOX, SEE UTILITY LABEL "W-2".
7. SEE MECHANICAL PLANS AND SPECIFICATIONS FOR PROPOSED UNDERGROUND CHILLED WATER PIPING INFORMATION. CHILLED WATER LINE INFORMATION PROVIDED ON THIS SHEET IS FOR HORIZONTAL LOCATION AND ALIGNMENT INFORMATION ONLY.



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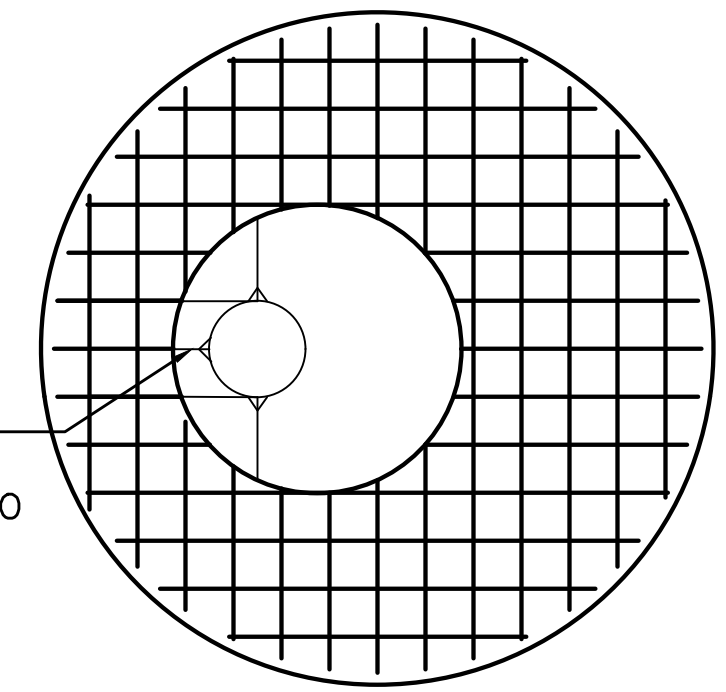
Classical Education Building
 AT
 HILLSDALE COLLEGE
 HILLSDALE, MICHIGAN

DRAWING TITLE:
SITE LAYOUT GRADING & UTILITY PLAN

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 SCALE:
 DRAWING #:
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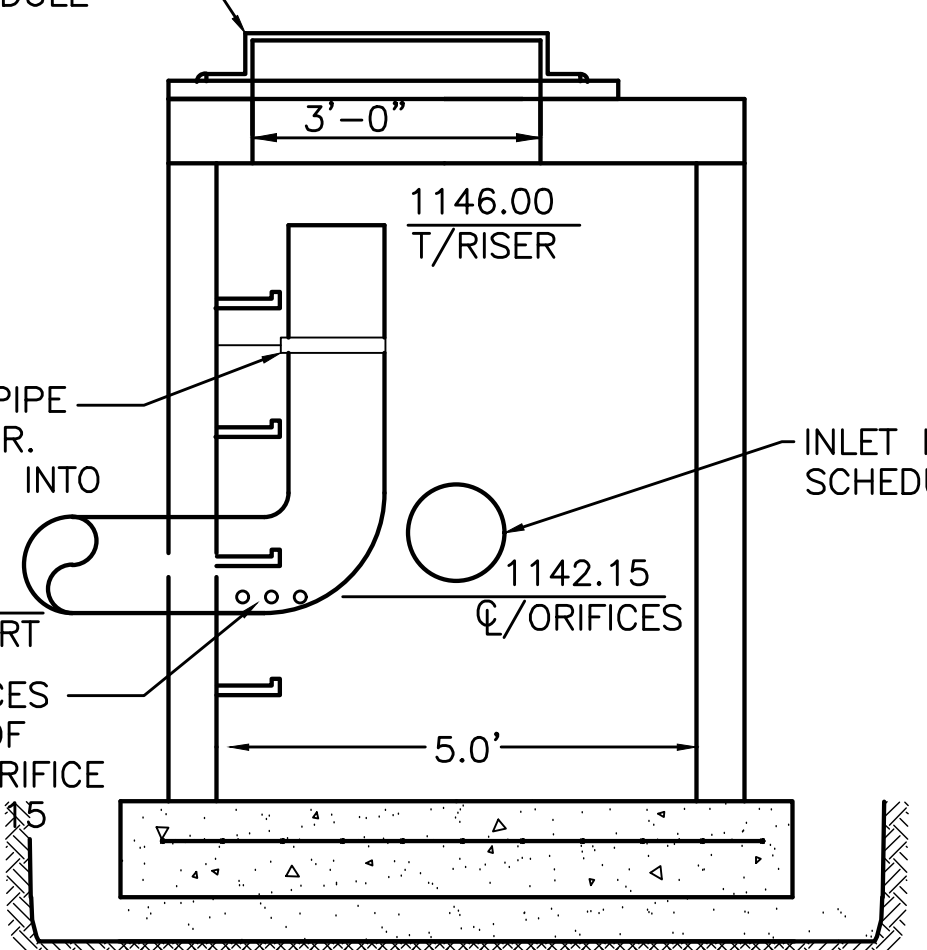
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3 EACH STAINLESS STEEL PIPE
HANGERS SUPPORTING RISER.
EPOXY THREADED ROD END INTO
PRECAST CONC.

TOP SECTION

EJW 1581M1 CASTING AND COVER
OR APPROVED EQUAL WITH 36"
CLEAR OPENING. SEE SCHEDULE
FOR RIM ELEVATION



3 EACH STAINLESS STEEL PIPE
HANGERS SUPPORTING RISER.
EPOXY THREADED ROD END INTO
PRECAST CONC.

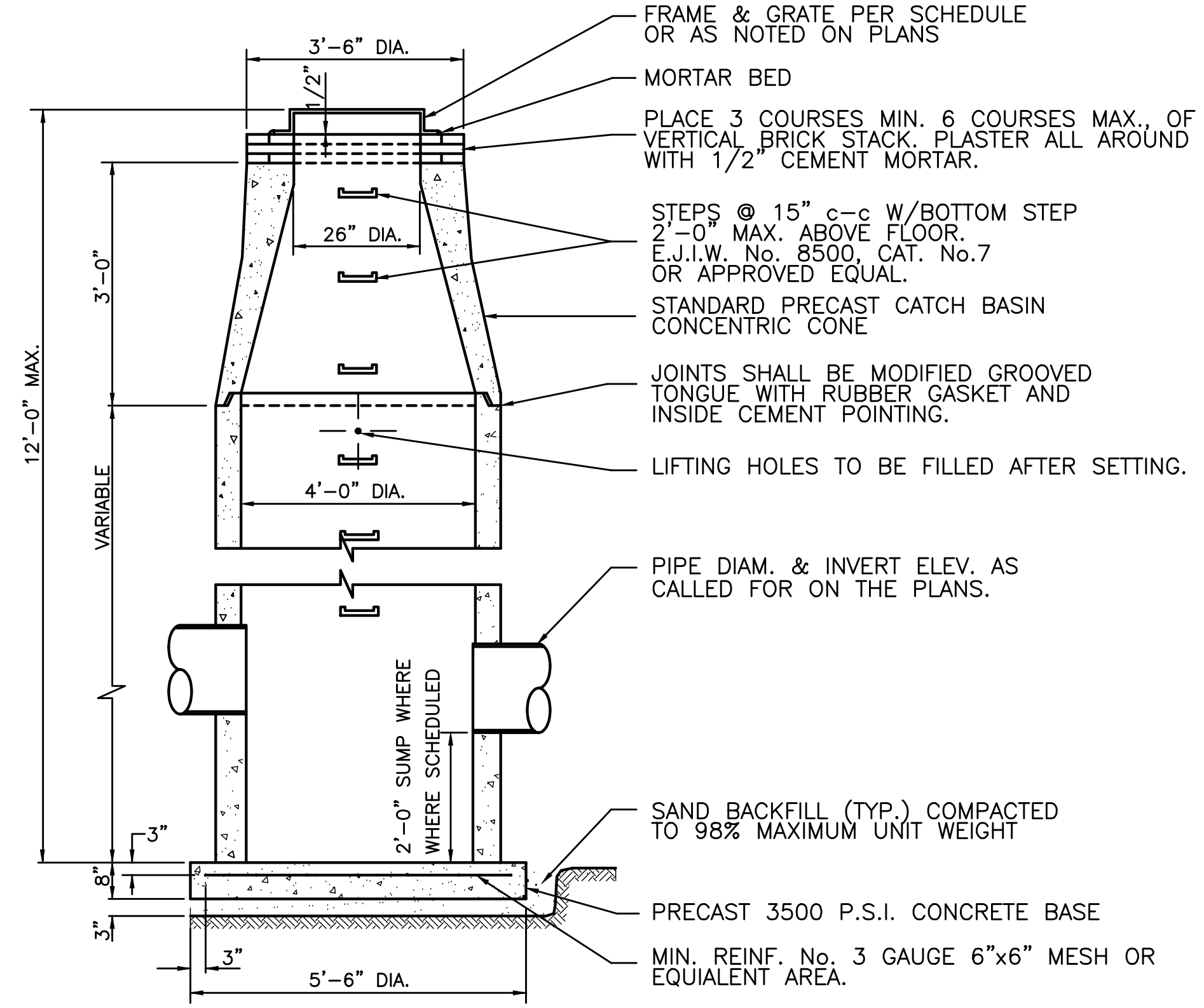
1141.96
12" DIA. OUTLET INVERT

3 each 2 5/8" DIA. ORIFICES
EQUALLY SPACE AT BASE OF
RISER. CENTER OF EACH ORIFICE
TO BE AT ELEVATION 1142.15

CROSS SECTION

OUTLET CONTROL STRUCTURE, R-1

NOT TO SCALE



FRAME & GRATE PER SCHEDULE
OR AS NOTED ON PLANS

MORTAR BED

PLACE 3 COURSES MIN. 6 COURSES MAX., OF
VERTICAL BRICK STACK, PLASTER ALL AROUND
WITH 1/2" CEMENT MORTAR.

STEPS @ 15" c-c W/BOTTOM STEP
2'-0" MAX. ABOVE FLOOR.
E.J.I.W. No. 8500, CAT. No.7
OR APPROVED EQUAL.

STANDARD PRECAST CATCH BASIN
CONCENTRIC CONE

JOINTS SHALL BE MODIFIED GROOVED
TONGUE WITH RUBBER GASKET AND
INSIDE CEMENT POINTING.

LIFTING HOLES TO BE FILLED AFTER SETTING.

PIPE DIAM. & INVERT ELEV. AS
CALLED FOR ON THE PLANS.

2'-0" SUMP WHERE
WHERE SCHEDULED

SAND BACKFILL (TYP.) COMPACTED
TO 98% MAXIMUM UNIT WEIGHT

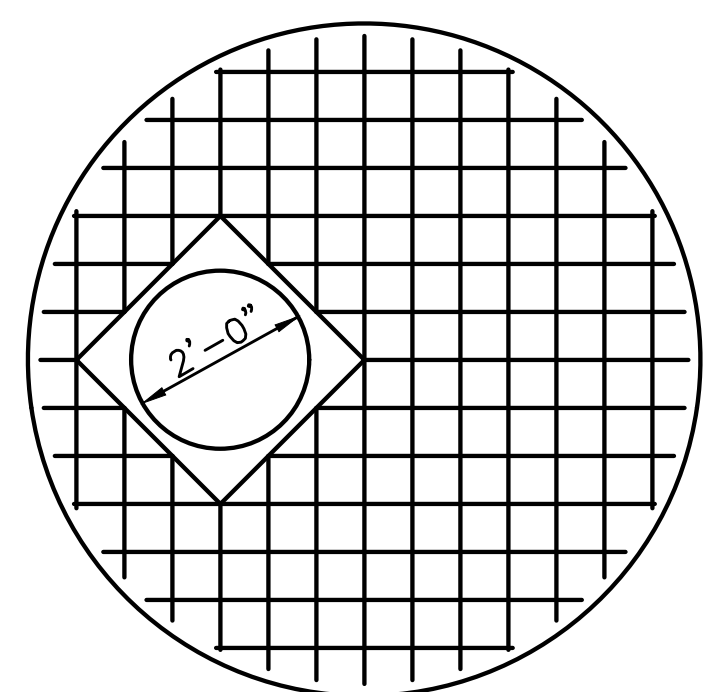
PRECAST 3500 P.S.I. CONCRETE BASE

MIN. REINF. No. 3 GAUGE 6"x6" MESH OR
EQUIVALENT AREA.

NOTE: PRECAST UNITS SHALL MEET
THE REQUIREMENTS SPECIFIED
BY A.S.T.M. C-478-68

CATCH BASIN "B" (PRECAST)

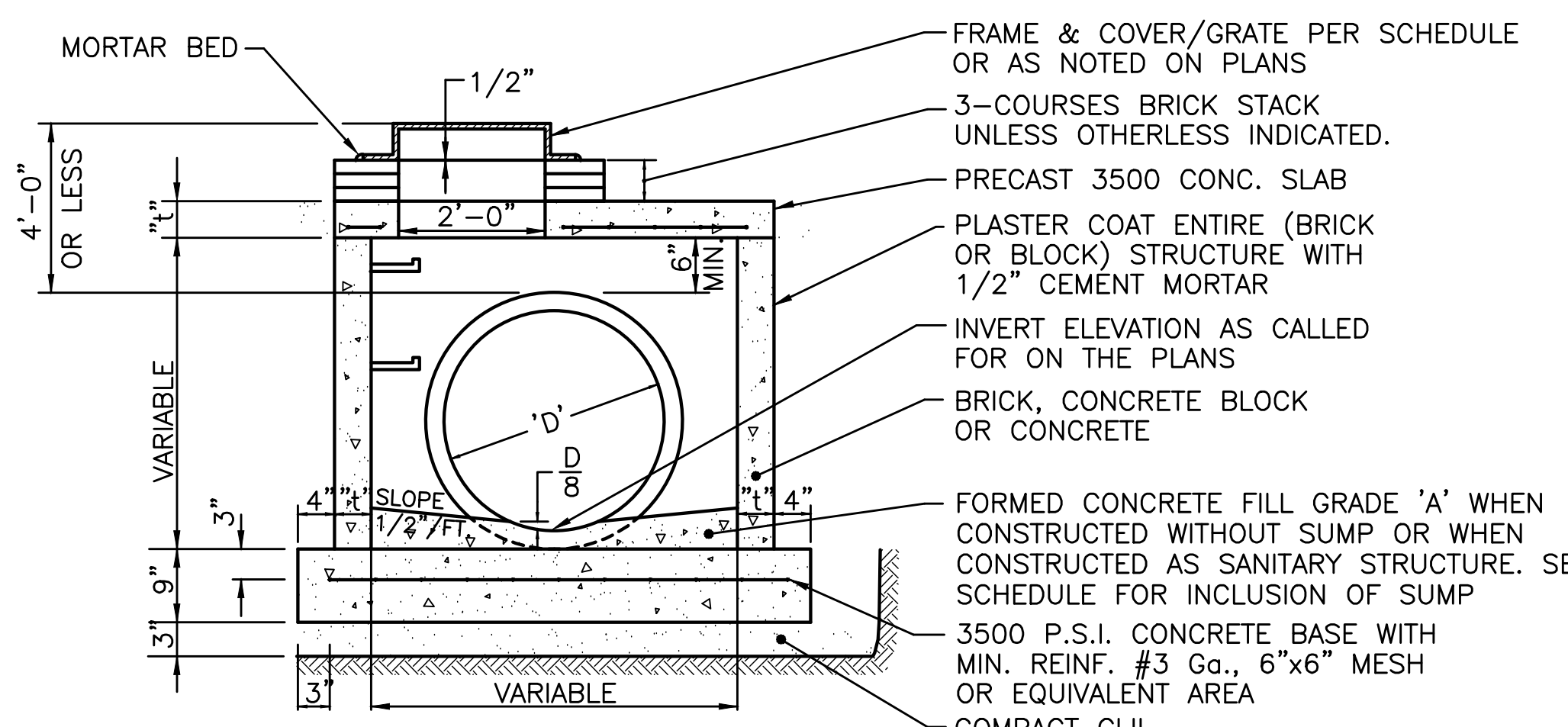
NOT TO SCALE



NOTE:
MANHOLE 'D' SHALL BE USED
WHERE THE DEPTH OF COVER
FROM THE TOP OF CASTING
TO THE TOP OF SEWER IS
LESS THAN 4'-0"

* DIAMETER OF MANHOLE
SHALL BE INCREASED AS
SHOWN ON THE PLANS OR IN
THE PROPOSAL DEPENDING ON
THE ANGLE OF THE SEWER

TOP SECTION



MORTAR BED

FRAME & COVER/GRATE PER SCHEDULE
OR AS NOTED ON PLANS

3-COURSES BRICK STACK
UNLESS OTHERWISE INDICATED.

PRECAST 3500 CONC. SLAB

PLASTER COAT ENTIRE (BRICK
OR BLOCK) STRUCTURE WITH
1/2" CEMENT MORTAR

INVERT ELEVATION AS CALLED
FOR ON THE PLANS

BRICK, CONCRETE BLOCK
OR CONCRETE

FORMED CONCRETE FILL GRADE 'A' WHEN
CONSTRUCTED WITHOUT SUMP OR WHEN
CONSTRUCTED AS SANITARY STRUCTURE. SEE
SCHEDULE FOR INCLUSION OF SUMP

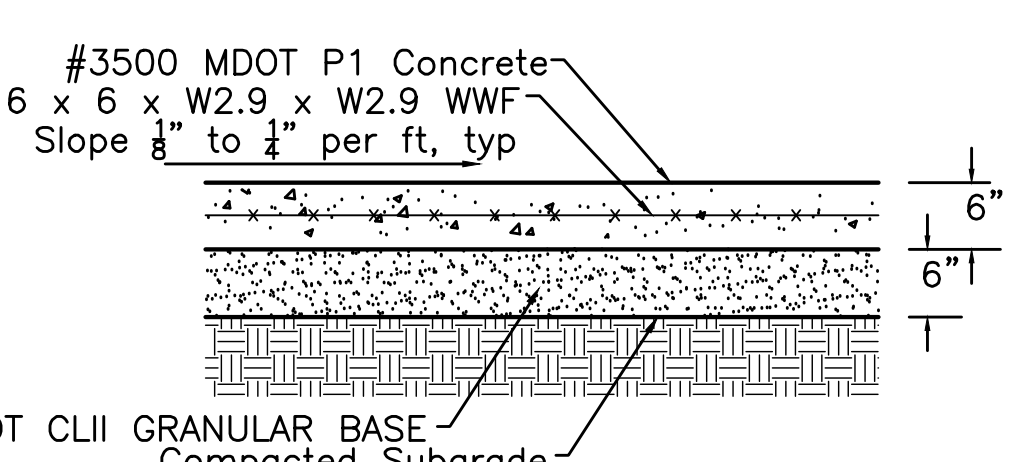
3500 P.S.I. CONCRETE BASE WITH
MIN. REINF. #3 Ga., 6"x6" MESH
OR EQUIVALENT AREA

COMPACT CLII

CROSS SECTION

CATCH BASIN OR MANHOLE "D"

NOT TO SCALE



#3500 MDOT P1 Concrete
6 x 6 x W2.9 x W2.9 WWF
Slope 1/4" to 1/2" per ft, typ

COMPACTED MDOT CLII GRANULAR BASE
Compacted Subgrade

NOTE:
1. ALL CONCRETE WALKWAYS LOCATED BETWEEN CENTRAL HALL AND THE
PROPOSED CHAPEL THAT ARE 8ft AND WIDER SHALL BE HEAVY DUTY PER
DETAIL ABOVE. DRIVE APPROACHES AND DROP OFF AREAS AT THE MAIN DOW
HOTEL ENTRANCE AND AT THE NORTHWEST AREA OF THE CHAPEL SHALL ALSO
BE PER THE SECTION ILLUSTRATED ABOVE.

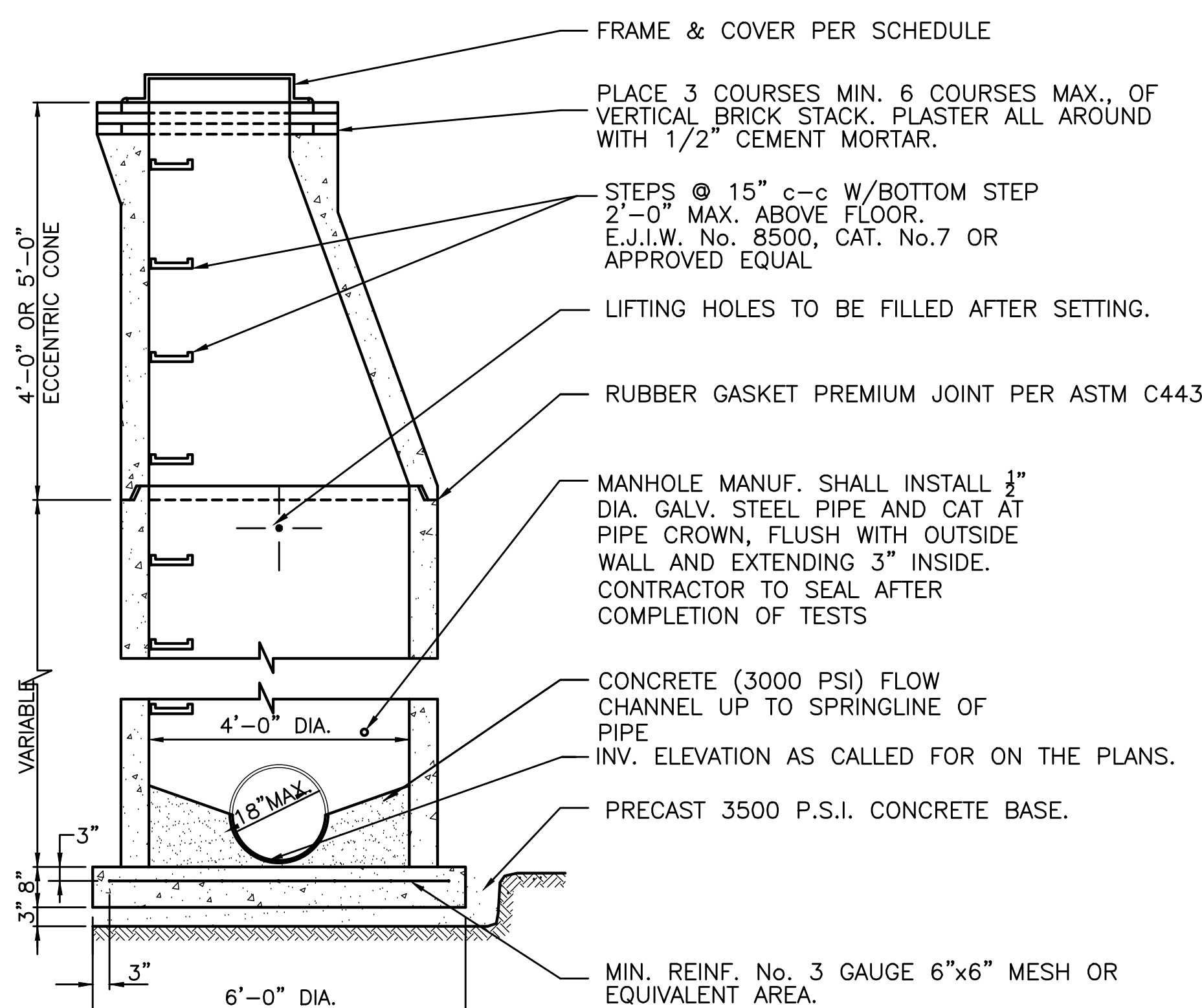
2. TYPICAL WALKWAY CONTROL JOINTS SHALL BE PLACED TO DIVIDE WALKWAYS
INTO SQUARE UNITS INsofar AS POSSIBLE. CONTROL JOINTS SHALL BE 1/2" WIDE
TOOLED OR CUT 1/4" IN DEPTH.

3. TYPICAL WALKWAY EXPANSION JOINTS SHALL BE CONSTRUCTED USING 1/2" FIBER
EXPANSION JOINT FILLER TO MATCH THE DEPTH OF THE SLAB. PLACE
EXPANSION JOINTS EVERY 50 LINEAR FEET.

4. CURE AND SEAL ALL WALKWAYS, CURBS AND CONCRETE PAVEMENTS WITH
APPROVED CLEAR CURING COMPOUND. WHITE PIGMENT CURING COMPOUNDS
SHALL NOT BE USED.

**HEAVY DUTY CONCRETE SIDEWALK
& WALKWAY SECTION**

NOT TO SCALE



FRAME & COVER PER SCHEDULE

PLACE 3 COURSES MIN. 6 COURSES MAX., OF
VERTICAL BRICK STACK, PLASTER ALL AROUND
WITH 1/2" CEMENT MORTAR.

STEPS @ 15" c-c W/BOTTOM STEP
2'-0" MAX. ABOVE FLOOR.
E.J.I.W. No. 8500, CAT. No.7 OR
APPROVED EQUAL

LIFTING HOLES TO BE FILLED AFTER SETTING.

RUBBER GASKET PREMIUM JOINT PER ASTM C443

MANHOLE MANUF. SHALL INSTALL 1/2"
DIA. GALV. STEEL PIPE AND CAT AT
PIPE CROWN, FLUSH WITH OUTSIDE
WALL AND EXTENDING 3" INSIDE.
CONTRACTOR TO SEAL AFTER
COMPLETION OF TESTS

CONCRETE (3000 PS) FLOW
CHANNEL UP TO SPRINGLINE OF
PIPE

INV. ELEVATION AS CALLED FOR ON THE PLANS.

PRECAST 3500 P.S.I. CONCRETE BASE.

MIN. REINF. No. 3 GAUGE 6"x6" MESH OR
EQUIVALENT AREA.

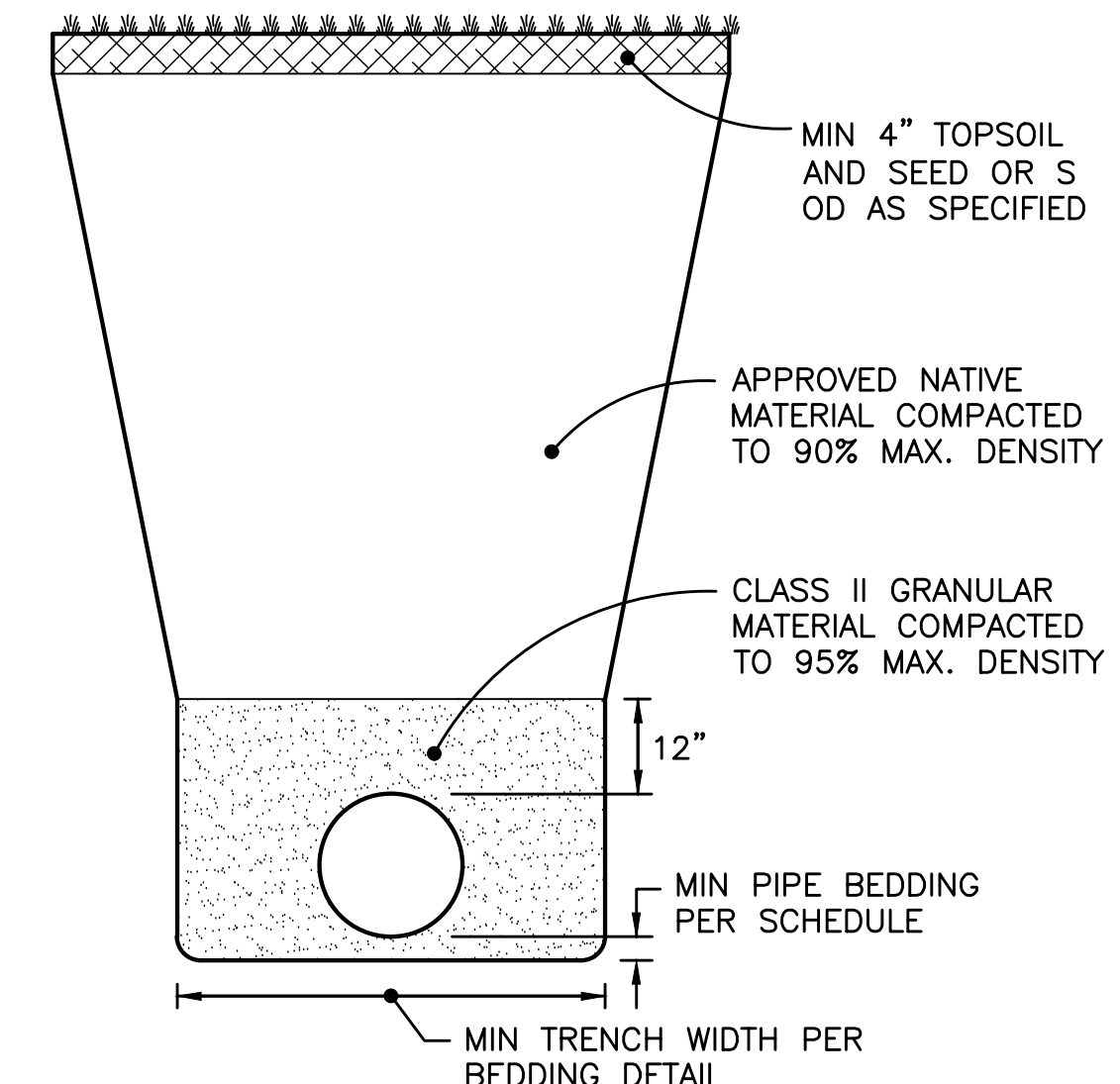
NOTES:
1. PRECAST UNITS SHALL MEET THE
REQUIREMENTS SPECIFIED BY ASTM
C-478-68.

2. OPENINGS ON PRECAST MANHOLE SECTIONS
SHALL BE FORMED DURING MANUFACTURING
PROCESS OR MACHINE CORED IN
ACCORDANCE WITH MANUFACTURER'S SPECS.
OPENINGS SHALL BE POSITIONED AROUND
THE CIRCUMFERENCE AT THE PROPER ANGLES
TO CONFORM WITH THE SEWER ALIGNMENT
SHOWN ON THE PLANS.

3. SANITARY SEWER STRUCTURE CONNECTIONS
SHALL BE COMPLETE WITH RUBBER BOOT.

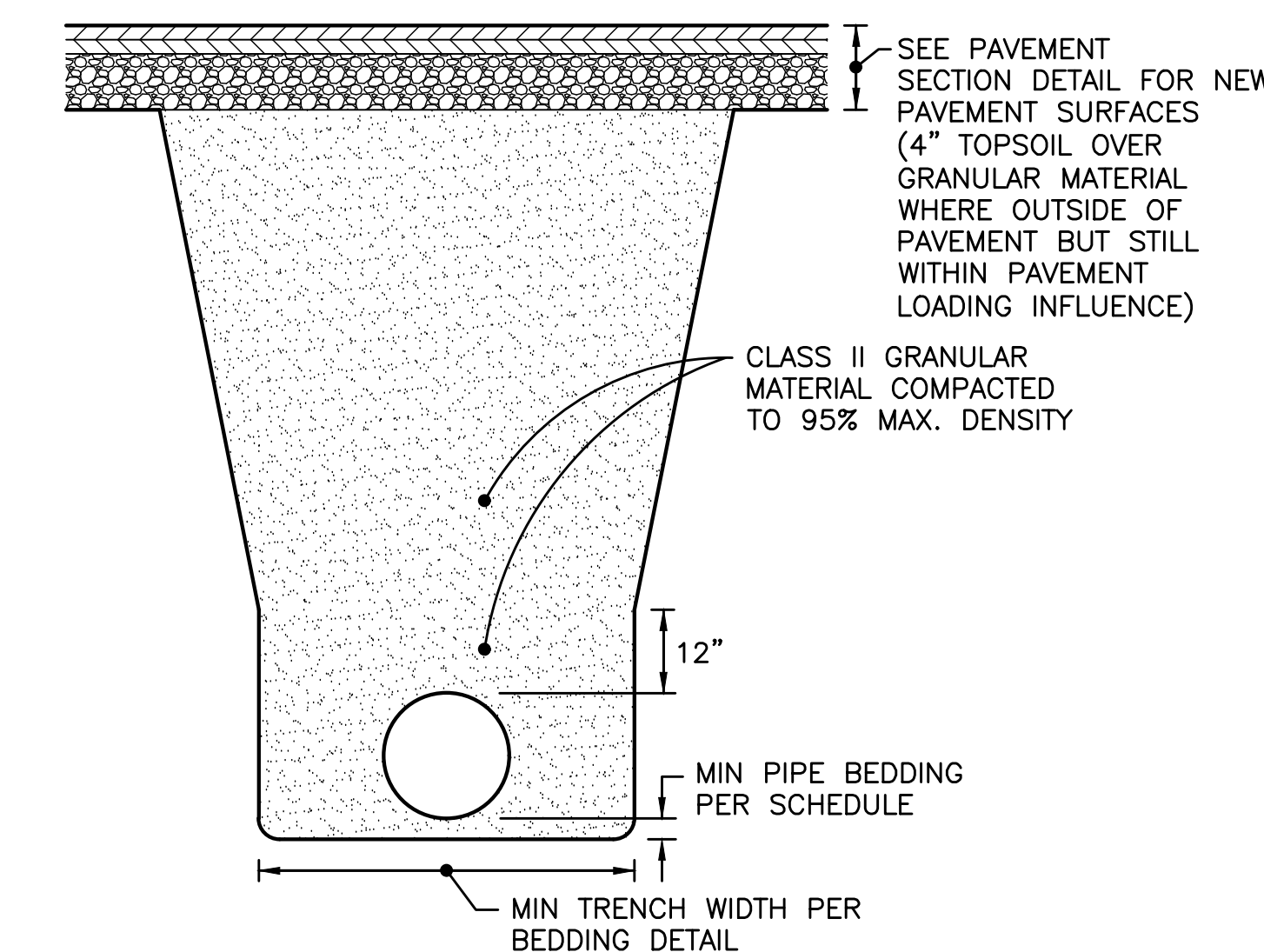
NOTE:
PRECAST UNITS SHALL MEET THE REQUIREMENTS
SPECIFIED BY A.S.T.M. C-478-68

PRECAST MANHOLE "E"



NOTES:
1. ALL TRENCHING TO CONFORM TO ALL APPLICABLE M.I.O.S.H.A. STANDARDS.
2. UTILITY TRENCH DETAIL A TO BE USED IN GREENBELT AREAS OUTSIDE OF
INFLUENCE OF HMA AND CONCRETE PAVEMENTS AND WALKWAYS.

UTILITY TRENCH - DETAIL A

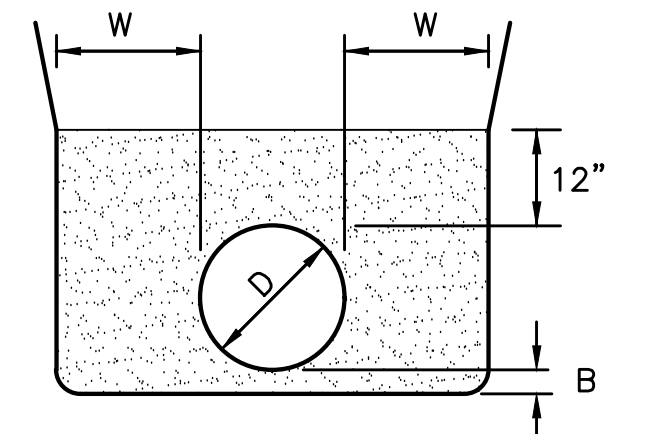


NOTES:
1. ALL TRENCHING TO CONFORM TO ALL APPLICABLE M.I.O.S.H.A. STANDARDS.
2. UTILITY TRENCH DETAIL B TO BE USED IN ALL AREAS INSIDE THE INFLUENCE OF
ALL HMA AND CONCRETE PAVEMENTS AND WALKWAYS.

3. PAVEMENT SECTIONS IN PAVEMENT PATCHES TO MATCH EXISTING SECTIONS AS
MEASURED IN THE FIELD. IN THE ABSENCE OF FIELD MEASUREMENTS CONTRACTOR
TO ASSUME 2.5" BASE COURSE, 2" LEVELING COURSE & 1.5" WEARING COURSE
FOR PAVEMENT PATCHES IN CITY RIGHT OF WAY.

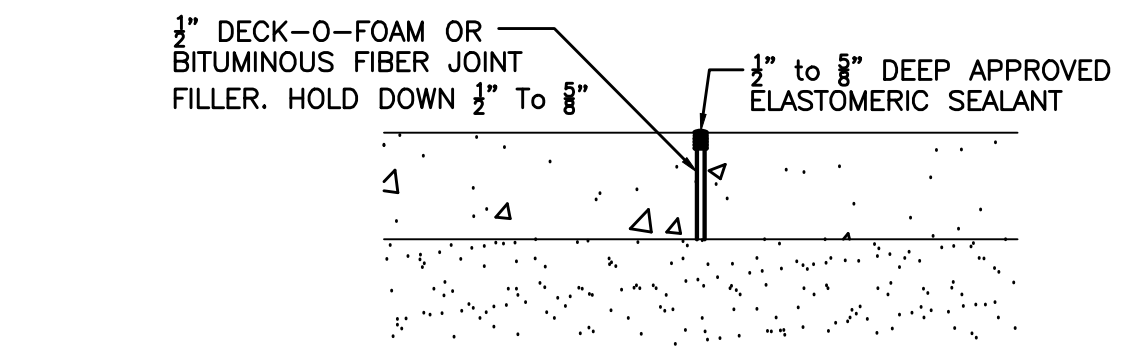
UTILITY TRENCH - DETAIL B

PIPE BEDDING TABLE			
MATERIAL	D	W	B
PVC	0'-12"	12" MIN 18" MAX	0'-4"
VCP	0'-12"	6" MIN 12" MAX	0'-3"
DIP	0'-12"	6" MIN 12" MAX	0'-3"
CONC	0'-12"	6" MIN 12" MAX	0'-3"
CONC DIP	24"+	6" MIN 12" MAX	0'-4"



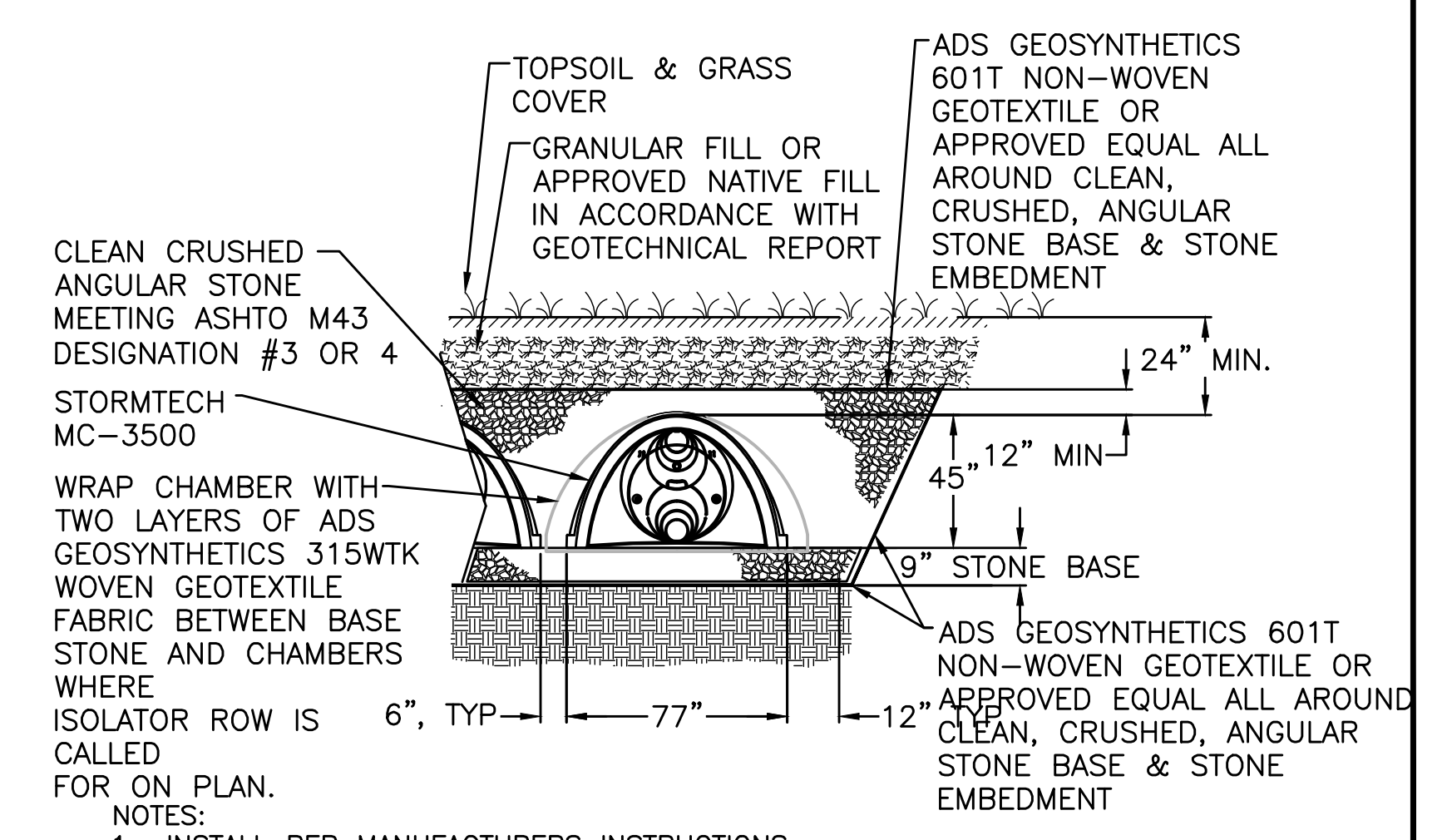
NOTES:
1. MINIMUM TRENCH WIDTH PER TABLE
2. RECESS TRENCH TO RELIEVE BELL OF ALL LOAD
3. GRANULAR BACKFILL TO DEPTH OF ONE FOOT ABOVE PIPE. TAMPED LAYERS NOT
TO EXCEED 6" IN DEPTH.
4. ALL PIPE TO BE PLACED AND JOINTED IN A DRY TRENCH AND LAID ACCURATELY
TO LINE AND GRADE WITH BELLS UPHILL.

PIPE BEDDING DETAIL



NOTE:
1. TYPICAL EXPANSION JOINT SHOWN ABOVE. SEALANT
MAY BE OMITTED IN ALL WALKWAYS LOCATED WITHIN
THE CITY RIGHT OF WAY. SEE ARCHITECTURAL PLANS
FOR DECORATIVE JOINTS AND OTHER DECORATIVE
CONCRETE FEASTURES TO BE CONSTRUCTED AS
PART OF PLAZA CONCRETE PAVEMENT.

**CONCRETE SIDEWALK & WALKWAY
EXPANSION JOINT**



NOTE:
1. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL
3. SEE STORM WATER MANAGEMENT CALCULATION SHEET FOR GENERAL LAYOUT

**UNDERGROUND DETENTION CHAMBER
SECTION DETAIL**

NOT TO SCALE

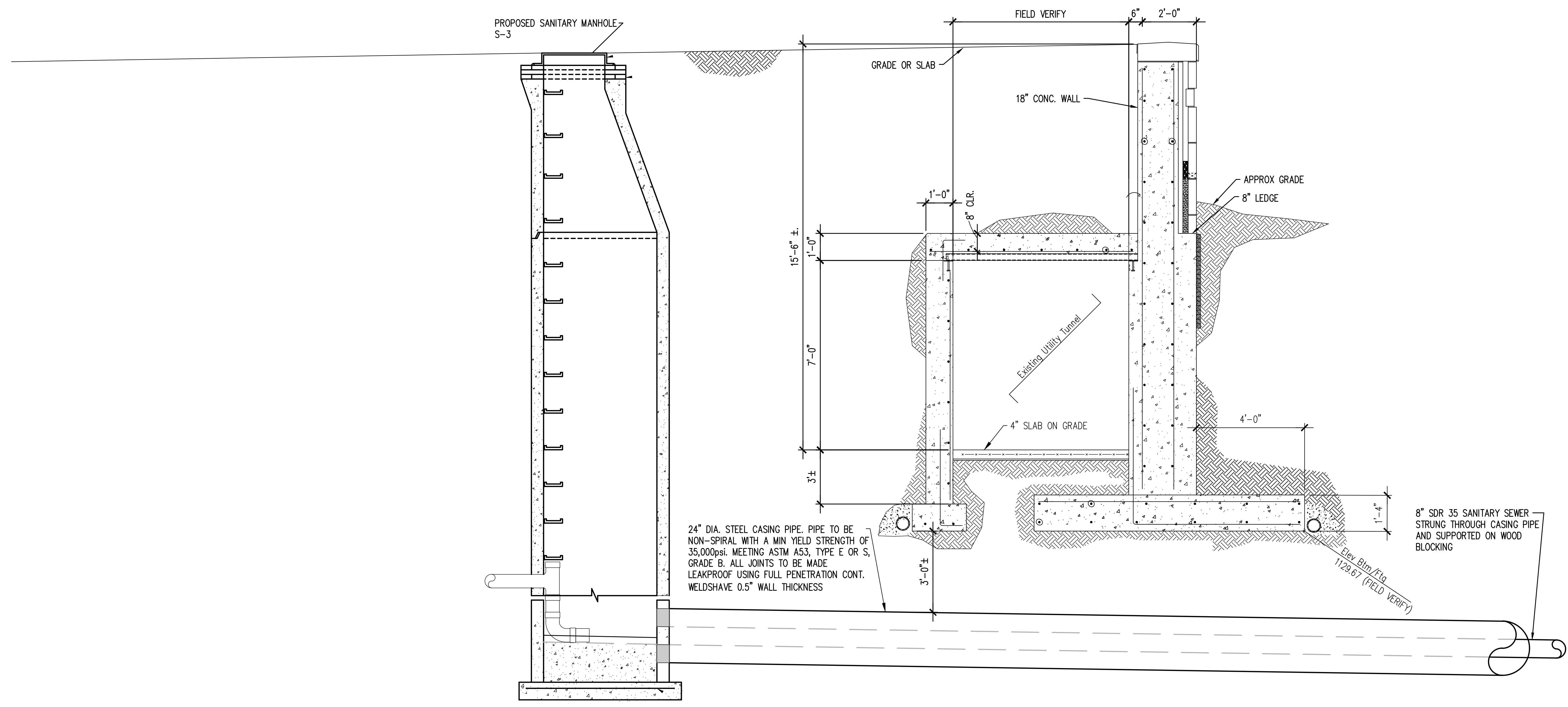
Classical
Education
Building

AT
HILLSDALE COLLEGE
HILLSDALE, MICHIGAN

DRAWING TITLE:
MISCELLANEOUS
SITE DETAILS

NOT FOR CONSTRUCTION
DATE: FEBRUARY 1, 2023
SCALE:
DRAWING #:

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TUNNEL SECTION AND SANITARY SEWER CROSSING DETAIL A-A.

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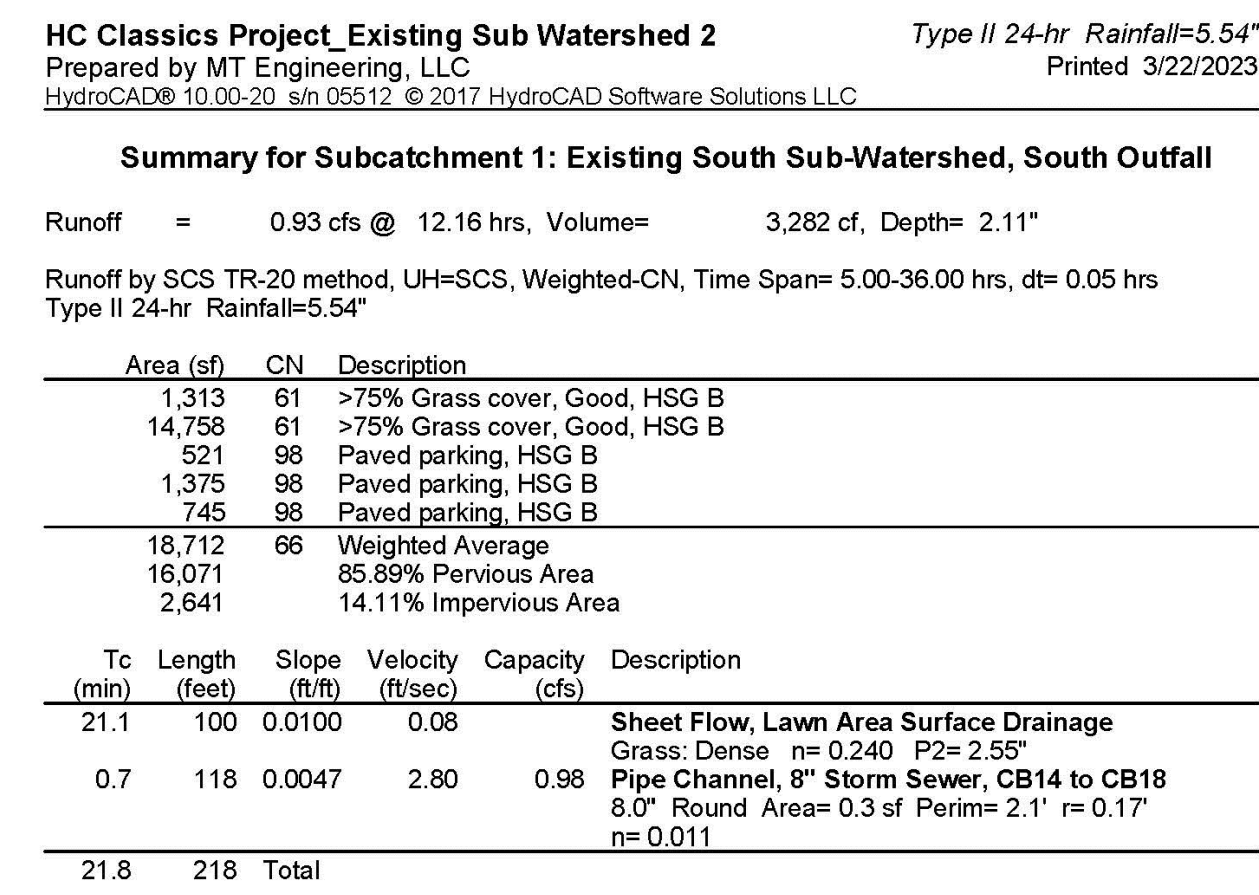
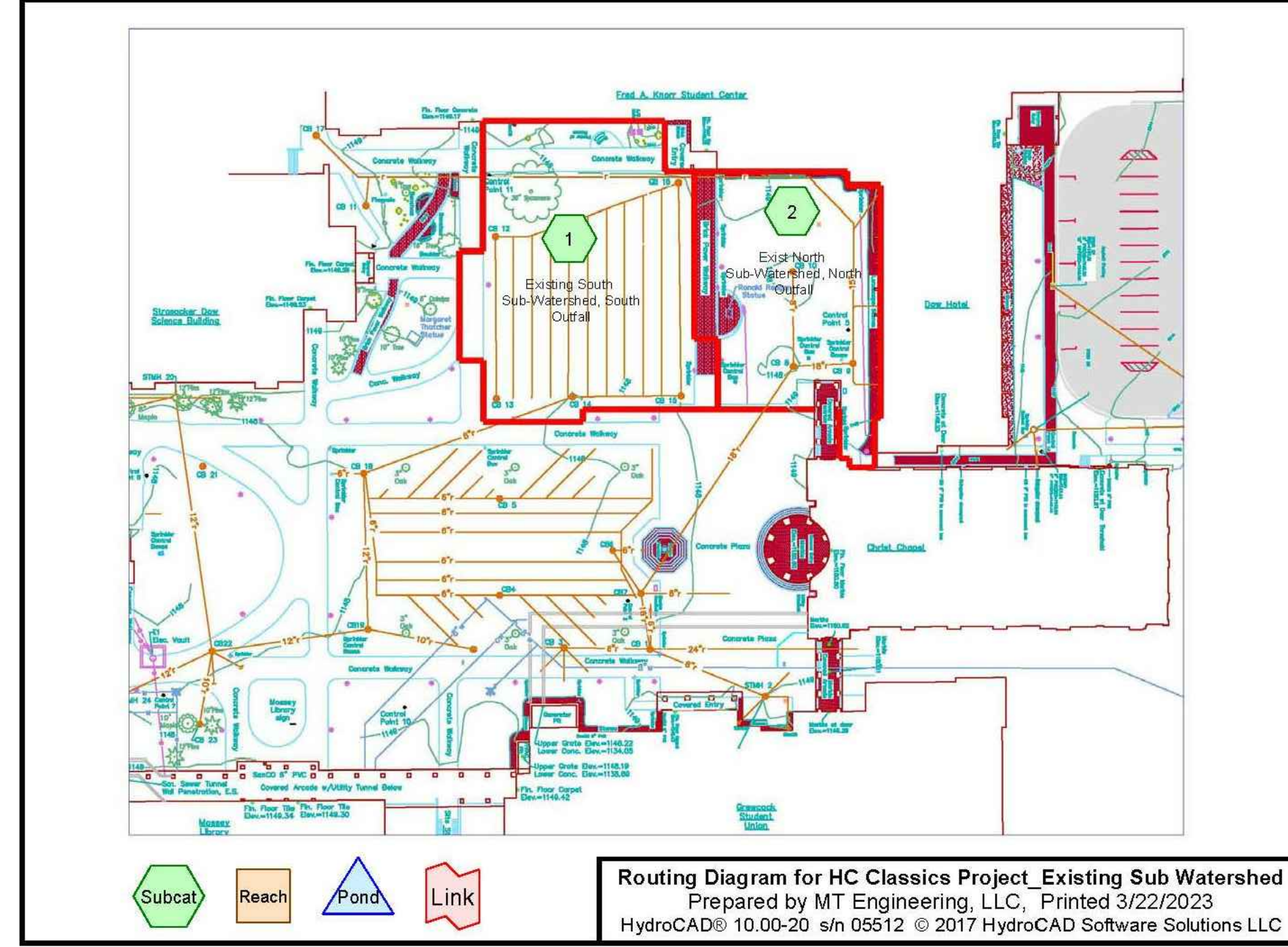
DRAWING TITLE:

MISCELLANEOUS
SITE DETAILS

NOT FOR CONSTRUCTION
DATE: FEBRUARY 1, 2023
SCALE:
DRAWING #:

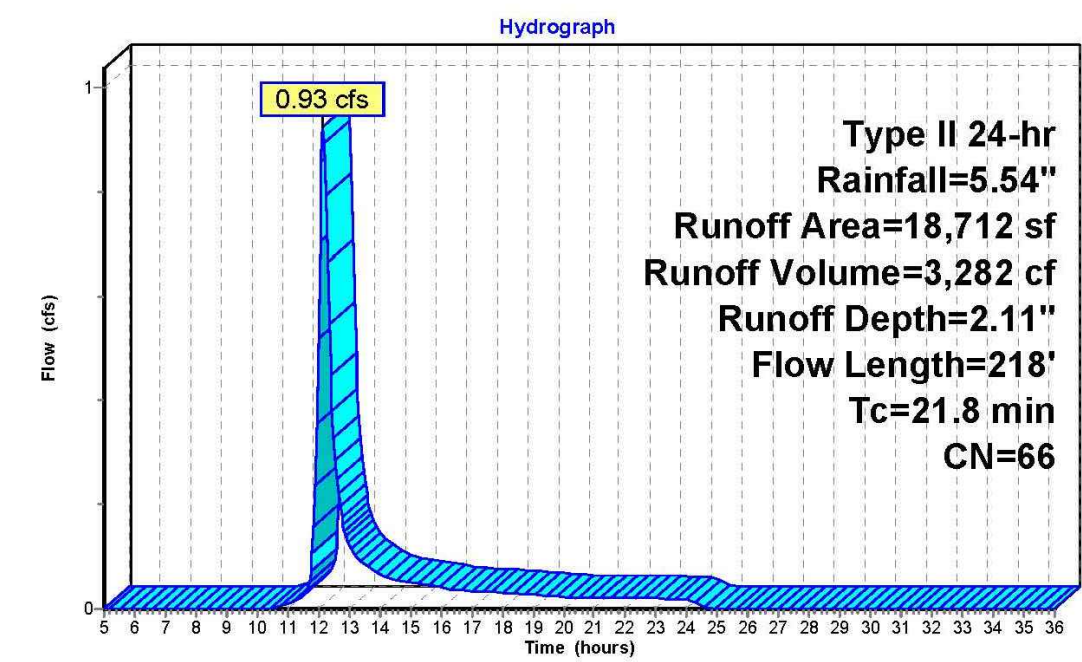
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EXISTING RUN-OFF CALCULATIONS



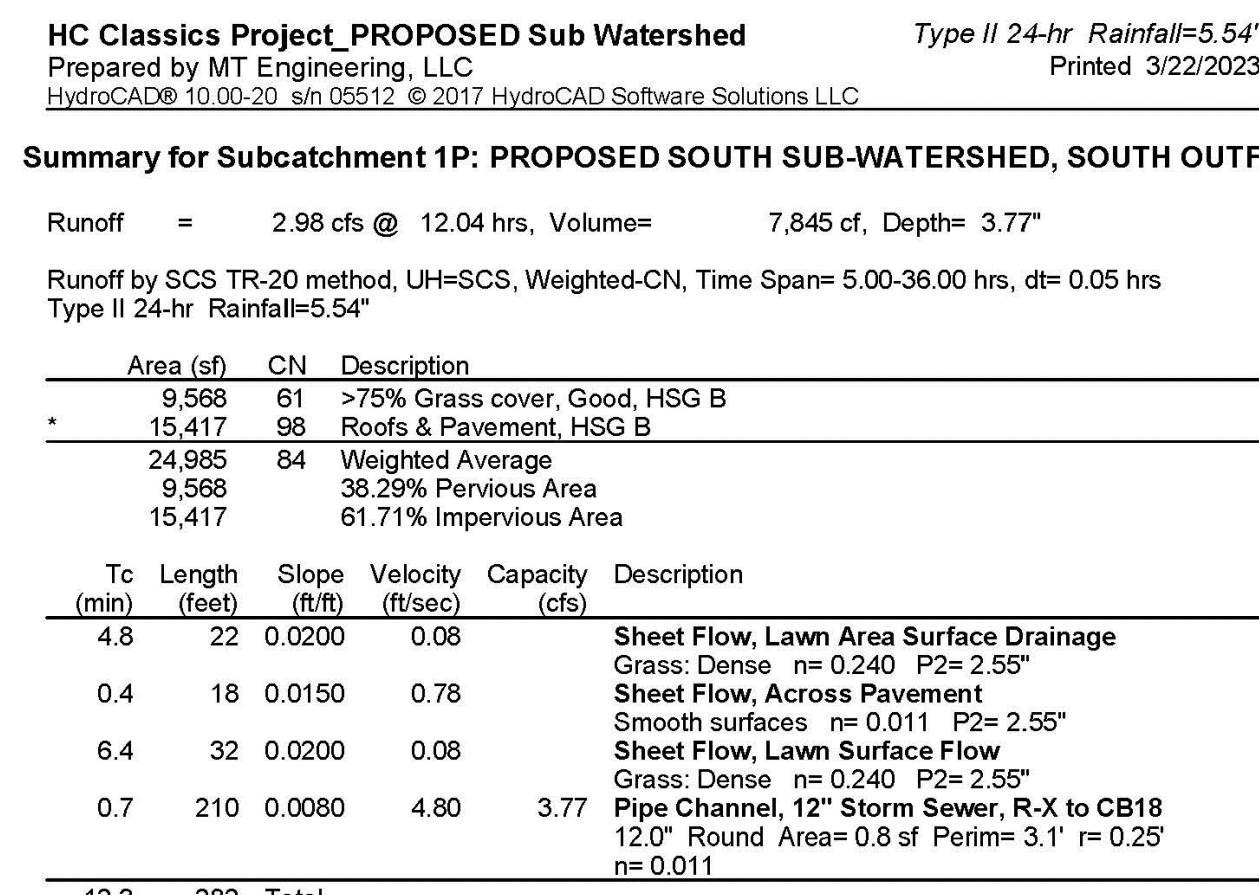
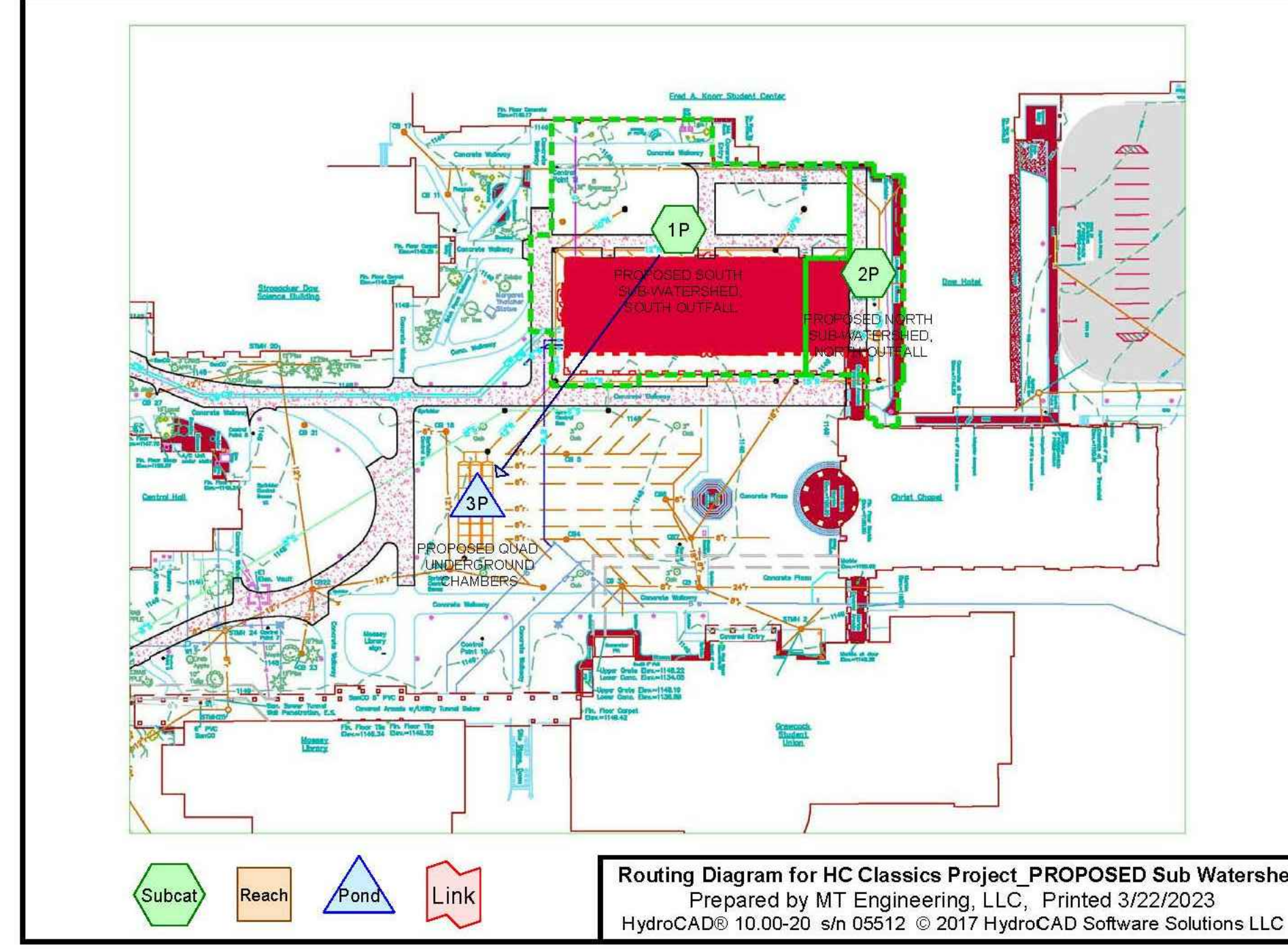
HC Classics Project Existing Sub Watershed 2 Type II 24-hr Rainfall=5.54"
Prepared by MT Engineering, LLC Printed 3/22/2023
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Subcatchment 1: Existing South Sub-Watershed, South Outfall



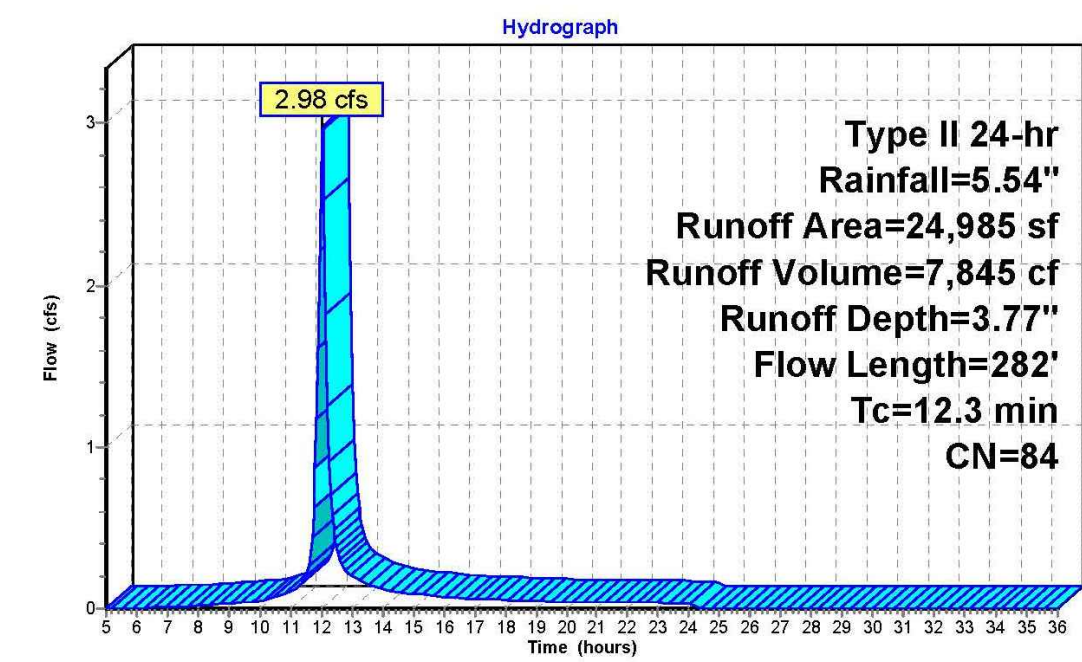
SUM OF 100-yr PROJECT STORM WATER RUN-OFF RATES FOR EXISTING NORTH & SOUTH SUBCATCHMENTS:
 $q_{ex} = 0.93 \text{ cfs} + 0.95 \text{ cfs} = 1.88 \text{ cfs}$

PROPOSED DETENTION & RUN-OFF CALCULATIONS



HC Classics Project Proposed Sub Watershed Type II 24-hr Rainfall=5.54"
Prepared by MT Engineering, LLC Printed 3/22/2023
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Subcatchment 1P: PROPOSED SOUTH SUB-WATERSHED, SOUTH OUTFALL



SUM OF 100-yr PROJECT STORM WATER RUN-OFF RATES FOR PROPOSED NORTH & SOUTH SUBCATCHMENTS AFTER DETENTION:
 $q_{proposed} = 0.69 \text{ cfs} + 0.99 \text{ cfs} = 1.68 \text{ cfs}$
 $q_{proposed} < q_{ex}$

HC Classics Project Proposed Sub Watershed Type II 24-hr Rainfall=5.54"
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Pond 3P: PROPOSED QUAD UNDERGROUND CHAMBERS - Chamber Wizard Field A

Chamber Model = ADS StormTech MC-3600 d + Cap (ADS StormTech MC-3600 rev 03/14 with Cap volume)

Effective Size= 70.4'W x 45.0'H => 15.33 sf x 7.17'L = 110.0 cf
 Overall Size= 77.0'W x 45.0'H x 7.50'L with 0.33' Overlap
 Cap Storage= +14.9 cf x 2 x 3 rows = 89.4 cf

77.0' Wide + 9.0' Spacing = 86.0' C-C Row Spacing

5 Chambers/Row x 7.17' Long + 1.85' Cap Length x 2 = 39.55' Row Length + 12.0' End Stone x 2 = 41.55' Base Length
 3 Rows x 77.0' Wide + 9.0' Spacing x 2 + 12.0' Side Stone x 2 = 22.75' Base Width
 9.0' Base + 45.0' Chamber Height + 12.0' Cover = 5.50' Field Height

0.3' Side-Z x Height = 19.8' Flare/Side
 Base Length + Flare x 2 = 44.85' Top Length
 Base Width + Flare x 2 = 26.05' Top Width

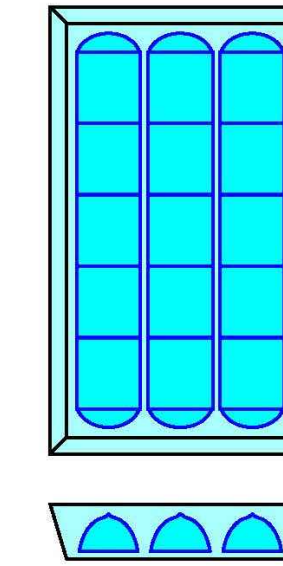
15 Chambers x 110.0 cf + 14.9 cf Cap Volume x 2 x 3 Rows = 1,738.7 cf of Chamber Storage

5,802.4 cf of Field - 1,738.7 cf of Chambers = 4,063.8 cf of Stone x 40.0% Voids = 1,625.5 cf of Stone Storage

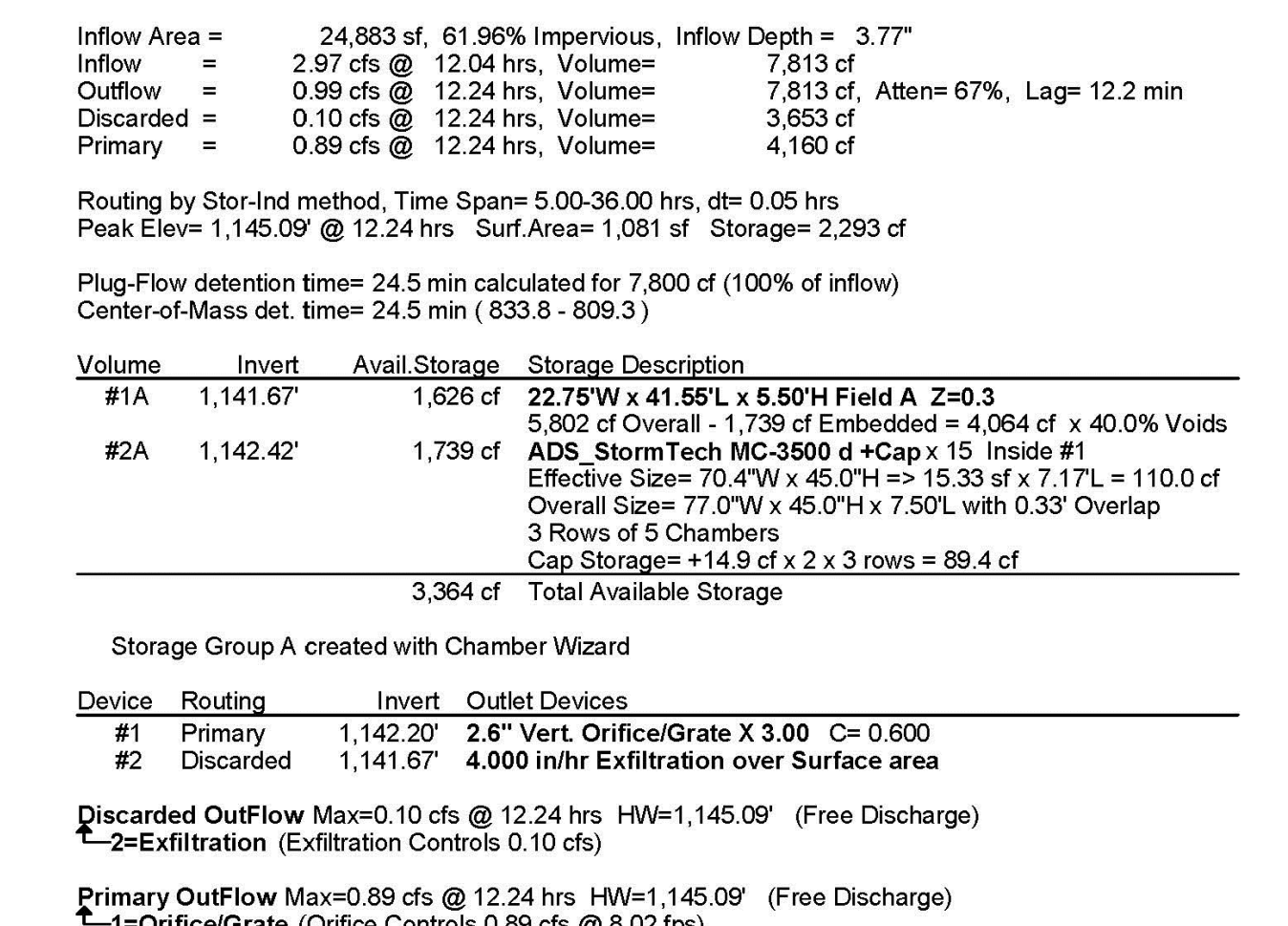
Chamber Storage + Stone Storage = 3,364.2 cf = 0.077 sf
 Overall Storage Efficiency = 58.0%

Overall System Size = 41.55' x 22.75' x 5.50'

15 Chambers
 214.9 cy Field
 150.5 cy Stone

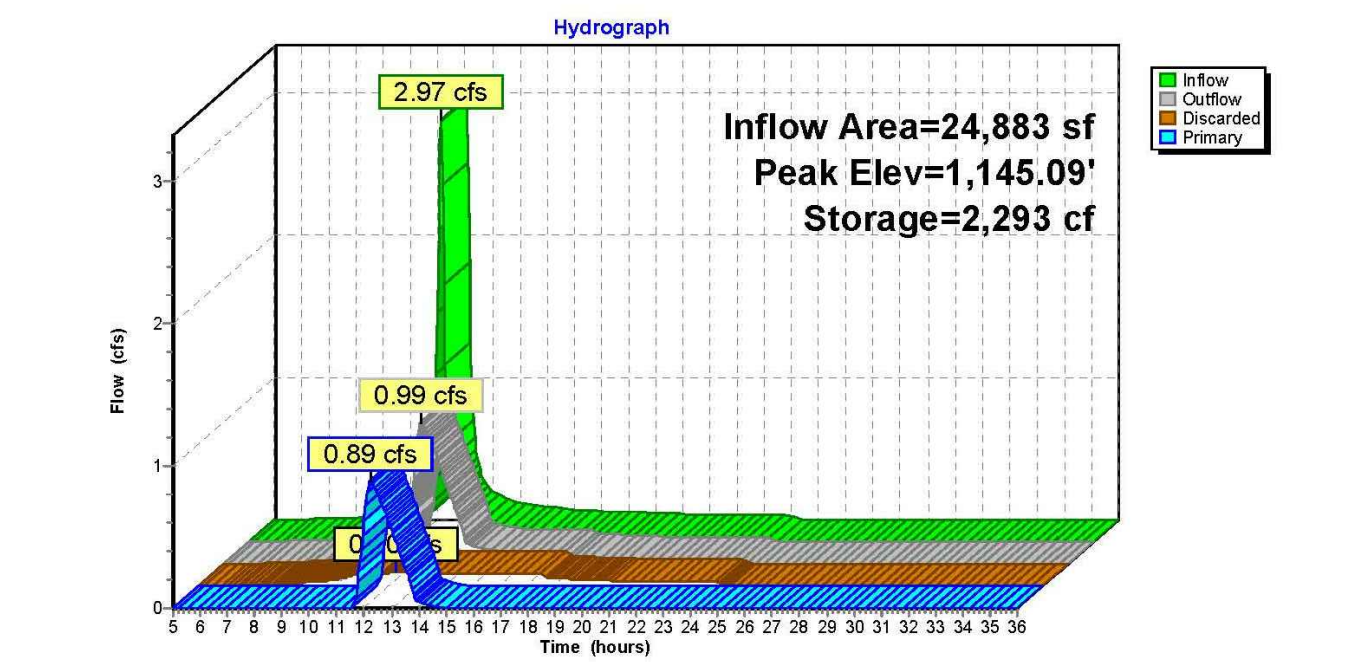


Summary for Pond 3P: PROPOSED QUAD UNDERGROUND CHAMBERS



HC Classics Project Proposed Sub Watershed Type II 24-hr Rainfall=5.54"
Prepared by MT Engineering, LLC Printed 3/22/2023
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Pond 3P: PROPOSED QUAD UNDERGROUND CHAMBERS



MCCREY Architects
 900 Massachusetts Avenue, NE
 Washington District of Columbia 20002
 TEL 202.737.5444
 FAX 202.737.7377

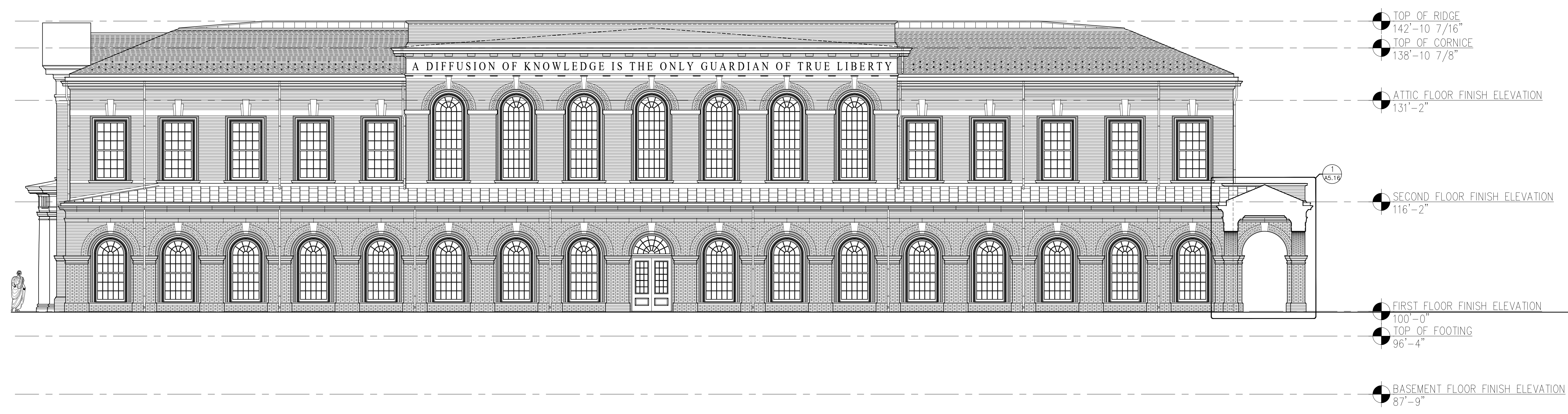
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CONSULTANT:
 MTEngineering, LLC
 149 LEWIS STREET PH: 517.437.4283
 PO BOX 232 PK: 517.437.4344
 HILLSDALE, MI 49642

Classical Education Building
 AT HILLSDALE COLLEGE
 HILLSDALE, MICHIGAN

STORM WATER MANAGEMENT CALCULATION SHEET

NOT FOR CONSTRUCTION
 DATE: MARCH 24, 2023
 SCALE:
 DRAWING #:
 C-5
 ISSUE: 50% CD
 FILE:
 COPYRIGHT © 2023



1 EAST EXTERIOR ELEVATION
A3.1 1/8"=1'

**Classical
Education
Building**

AT
HILLSDALE COLLEGE
HILLSDALE, MICHIGAN

DRAWING TITLE:

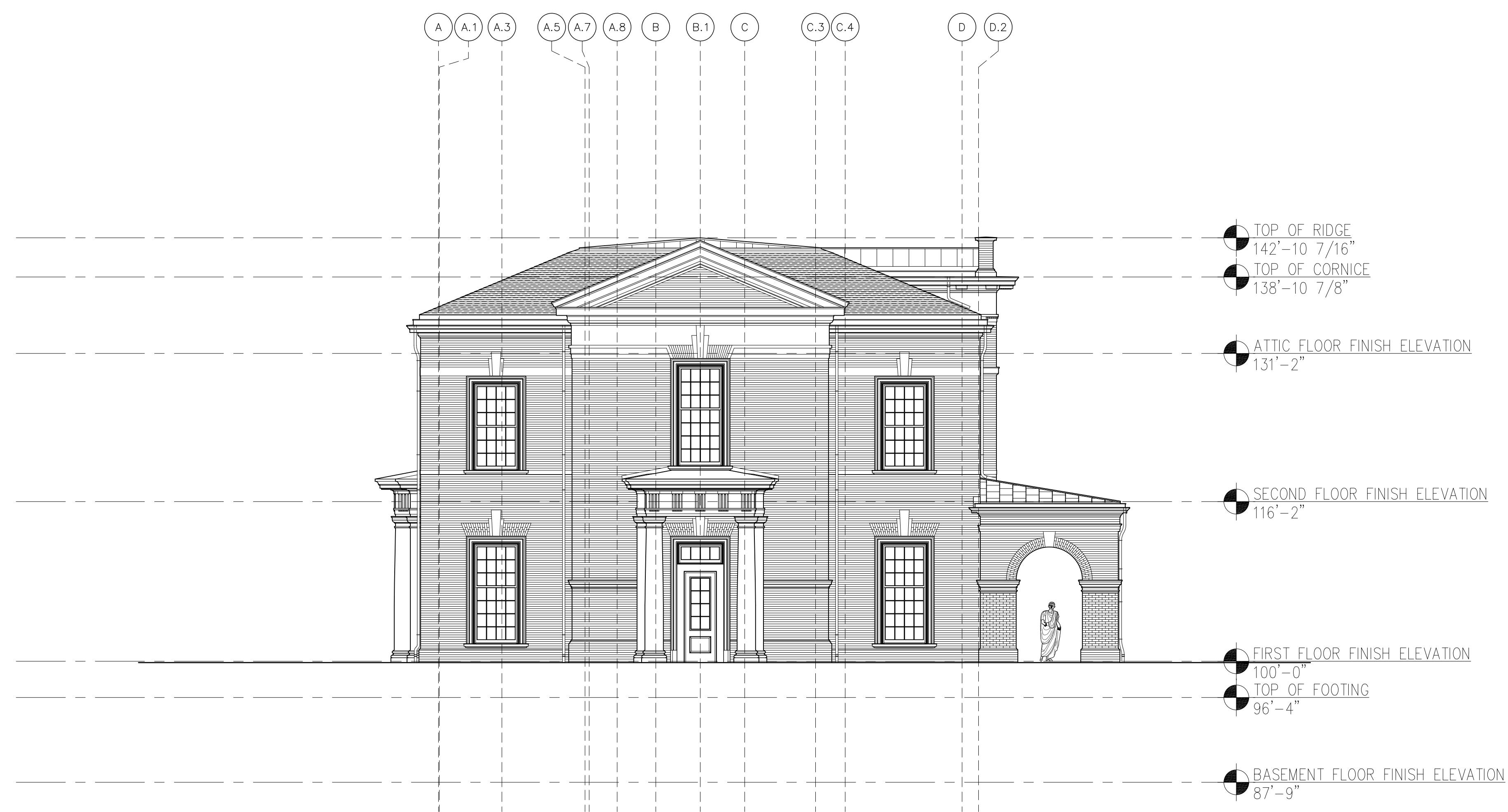
EAST EXTERIOR
ELEVATION

NOT FOR CONSTRUCTION

DATE: APRIL 14, 2023
SCALE: 1/8"=1'
DRAWING #:

A3.1

ISSUE:
50% CONSTRUCTION DOCUMENTS
FILE:



1 SOUTH EXTERIOR ELEVATION
A3.2 1/8"=1'

**Classical
Education
Building**

AT
HILLSDALE COLLEGE
HILLSDALE, MICHIGAN

DRAWING TITLE:

SOUTH EXTERIOR
ELEVATION

NOT FOR CONSTRUCTION

DATE: APRIL 14, 2023

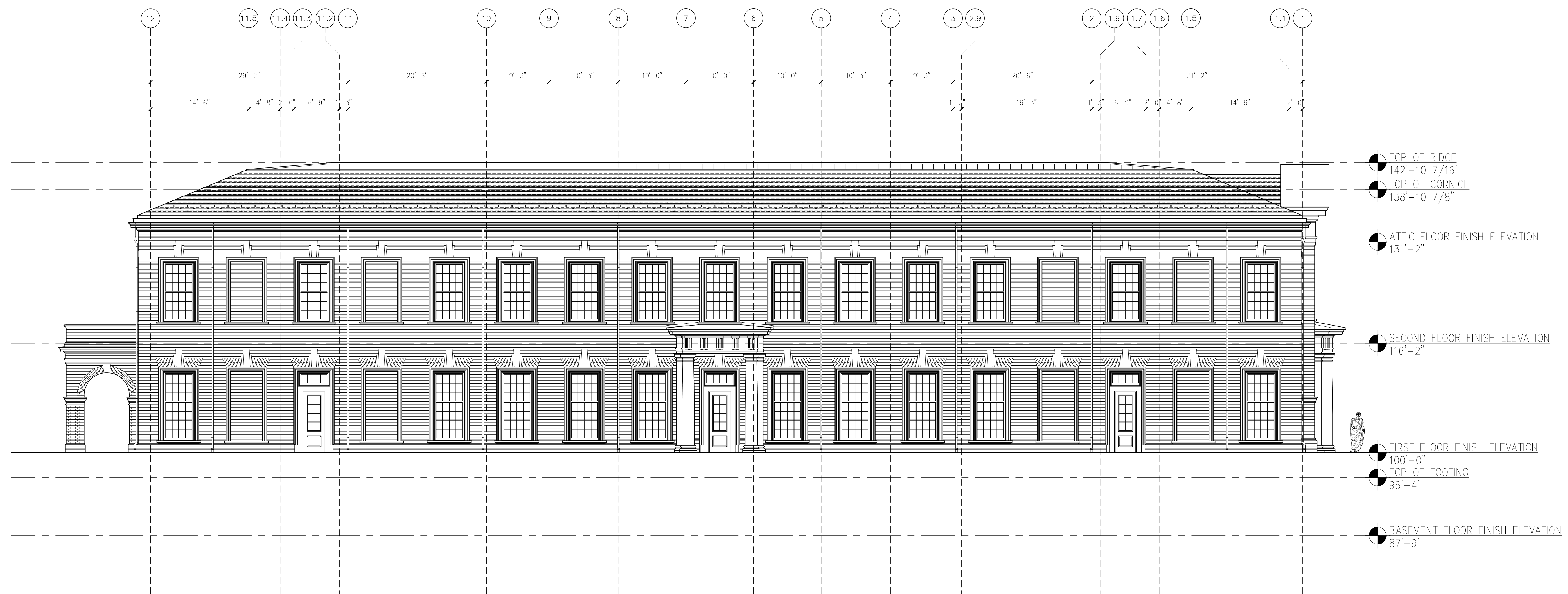
SCALE: 1/8"=1'

DRAWING #:

A3.2

ISSUE:
50% CONSTRUCTION DOCUMENTS
FILE

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1 WEST EXTERIOR ELEVATION
A3.3 1/8"=1'

**Classical
Education
Building**

AT
HILLSDALE COLLEGE
HILLSDALE, MICHIGAN

DRAWING TITLE:

WEST EXTERIOR
ELEVATION

NOT FOR CONSTRUCTION

DATE: APRIL 14, 2023

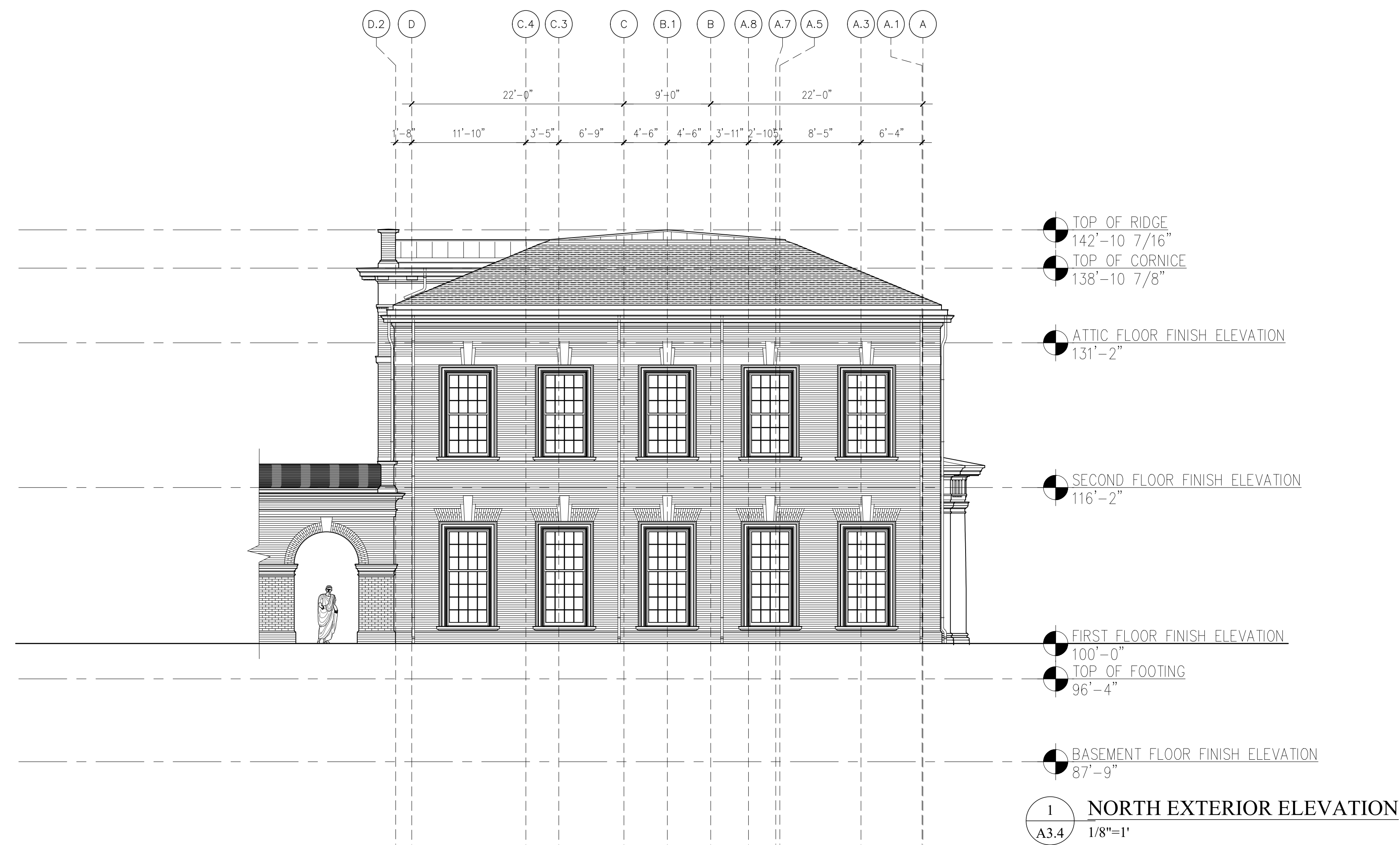
SCALE: 1/8"=1'

DRAWING #:

A3.3

ISSUE:
50% CONSTRUCTION DOCUMENTS
FILE:

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**Classical
Education
Building**

AT
HILLSDALE COLLEGE
HILLSDALE, MICHIGAN

DRAWING TITLE:

NORTH EXTERIOR
ELEVATION

NOT FOR CONSTRUCTION

DATE: APRIL 14, 2023

SCALE: 1/8"=1'

DRAWING #:

A3.4

ISSUE:
50% CONSTRUCTION DOCUMENTS
FILE:

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TO: Planning Commission

FROM: Zoning Administrator

DATE: May 17, 2023

RE: 440-450 Hidden Meadows Rezoning

Background: Hillsdale EDC (Economic Development Corporation) who owns the vacant properties in and around the Three Meadows sub-division has a purchase agreement for the sale of the remaining vacant properties. The Developer, Green Development Ventures, LLC, intends to develop the vacant properties into middle income properties. The first lot to be developed will be 440 Hidden Meadows Dr, (450 Hidden Meadows Dr. is the retention pond for the front 20 acres of the original development).

Green Development Ventures, LLC is requesting to rezone the properties from R-1, Single Family Residential to RM-1, Multiple Family Residential in order to construct 6 semi-detached duplexes on the lot. The layout and renderings of the proposed project are included. The remaining vacant properties will be developed as medium density single-family project.

Green Development Ventures, LLC
2186 East Centre Avenue
Portage, MI 49002

May 3, 2023

Mr. Alan Beeker, Zoning Administrator
Planning and Zoning Department
City of Hillsdale
97 N. Broad Street
Hillsdale, Michigan 49242

Re: Conditional Rezoning Application – 440 & 450 Hidden Meadows Drive
(Parcels #30-006-327-351-05 and #30-006-327-351-04)

Dear Mr. Beeker,

Attached please find a Conditional Rezoning Application for 440 & 450 Hidden Meadows Drive (Parcels #03-006-327-351-05 and #30-006-327-351-04). The application packet includes the following documents:

- Rezoning Request Petition Form and Review Fee Check (\$500)
- Parcel Reports with Legal Descriptions for 440 & 450 Hidden Meadows Drive
- Conditional RM-1 Rezoning Proposal/Narrative with Voluntarily Offered Conditions
- Sample Two-Family Attached Dwelling Rendering
- Preliminary Site Layout Plan

We look forward to discussing this proposal with the City and request a public hearing be scheduled for the June 21, 2023 Planning Commission meeting to formally consider this Conditional Rezoning Application.

If you have any questions or require additional information, please contact me at your earliest convenience.

Sincerely,



Michael West, AICP
Land Planning Project Manager
Green Development Ventures, LLC
2186 East Centre Avenue
Portage, Michigan 49002
(269) 365-8548
mwest@allenedwin.com



CITY OF HILLSDALE

For Office Use Only	
Date Received:	
Received By:	
Amount Paid/Check #	

Fee: \$500.00

REZONING REQUEST PETITION FORM

Re-zoning may be requested by the property owner or at the request of Planning Commission. A public hearing must be set to be heard at the regular session of the City of Hillsdale Planning Commission, which meets on the third Tuesday of each month at 5:30 p.m. A \$500.00 filing fee must accompany the application. Return application to: **City Clerk, City Hall, 97 N. Broad St. Hillsdale, Michigan 49242** or email to: abeeker@cityofhillsdale.org

Applicant's Name Green Development Ventures, LLC (Mike West)	Owner's Name The Economic Development Corporation of Hillsdale
Mailing Address 2186 E. Centre Avenue, Portage, MI 49002	Mailing Address 97 N. Broad Street, Hillsdale, MI 49242
City, State, Zip (269) 365-8548	City, State, Zip (517) 437-6444
Telephone Number	Telephone Number

IF APPLICANT IS NOT THE PROPERTY OWNER, WHAT IS THE APPLICANT'S INTEREST IN THE PROPERTY? (LAND CONTRACT, LEASE, OPTION, ETC.)

Contingent purchaser (Purchase Agreement signed 3/27/23)

Property Address: 440 & 450 Hidden Meadows Drive (6.15 acres)

Property Address: Parcels #30-006-327-351-05 and #30-006-327-351-04

Current Zoning District: R-1, Residential District

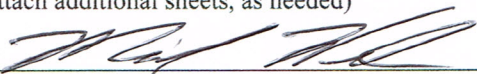
Proposed Zoning District: RM-1, Multi Family Residential District (conditional)

Explain the nature of the Practical Difficulty or Hardship with the current zoning:
Current R-1 zoning will not support proposed two-family attached dwellings/duplexes.

Conditional RM-1 rezoning proposed with 6 two-family attached dwellings/duplexes (12 units total)

See Conditional RM-1 rezoning narrative with voluntarily offered conditions and Preliminary Layout Plan (attached)

(Attach additional sheets, as needed)


Signature

May 3, 2023
Date

BELOW FOR OFFICE USE ONLY

Signature of City Clerk

Date of Hearing

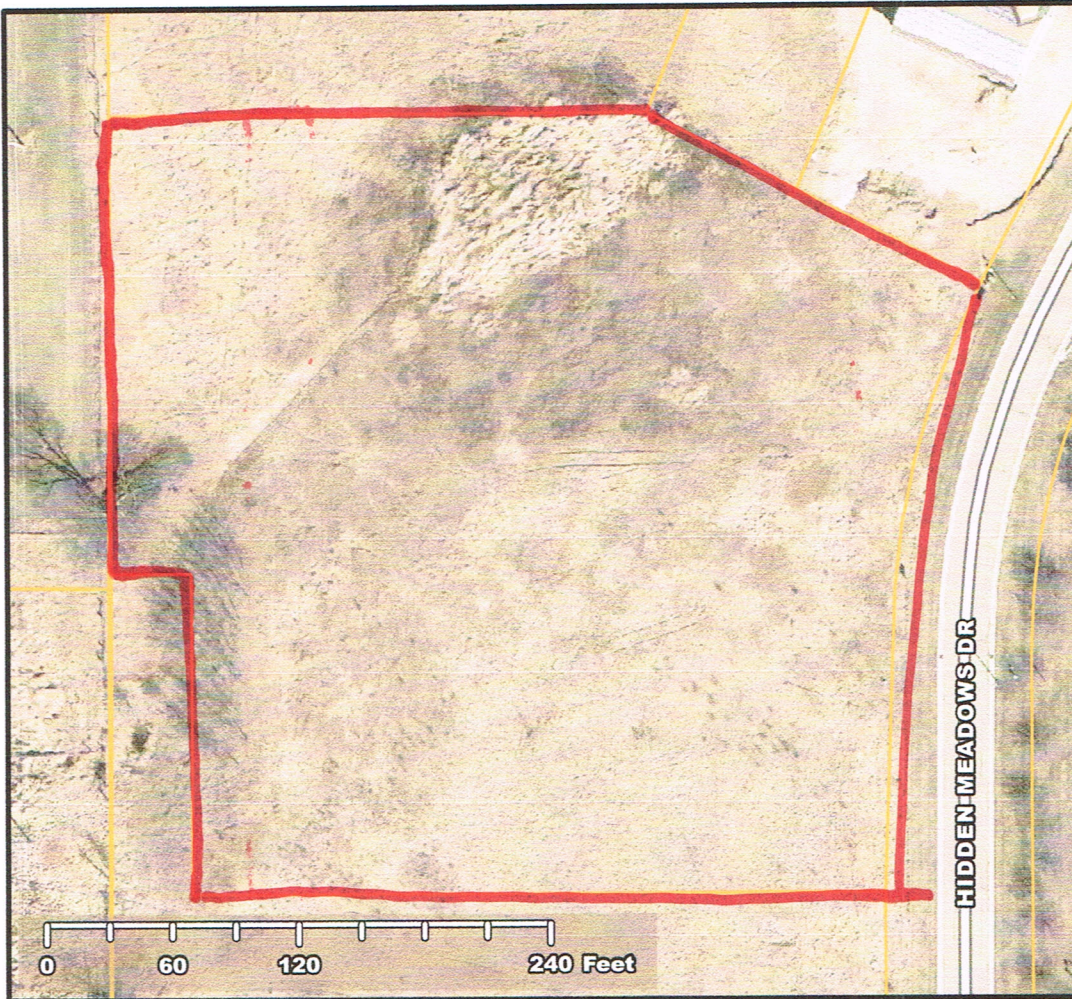
Disposition of Planning Commission _____



General Property Information

This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map and report is a compilation of records, information and data provided by various township, city, village, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The user of this map and report acknowledges that the Township/City/County shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the Township/City/County from any and all claims brought by the User, its employees or agents, or third parties which arise out of the User's access or use of the data provided.

Report and Property Data compiled as of December 16, 2022



Parcel ID: 30 006-327-351-05
Property Address: 440 HIDDEN MEADOWS DR
City/Twp/Village: CITY OF HILLSDALE

Assessor Acreage: 3.15
Property Class: 402
School District: HILLSDALE COMM PUBLIC SCHS

Tax Description

COM SW COR SEC 27 TH N89 DEG 53 MIN 24 SEC E ALG S SEC LN 369.68 FT TH N00 DEG 07 MIN 22 SEC W ALG WLY LN HIDDEN MEADOWS DR 333 FT FOR POB TH CONT N00 DEG 07 MIN 22 SEC W ALG SD WLY LN 121.23 FT TH NELY ALG SD WLY LN CRV TO RT 183.95 FT (RAD 383 FT CEN ANGLE 27 DEG 31 MIN 08 SEC BEAR N13 DEG 38 MIN 11 SEC E 182.19 FT) TO SE COR LOT 1 THREE MEADOWS NO 1 TH N62 DEG 36 MIN 16 SEC W ALG S LN LOTS 1 AND 2 205.93 FT TH S89 DEG 53 MIN 24 SEC W PAR W/ S SEC LN 230.23 FT TO INT W SEC LN TH S00 DEG 06 MIN 38 SEC E ALG SD W SEC LN 238.31 FT TH N89 DEG 53 MIN 24 SEC E 39.5 FT TH S00 DEG 06 MIN 38 SEC E 155 FT TH N89 DEG 53 MIN 24 SEC E 330.11 FT TO POB 3.15A M/L UNPLATTED SEC 27 T6S R3W THIRD WARD SPLIT ----- Remainder of Description on File -----

Tax Information

PRE/Qual Ag %: 0	2022 SEV: 0	2021 SEV: 0
Land Value: 71,161	2022 Taxable Value: 0	2021 Taxable Value: 0
Land Imp Value: 0	Liber/Page(1-2-3): 1292/41	
Building Value: 0	ECF Table: 3N1TM.WARD 3 NEZ 1 THREE MEADOWS	
True Cash Value: 71,161	Land Table: 3N1TM.WARD 3 NEZ 1 THREE MEADOWS	

	Summer Taxes 2022	Winter Taxes 2022	Village Taxes 2022
Base Tax:	0	0	0
Special Asmt:	0	0	0
Admin Fee:	0	0	0
Total Tax:	0	0	0
Amount Paid:	0	0	0
Interest:	0	0	0
Paid Date:	*	*	*
Balance Due:	0	0	0

Total Delinquent Tax: \$0.00

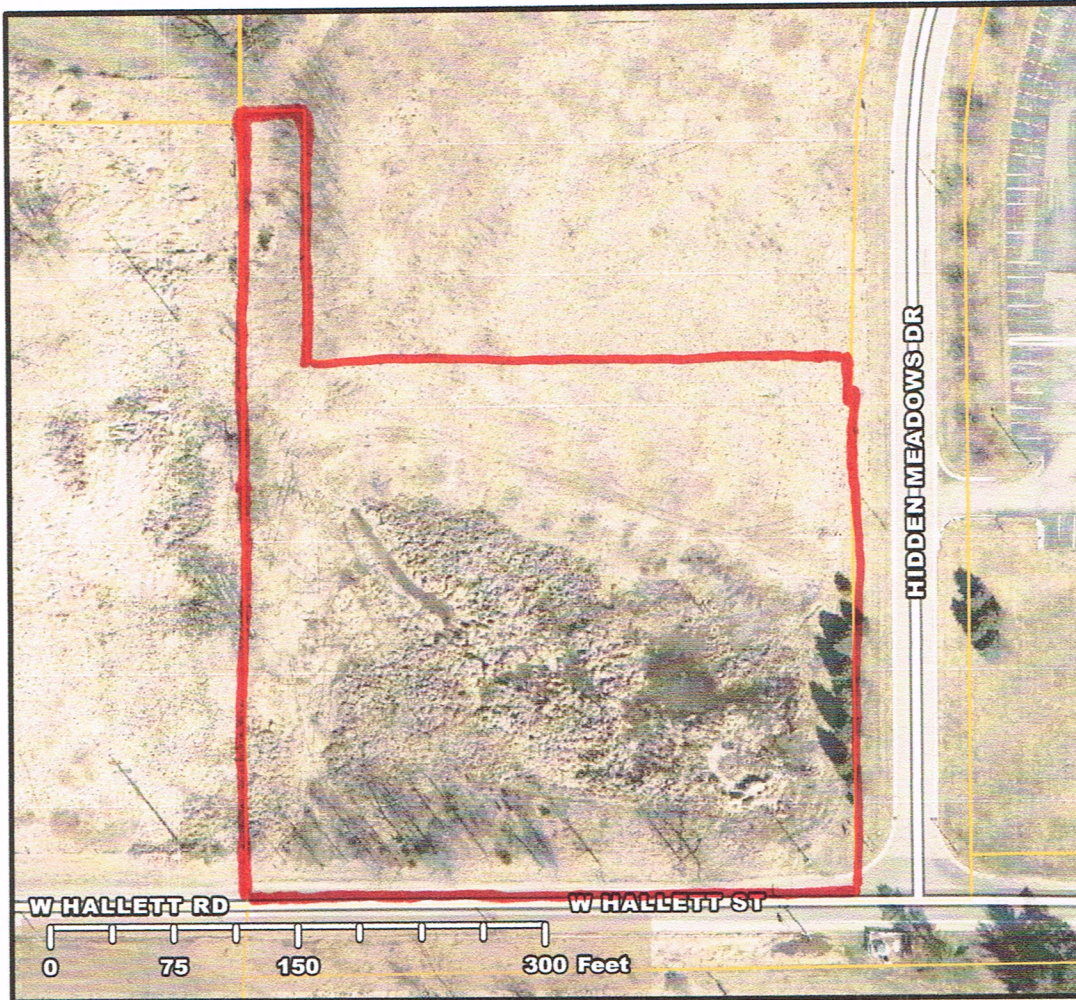
* Tax Payment data is provided by some, but not all local Treasurers and is current with data provided as of Report Date above
 * Please contact the appropriate City/Village/Township Treasurer for up to date information.
 * For payoff amounts or a breakdown of delinquent taxes contact the County Treasurer's office at (517) 437-4700



General Property Information

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**Report and Property Data
compiled as of
December 16, 2022**



Parcel ID: 30 006-327-351-04
Property Address: 450 HIDDEN MEADOWS DR
City/Twp/Village: CITY OF HILLSDALE

Assessor Acreage: 2.97
Property Class: 402
School District: HILLSDALE COMM PUBLIC SCHS

Tax Description

BEG SW COR SEC 27 TH N89 DEG 53 MIN 24 SEC E ALG S LN SW¼ 369.68 FT TH N00 DEG 7 MIN 22 SEC W ALG WLY LN HIDDEN MEADOWS DR (THREE MEADOWS NO 1) 333 FT TH S89 DEG 53 MIN 24 SEC W 330.11 FT TH N00 DEG 06 MIN 38 SEC W 155 FT TH S89 DEG 53 MIN 24 SEC W 39.5 FT TO INT W LN SW¼ TH S00 DEG 06 MIN 38 SEC E ALG SD W LN 488 FT TO POB DETENTION POND AND COUNTY DRAIN S 33 FT THEREOF HALLETT ST R/W 2.97A M/L UNPLATTED SEC 27 T6S R3W THIRD WARD SPLIT ON 09/09/2019 FROM 006-327-351-01 (INCLUDED IN ERROR); SPLIT/COMBINED ON 06/23/2021 FROM 006-327-351-03;

Tax Information

PRE/Qual Ag %: 0	2022 SEV: 0	2021 SEV: 0
Land Value: 0	2022 Taxable Value: 0	2021 Taxable Value: 0
Land Imp Value: 0	Liber/Page(1-2-3): 1292/41	
Building Value: 0	ECF Table: 3N1TM.WARD 3 NEZ 1 THREE MEADOWS	
True Cash Value: 0	Land Table: 3N1TM.WARD 3 NEZ 1 THREE MEADOWS	

	Summer Taxes 2022	Winter Taxes 2022	Village Taxes 2022
Base Tax:	0	0	0
Special Asmt:	0	0	0
Admin Fee:	0	0	0
Total Tax:	0	0	0
Amount Paid:	0	0	0
Interest:	0	0	0
Paid Date:	*	*	*
Balance Due:	0	0	0

Total Delinquent Tax: \$0.00

* Tax Payment data is provided by some, but not all local Treasurers and is current with data provided as of Report Date above
 * Please contact the appropriate City/Village/Township Treasurer for up to date information.
 * For payoff amounts or a breakdown of delinquent taxes contact the County Treasurer's office at (517) 437-4700

Proposed Conditional RM-1 Rezoning Request
(Green Development Ventures, LLC)
5-3-23

440 & 450 Hidden Meadows Drive (6.15 Acres)
Parcels #30-006-327-351-05 and #30-006-327-351-04
City of Hillsdale, Michigan

Green Development Ventures, LLC is requesting a Conditional Rezoning of this approximate 6.15 acre property addressed as 440 & 450 Hidden Meadows Drive (Parcels #30-006-327-351-05 and #30-006-327-351-04). Parcel maps with legal descriptions which describe the proposed rezoning area are attached with this application. The subject property is currently zoned R-1, Residential District. A Conditional Rezoning from R-1, Residential District to RM-1, Multi Family Residential District is requested for a specific two-family attached (duplex) residential project which will be concentrated to the northern portion of the property. The existing storm water retention basin located on the southern portion of the property will remain. The specific conditions of this project, which are voluntarily offered, are described below and illustrated on the Preliminary Site Layout Plan.

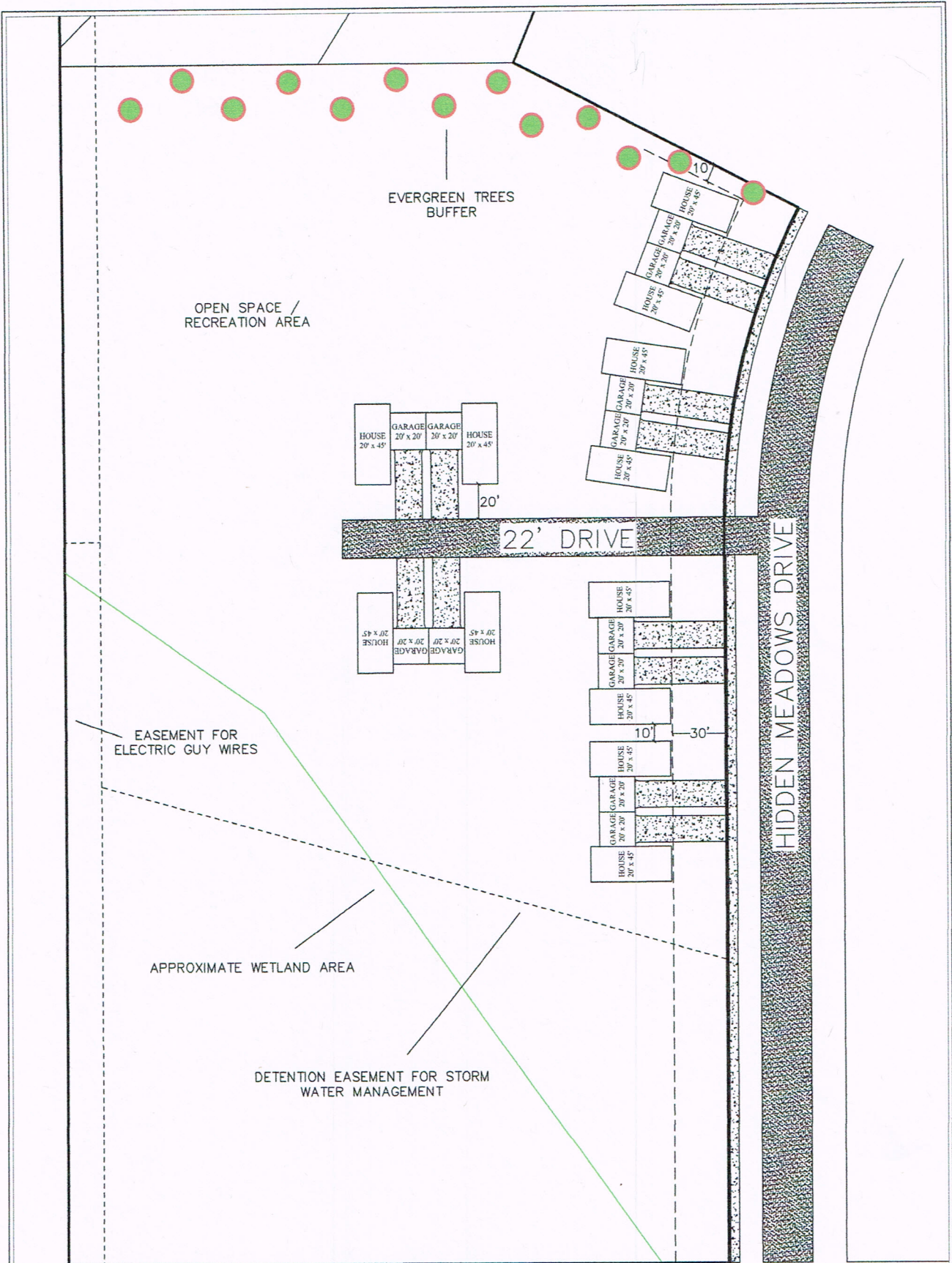
- 1) The project will include a total of 6 two-family attached dwellings (duplexes) with a total of 12 units. The existing storm water retention basin located on the southern portion of the property will remain.
- 2) All dwellings will meet the minimum setback and separation standards for the RM-1, Multi Family Residential District.
- 3) All dwellings will be connected to the public sanitary sewer and public water supply system.
- 4) Sidewalks shall be installed along the west side of Hidden Meadows Drive.
- 5) Open space areas and screening/landscaping will be provided as generally depicted on the Preliminary Site Layout Plan.

Sincerely,



Michael West, AICP
Land Planning Project Manager
Green Development Ventures, LLC
2186 East Centre Avenue
Portage, Michigan 49002
(269) 365-8548
mwest@allenedwin.com





DEVELOPMENT NOTES
DUPLIX UNITS: 14

SETBACKS
FRONT: 30'
SIDE: 10'

4/14/2023
1" = 50'