



Planning Commission
97 North Broad Street
Hillsdale, Michigan 49242-1695
(517) 437-6440 Fax: (517) 437-6450

Planning Commission Agenda **June 21, 2023**

- I. Call to Order 5:30 pm**
 - A. Pledge of Allegiance
 - B. Roll Call
- II. Public Comment**

Any agenda item – 3 min. limit
- III. Consent Items**
 - A. Approval of agenda
 - B. Approval of Planning Commission 5/17/2023 minutes
- IV. Communications**
 - A. R2PC June Packet
https://www.cityofhillsdale.org/sites/default/files/fileattachments/planning_commission/meeting/14371/june_8_2023_r2pc_pkt.pdf
- V. Public Hearing**
 - A. Rezoning 440 & 450 Hidden Meadows Drive
- VI. Site Plan Reviews**
 - A. 188 Hillsdale – Hillsdale College, Phi Sigma Pavilion
 - B. 181 Uran – Lennox Distillery
- VII. Old Business**
 - A. No old business
- VIII. New Business**
 - A. Sec. 36-6 Zoning Definitions review.
- IX. Zoning Administrator Report**
- X. Commissioners' Comments**
- XI. Public Comment**

Any Commission related item – 3 min. limit
- XII. Adjournment**

Next meeting: **Wednesday, July 19, 2023 at 5:30 pm**

Planning Commission Meeting Minutes
Hillsdale City Hall
Council Chambers
May 17, 2023
5:30 pm

I. Call to Order

Meeting opened at 5:30 pm followed by the Pledge of Allegiance, and Roll Call.

II. Members Present

- A. Members Present: Chairman Eric Moore, , Secretary Elias McConnell, Commissioner Roma Rogers, Commissioner Ron Scholl
- B. Public Present: Zoning Administrator Alan Beeker, Dave Billington, Dan Lewis, Quinn O’Heeney, Matt Taylor, Sam Fry, Brian Farkas, Mike West
- C. Members Absent: Vice Chair Kerry Laycock, Commissioner William Morrissey, Commissioner Penny Swan

III. Public Comment

No public comment

IV. Consent Agenda and Minutes

Motion to approve the Consent items as presented made by Commissioner Scholl, seconded by Commissioner Rogers, motion approved unanimously.

Motion to approve the April minutes items as amended to correct Vice Chair Kerry Laycock’s name made by Commissioner Moore, seconded by Commissioner Rogers, motion approved unanimously.

V. Communications

R2PC May Packet

VI. Site Plan Review:

- A. 111 E Fayette – Hillsdale College, Sajak Media Center
 - Hillsdale College is proposing the construction of a new media center educational building. The building will be located at 111 E. Fayette St. on the west side of the lot located at 113 E. Fayette St, formerly the Mauck Elementary building. The building will be constructed in two phases. The project includes a 21,682 s.f. structure and site improvements. City Department heads and project designers met on May 3, 2023 to discuss the project.
 - Discussion
 - Motion to approve entire project by Commissioner Rogers, supported by Commissioner Scholl, unanimous approval
- B. 248 Hillsdale – Hillsdale College, Classical Education Building
 - Hillsdale College is proposing the construction of a new educational building on the “Quad”. The building will be located at 248 Hillsdale St. on the west side of the quad located east of the Searle Center between Central Hall and the Chapel buildings. The project includes a two

story structure and site improvements. City Department heads and project designers met on April 19, 2023 to discuss the project. All revisions have been completed except sanitary. 90% completed drawings are submitted for Planning Commission review. The College and City are requesting that approvals be contingent on resolution of sanitary flow requirements prior to any permits are issued.

- Discussed contingency for sewer.
- Commissioner Scholl moved to approve contingent on the resolution of sanitary design with the City BPU, second by Commissioner Rogers. Unanimous approval.

VII. Old Business

None

VIII. New Business

A. Rezoning of 440 & 450 Hidden Meadows.

- Hillsdale EDC (Economic Development Corporation) who owns the vacant properties in and around the Three Meadows sub-division has a purchase agreement for the sale of the remaining vacant properties. The Developer, Green Development Ventures, LLC, intends to develop the vacant properties into middle income properties. The first lot to be developed will be 440 Hidden Meadows (450 Hidden Meadows is the retention pond for the front 20 acres of the original development).

Green Development Ventures, LLC is requesting to rezone the properties from R-1, Single Family Residential to RM-1, Multiple Family Residential in order to construct 6 semi-detached duplexes on the lot. The layout and renderings of the proposed project are included. The remaining vacant properties will be developed as medium density single-family project.

- Rezoning discussion
- Motion to set public hearing for rezoning of 440 & 450 Hidden Meadows from R-1 to RM1 during the June regular meeting made by Commissioner Moore, supported by Commissioner Scholl.
- Unanimous approval.

IX. Zoning Administrator Report

- Keefer is still dealing with water in basement
- Meijer site development is underway
- County Annex building sold

X. Commissioners' Comments

No Commissioners' comments

XI. Public Comment

No Public Comment

XII. Adjournment

Commissioner Scholl moved to adjourn the meeting, Chair Moore seconded. Motion passed unanimously. Meeting adjourned at 6:11 pm.

XIII. Next meeting: June 21, 2023 at 5:30 pm.



TO: Planning Commission

FROM: Zoning Administrator

DATE: June 21, 2023

RE: 440-450 Hidden Meadows Rezoning Public Hearing

Background: Hillsdale EDC (Economic Development Corporation) who owns the vacant properties in and around the Three Meadows sub-division has a purchase agreement for the sale of the remaining vacant properties. The Developer, Green Development Ventures, LLC, intends to develop the vacant properties into middle income properties. The first lot to be developed will be 440 Hidden Meadows Dr, (450 Hidden Meadows Dr. is the retention pond for the front 20 acres of the original development).

Green Development Ventures, LLC is requesting to rezone the properties from R-1, Single Family Residential to RM-1, Multiple Family Residential in order to construct 6 semi-detached duplexes on the lot. The layout and renderings of the proposed project are included. The remaining vacant properties will be developed as medium density single-family project.

Zoning posted the public hearing notices and contacted all property owners within a 300' radius. EDC and Green Development Ventures, LLC are requesting that the Planning Commission recommend the rezoning of 440 & 450 Hidden Meadows Drive to City Council for adoption.

Green Development Ventures, LLC
2186 East Centre Avenue
Portage, MI 49002

May 3, 2023

Mr. Alan Beeker, Zoning Administrator
Planning and Zoning Department
City of Hillsdale
97 N. Broad Street
Hillsdale, Michigan 49242

Re: Conditional Rezoning Application – 440 & 450 Hidden Meadows Drive
(Parcels #30-006-327-351-05 and #30-006-327-351-04)

Dear Mr. Beeker,

Attached please find a Conditional Rezoning Application for 440 & 450 Hidden Meadows Drive (Parcels #03-006-327-351-05 and #30-006-327-351-04). The application packet includes the following documents:

- Rezoning Request Petition Form and Review Fee Check (\$500)
- Parcel Reports with Legal Descriptions for 440 & 450 Hidden Meadows Drive
- Conditional RM-1 Rezoning Proposal/Narrative with Voluntarily Offered Conditions
- Sample Two-Family Attached Dwelling Rendering
- Preliminary Site Layout Plan

We look forward to discussing this proposal with the City and request a public hearing be scheduled for the June 21, 2023 Planning Commission meeting to formally consider this Conditional Rezoning Application.

If you have any questions or require additional information, please contact me at your earliest convenience.

Sincerely,



Michael West, AICP
Land Planning Project Manager
Green Development Ventures, LLC
2186 East Centre Avenue
Portage, Michigan 49002
(269) 365-8548
mwest@allenedwin.com



CITY OF HILLSDALE

For Office Use Only	
Date Received:	
Received By:	
Amount Paid/Check #	

Fee: \$500.00

REZONING REQUEST PETITION FORM

Re-zoning may be requested by the property owner or at the request of Planning Commission. A public hearing must be set to be heard at the regular session of the City of Hillsdale Planning Commission, which meets on the third Tuesday of each month at 5:30 p.m. A \$500.00 filing fee must accompany the application. Return application to: **City Clerk, City Hall, 97 N. Broad St. Hillsdale, Michigan 49242** or email to: abeeker@cityofhillsdale.org

Applicant's Name Green Development Ventures, LLC (Mike West)	Owner's Name The Economic Development Corporation of Hillsdale
Mailing Address 2186 E. Centre Avenue, Portage, MI 49002	Mailing Address 97 N. Broad Street, Hillsdale, MI 49242
City, State, Zip (269) 365-8548	City, State, Zip (517) 437-6444
Telephone Number	Telephone Number

IF APPLICANT IS NOT THE PROPERTY OWNER, WHAT IS THE APPLICANT'S INTEREST IN THE PROPERTY? (LAND CONTRACT, LEASE, OPTION, ETC.)

Contingent purchaser (Purchase Agreement signed 3/27/23)

Property Address: 440 & 450 Hidden Meadows Drive (6.15 acres)

Property Address: Parcels #30-006-327-351-05 and #30-006-327-351-04

Current Zoning District: R-1, Residential District

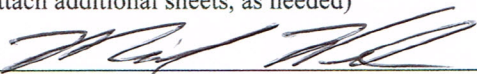
Proposed Zoning District: RM-1, Multi Family Residential District (conditional)

Explain the nature of the Practical Difficulty or Hardship with the current zoning:
Current R-1 zoning will not support proposed two-family attached dwellings/duplexes.

Conditional RM-1 rezoning proposed with 6 two-family attached dwellings/duplexes (12 units total)

See Conditional RM-1 rezoning narrative with voluntarily offered conditions and Preliminary Layout Plan (attached)

(Attach additional sheets, as needed)


Signature

May 3, 2023
Date

BELOW FOR OFFICE USE ONLY

Signature of City Clerk

Date of Hearing

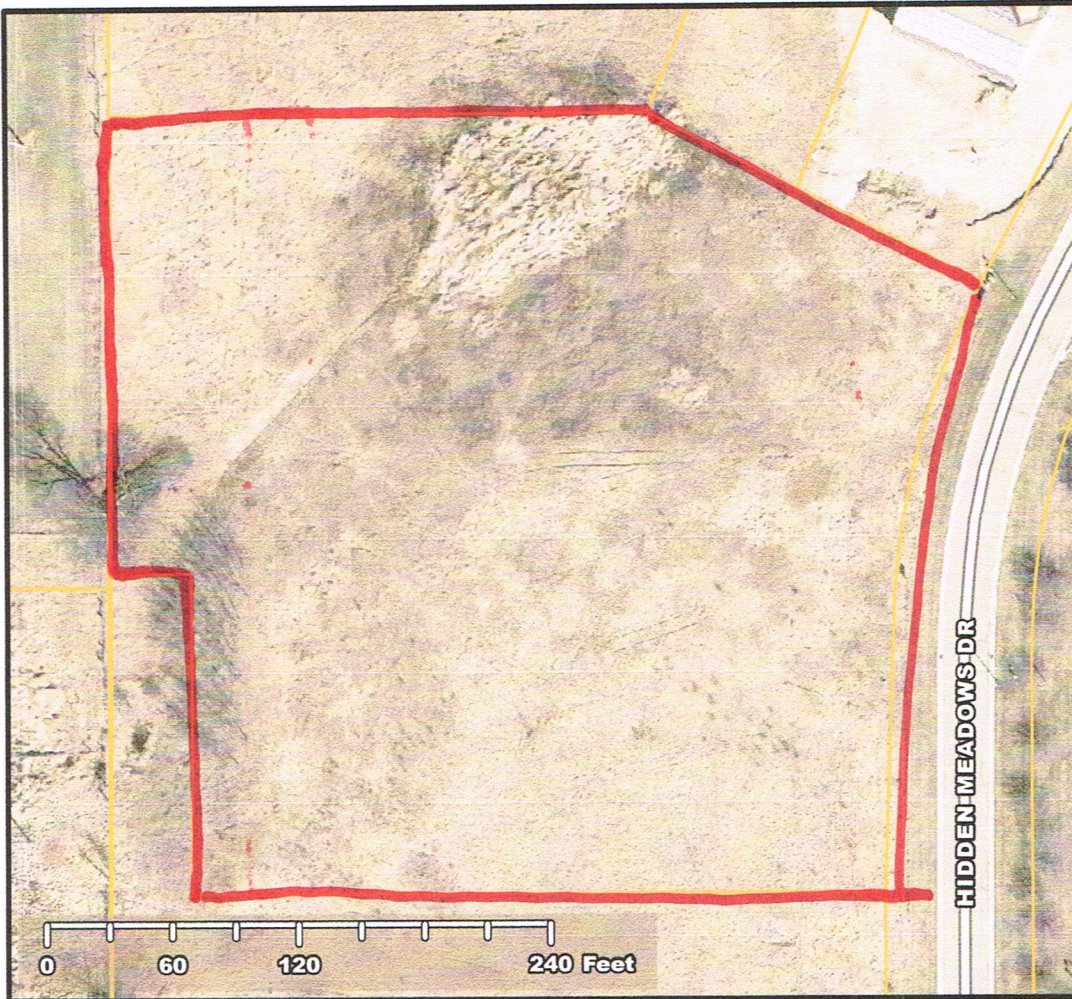
Disposition of Planning Commission _____



General Property Information

This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map and report is a compilation of records, information and data provided by various township, city, village, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The user of this map and report acknowledges that the Township/City/County shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the Township/City/County from any and all claims brought by the User, its employees or agents, or third parties which arise out of the User's access or use of the data provided.

Report and Property Data compiled as of December 16, 2022



Parcel ID: 30 006-327-351-05
Property Address: 440 HIDDEN MEADOWS DR
City/Twp/Village: CITY OF HILLSDALE

Assessor Acreage: 3.15
Property Class: 402
School District: HILLSDALE COMM PUBLIC SCHS

Tax Description

COM SW COR SEC 27 TH N89 DEG 53 MIN 24 SEC E ALG S SEC LN 369.68 FT TH N00 DEG 07 MIN 22 SEC W ALG WLY LN HIDDEN MEADOWS DR 333 FT FOR POB TH CONT N00 DEG 07 MIN 22 SEC W ALG SD WLY LN 121.23 FT TH NELY ALG SD WLY LN CRV TO RT 183.95 FT (RAD 383 FT CEN ANGLE 27 DEG 31 MIN 08 SEC BEAR N13 DEG 38 MIN 11 SEC E 182.19 FT) TO SE COR LOT 1 THREE MEADOWS NO 1 TH N62 DEG 36 MIN 16 SEC W ALG S LN LOTS 1 AND 2 205.93 FT TH S89 DEG 53 MIN 24 SEC W PAR W/ S SEC LN 230.23 FT TO INT W SEC LN TH S00 DEG 06 MIN 38 SEC E ALG SD W SEC LN 238.31 FT TH N89 DEG 53 MIN 24 SEC E 39.5 FT TH S00 DEG 06 MIN 38 SEC E 155 FT TH N89 DEG 53 MIN 24 SEC E 330.11 FT TO POB 3.15A M/L UNPLATTED SEC 27 T6S R3W THIRD WARD SPLIT ----- Remainder of Description on File -----

Tax Information

PRE/Qual Ag %: 0	2022 SEV: 0	2021 SEV: 0
Land Value: 71,161	2022 Taxable Value: 0	2021 Taxable Value: 0
Land Imp Value: 0	Liber/Page(1-2-3): 1292/41	
Building Value: 0	ECF Table: 3N1TM.WARD 3 NEZ 1 THREE MEADOWS	
True Cash Value: 71,161	Land Table: 3N1TM.WARD 3 NEZ 1 THREE MEADOWS	

	Summer Taxes 2022	Winter Taxes 2022	Village Taxes 2022
Base Tax:	0	0	0
Special Asmt:	0	0	0
Admin Fee:	0	0	0
Total Tax:	0	0	0
Amount Paid:	0	0	0
Interest:	0	0	0
Paid Date:	*	*	*
Balance Due:	0	0	0

Total Delinquent Tax: \$0.00

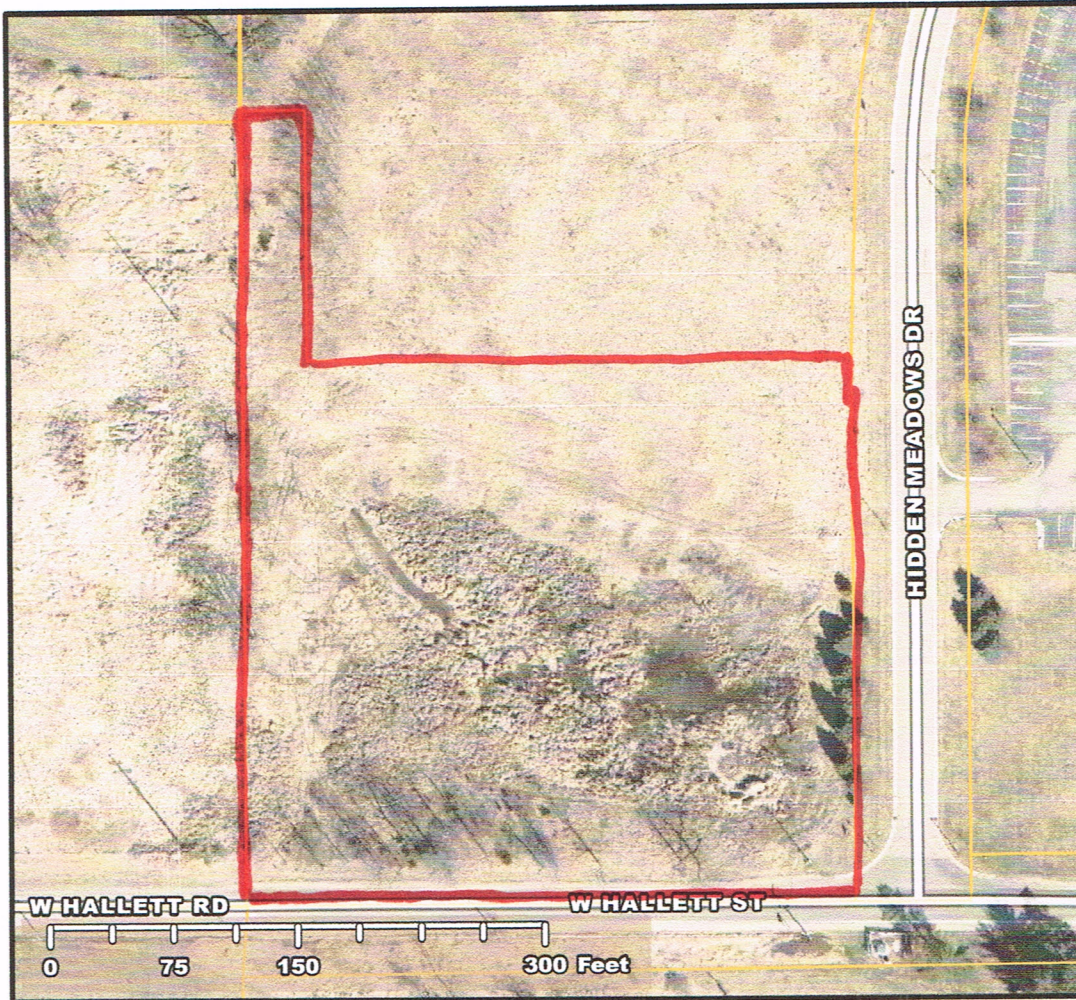
* Tax Payment data is provided by some, but not all local Treasurers and is current with data provided as of Report Date above
 * Please contact the appropriate City/Village/Township Treasurer for up to date information.
 * For payoff amounts or a breakdown of delinquent taxes contact the County Treasurer's office at (517) 437-4700



General Property Information

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**Report and Property Data
compiled as of
December 16, 2022**



Parcel ID: 30 006-327-351-04
Property Address: 450 HIDDEN MEADOWS DR
City/Twp/Village: CITY OF HILLSDALE

Assessor Acreage: 2.97
Property Class: 402
School District: HILLSDALE COMM PUBLIC SCHS

Tax Description

BEG SW COR SEC 27 TH N89 DEG 53 MIN 24 SEC E ALG S LN SW¼ 369.68 FT TH N00 DEG 7 MIN 22 SEC W ALG WLY LN HIDDEN MEADOWS DR (THREE MEADOWS NO 1) 333 FT TH S89 DEG 53 MIN 24 SEC W 330.11 FT TH N00 DEG 06 MIN 38 SEC W 155 FT TH S89 DEG 53 MIN 24 SEC W 39.5 FT TO INT W LN SW¼ TH S00 DEG 06 MIN 38 SEC E ALG SD W LN 488 FT TO POB DETENTION POND AND COUNTY DRAIN S 33 FT THEREOF HALLETT ST R/W 2.97A M/L UNPLATTED SEC 27 T6S R3W THIRD WARD SPLIT ON 09/09/2019 FROM 006-327-351-01 (INCLUDED IN ERROR); SPLIT/COMBINED ON 06/23/2021 FROM 006-327-351-03;

Tax Information

PRE/Qual Ag %: 0	2022 SEV: 0	2021 SEV: 0
Land Value: 0	2022 Taxable Value: 0	2021 Taxable Value: 0
Land Imp Value: 0	Liber/Page(1-2-3): 1292/41	
Building Value: 0	ECF Table: 3N1TM.WARD 3 NEZ 1 THREE MEADOWS	
True Cash Value: 0	Land Table: 3N1TM.WARD 3 NEZ 1 THREE MEADOWS	

	Summer Taxes 2022	Winter Taxes 2022	Village Taxes 2022
Base Tax:	0	0	0
Special Asmt:	0	0	0
Admin Fee:	0	0	0
Total Tax:	0	0	0
Amount Paid:	0	0	0
Interest:	0	0	0
Paid Date:	*	*	*
Balance Due:	0	0	0

Total Delinquent Tax: \$0.00

* Tax Payment data is provided by some, but not all local Treasurers and is current with data provided as of Report Date above
 * Please contact the appropriate City/Village/Township Treasurer for up to date information.
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Proposed Conditional RM-1 Rezoning Request
(Green Development Ventures, LLC)

5-3-23

440 & 450 Hidden Meadows Drive (6.15 Acres)
Parcels #30-006-327-351-05 and #30-006-327-351-04
City of Hillsdale, Michigan

Green Development Ventures, LLC is requesting a Conditional Rezoning of this approximate 6.15 acre property addressed as 440 & 450 Hidden Meadows Drive (Parcels #30-006-327-351-05 and #30-006-327-351-04). Parcel maps with legal descriptions which describe the proposed rezoning area are attached with this application. The subject property is currently zoned R-1, Residential District. A Conditional Rezoning from R-1, Residential District to RM-1, Multi Family Residential District is requested for a specific two-family attached (duplex) residential project which will be concentrated to the northern portion of the property. The existing storm water retention basin located on the southern portion of the property will remain. The specific conditions of this project, which are voluntarily offered, are described below and illustrated on the Preliminary Site Layout Plan.

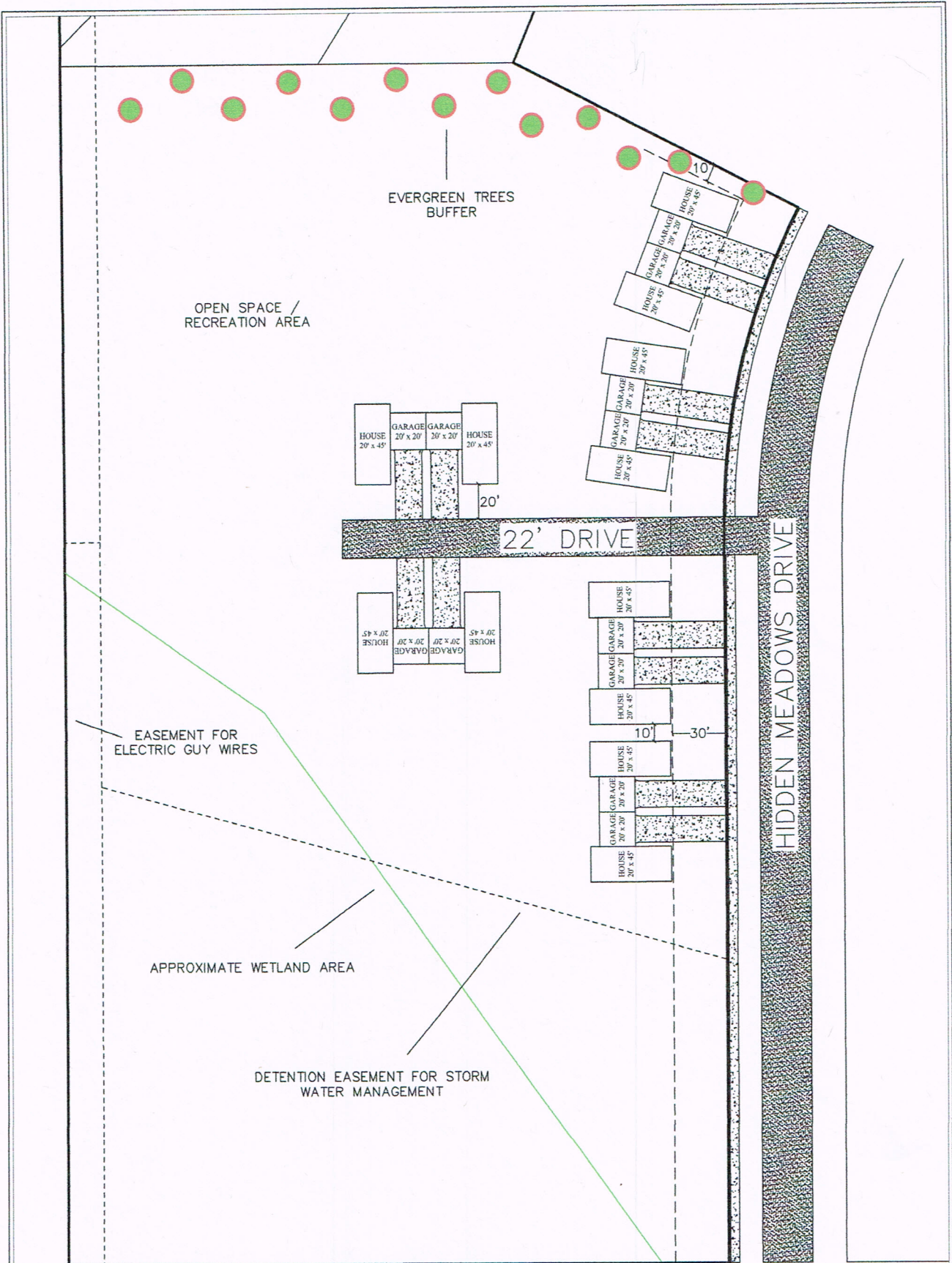
- 1) The project will include a total of 6 two-family attached dwellings (duplexes) with a total of 12 units. The existing storm water retention basin located on the southern portion of the property will remain.
- 2) All dwellings will meet the minimum setback and separation standards for the RM-1, Multi Family Residential District.
- 3) All dwellings will be connected to the public sanitary sewer and public water supply system.
- 4) Sidewalks shall be installed along the west side of Hidden Meadows Drive.
- 5) Open space areas and screening/landscaping will be provided as generally depicted on the Preliminary Site Layout Plan.

Sincerely,



Michael West, AICP
Land Planning Project Manager
Green Development Ventures, LLC
2186 East Centre Avenue
Portage, Michigan 49002
(269) 365-8548
mwest@allenedwin.com





DEVELOPMENT NOTES
DUPLIX UNITS: 14

SETBACKS
FRONT: 30'
SIDE: 10'

4/14/2023
1"=50'



TO: Planning Commission

FROM: Zoning Administrator

DATE: June 21, 2023

RE: Hillsdale College Phi Sigma Pavilion

Background: The College and Phi Sig alumni are proposing constructing a new pavilion on Hillsdale St. across from Broadlawn. The plans were submitted for review in May. City Department heads and project designers met on June 1, 2023 to discuss the project. All revisions have been completed and the final drawings are submitted for Planning Commission review.

**TOPOGRAPHIC & BOUNDARY SURVEY
FOR HILLSDALE COLLEGE**

PROPERTY IN THE CITY OF HILLSDALE, HILLSDALE COUNTY, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

SUBDIVISION "A" OF LOT 12 OF BLACKMAR AND BEEBE'S ADDITION TO THE VILLAGE (NOW CITY) OF HILLSDALE, EXCEPT 2 RODS WIDE OFF THE WEST END DEDICATED FOR AN ALLEY, AND EXCEPT 2 RODS WIDE OFF THE SOUTH SIDE AND EXCEPT 5 RODS WIDE OFF THE NORTH SIDE THEREOF,

ALSO COMMENCING AT THE NORTHEAST CORNER OF SUBDIVISION "A" IN THE CENTER OF LOT 12; THENCE SOUTH 5 RODS; THENCE WEST TO THE ALLEY; THENCE NORTH 5 RODS; THENCE EAST TO THE PLACE OF BEGINNING. BEING PART OF LOT 12 OF BLACKMAR AND BEEBE'S ADDITION TO THE VILLAGE, NOW CITY OF HILLSDALE.

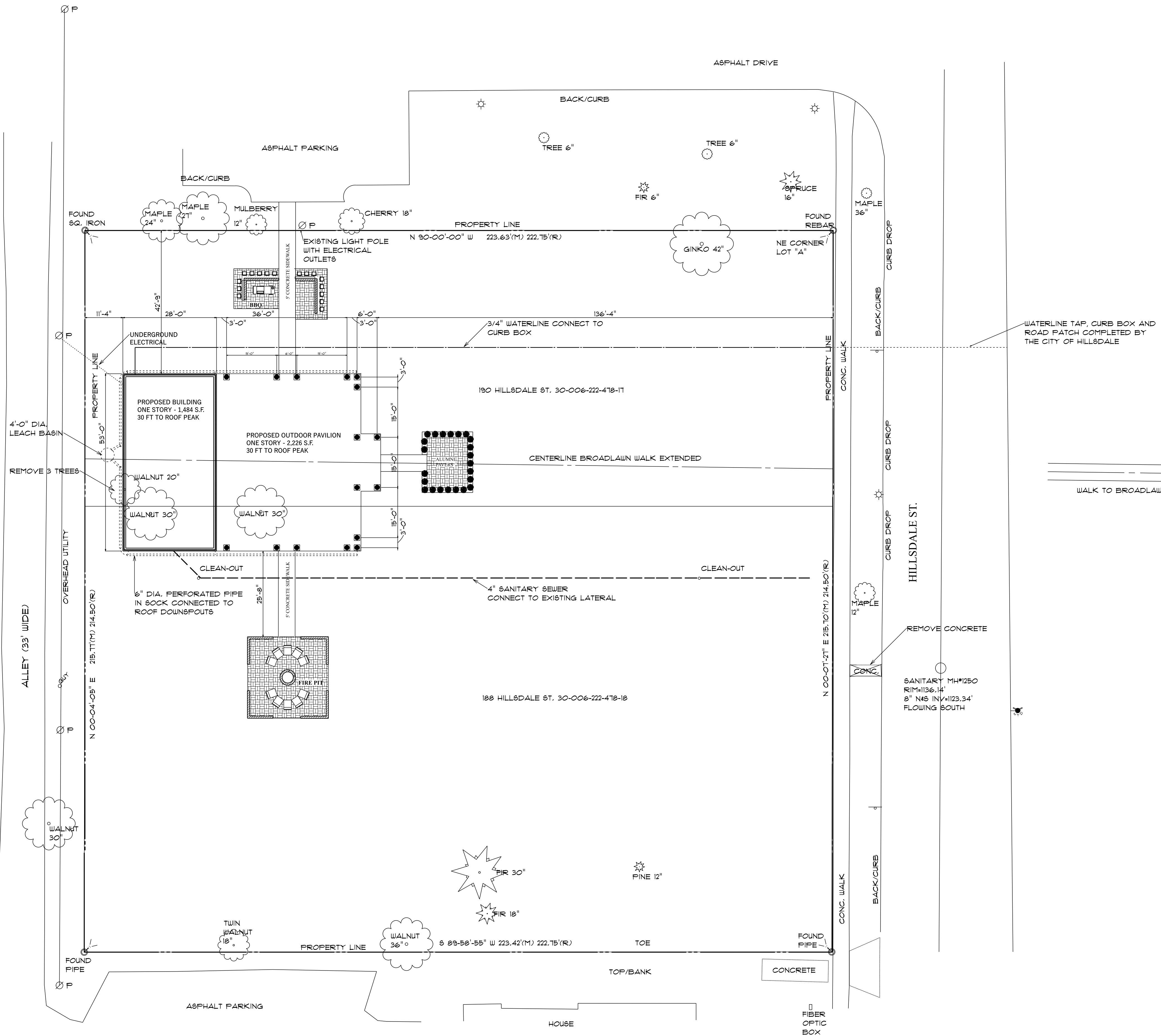
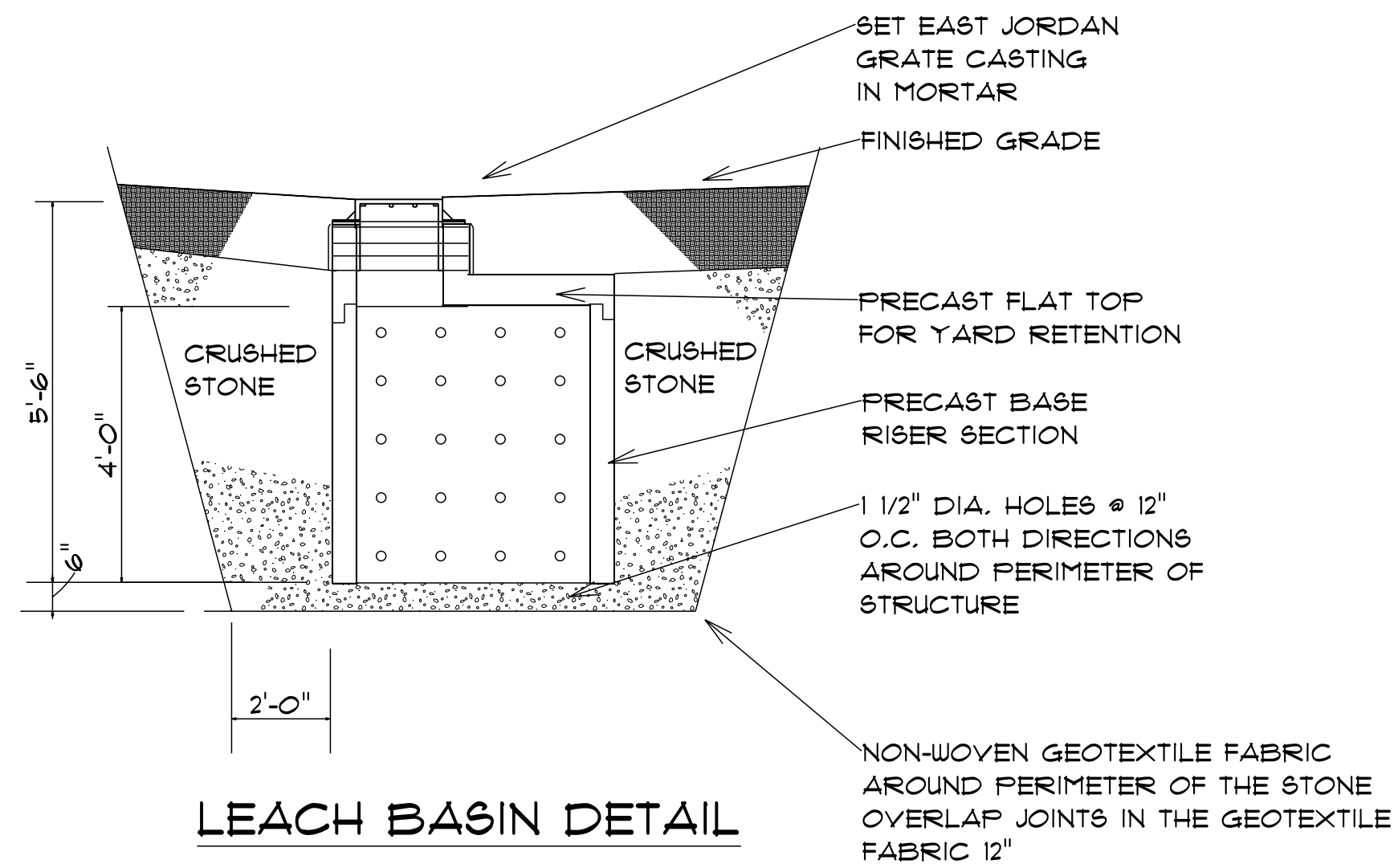
UTILITY LOCATIONS BASED ON OBSERVED EVIDENCE AND CITY OF HILLSDALE BPU PLANS AND NO GUARANTEE IS MADE TO COMPLETENESS OR EXACT LOCATION.

PROPERTY INFO: 188 HILLSDALE ST. 30-006-222-478-18
190 HILLSDALE ST. 30-006-222-478-17

LEGEND

- SHRUB
- TREE (DECIDUOUS) TRUNK DIAMETER IN INCHES
- ★ TREE (CONIFEROUS) TRUNK DIAMETER IN INCHES
- PARKING BOLLARD
- MANHOLE
- TRAFFIC SIGNAL CONTROL BOX
- WATER VALVE
- CATCH BASIN
- CLEANOUT
- POWER POLE
- LIGHT POLE
- GUY WIRE ANCHOR
- TELEPHONE POWER LIGHT POLE
- TRAFFIC SIGNAL POLE
- MAILBOX
- FLAG POLE
- IRRIGATION SPRINKLER HEAD
- UNDERGROUND TELEPHONE MARKER
- WATER PUMP
- GAS VALVE
- GAS METER
- CURB INLET
- SIGN
- ELECTRIC TRANSFORMER
- TELEPHONE RISER
- CONTROL POINT
- FLOODLIGHT

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
811

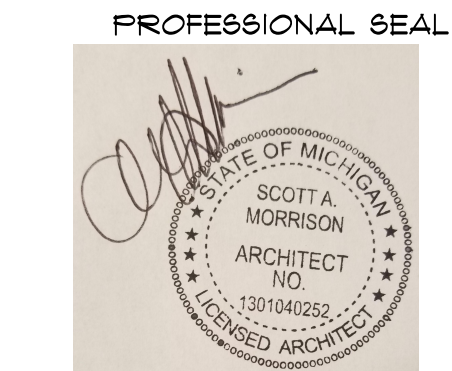


s. allen design
ARCHITECTURE
45A WEST CHICAGO STREET
COLDWATER, MICHIGAN 49036
TEL. 517-279-7161
sallendesign@gmail.com

Phi Sig Pavilion
HILLSDALE COLLEGE
190 HILLSDALE STREET
HILLSDALE, MICHIGAN



6-13-23	PLANNING
5-9-23	SITE PLAN REVIEW
3-28-23	REVISED
9-10-21	REVIEW
DATE	ISSUE



JOB NUMBER
20-030

DRAWING TITLE
SITE PLAN

DRAWING NUMBER



June 1, 2023

Plans for the proposed Phi Sig Pavilion for Hillsdale College located at 190 Hillsdale St. were reviewed by the City Dept. Heads on June 1, 2023. Their comments are as follows:

Present: Kristin Bauer (City Engineer), Chief Scott Hephner (Police Department), Jason Blake (Dept. of Public Services), Alan Beeker (Planning & Zoning), Jeff Geir (Board of Public Utilities), Scott Morrison (Project Architect)

Public Safety

- No issues

Board of Public Utilities

- Electrical:
 - No issues
- Water
 - Connect to existing curb stop on site.
- Sanitary
 - Connect to new lateral to be supplied by BPU.

City Engineer

- Request that storm water calculations for 10 year storm, calculations should reflect pre and post construction conditions.

Public Services

- No issues

Planning/Zoning

- Combine lots.

Final drawings with all department approved revisions must be received by the Planning Dept. no later than June 13, 2023. The Planning Commission will review the drawings for final approval at the regular meeting which will be held on June 21, 2023 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 3rd Floor Council Chambers.



TO: Planning Commission

FROM: Zoning Administrator

DATE: June 21, 2023

RE: Lennox Distillery

Background: Mike & Brandie Lennox purchased a building in the manufacturing park to convert into a micro distillery. The plans were submitted for review in May. City Department heads met on June 1, 2023 to discuss the project. All revisions have been completed and the final drawings are submitted for Planning Commission review.

Field verify all dimensions

Lennox Distillery

181 Uran St., Hillsdale, MI 49242

PROJECT DESCRIPTION

The project will renovate the existing 10,000 sf metal building and surrounding site, located at 181 Uran St. in Hillsdale, Michigan. The renovation will create a new distillery and public tasting room. A new covered entry will be created to give the building a new timber frame style look. The interior improvements will include the addition of a new bar area and tasting room. A new still and boiler will be added to the non-public back area of the building. Some additional interior rooms will be created for bottling and storage. An existing office area located at the south west corner of the building will remain as is, with some minor re-purposing of the space.

BUILDING DATA

APPLICABLE CODES

BUILDING: 2015 MICHIGAN BUILDING CODE
MECHANICAL: 2015 MICHIGAN MECHANICAL CODE
PLUMBING: 2018 MICHIGAN PLUMBING CODE
ELECTRICAL: 2017 NATIONAL ELECTRIC CODE (State of Michigan Electric Code) 2014 National Electric Code with Part 8 Amendments
2015 MICHIGAN UNIFORM ENERGY CODE - Commercial
FIRE/LIFE SAFETY CODE 2021 INTERNATIONAL FIRE CODE
SAFETY CODE 2018 NFPA 101 LIFE SAFETY CODE

CODE REVIEW SUMMARY

USE GROUPS: H-3 - HIGH HAZARD
 B - BUSINESS

TYPE OF CONSTRUCTION: 3B

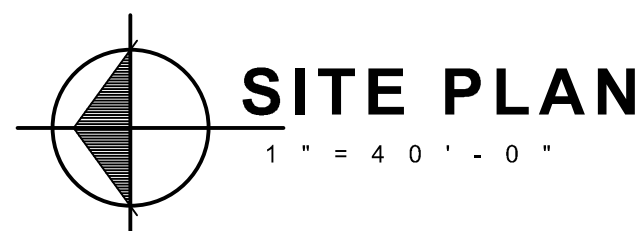
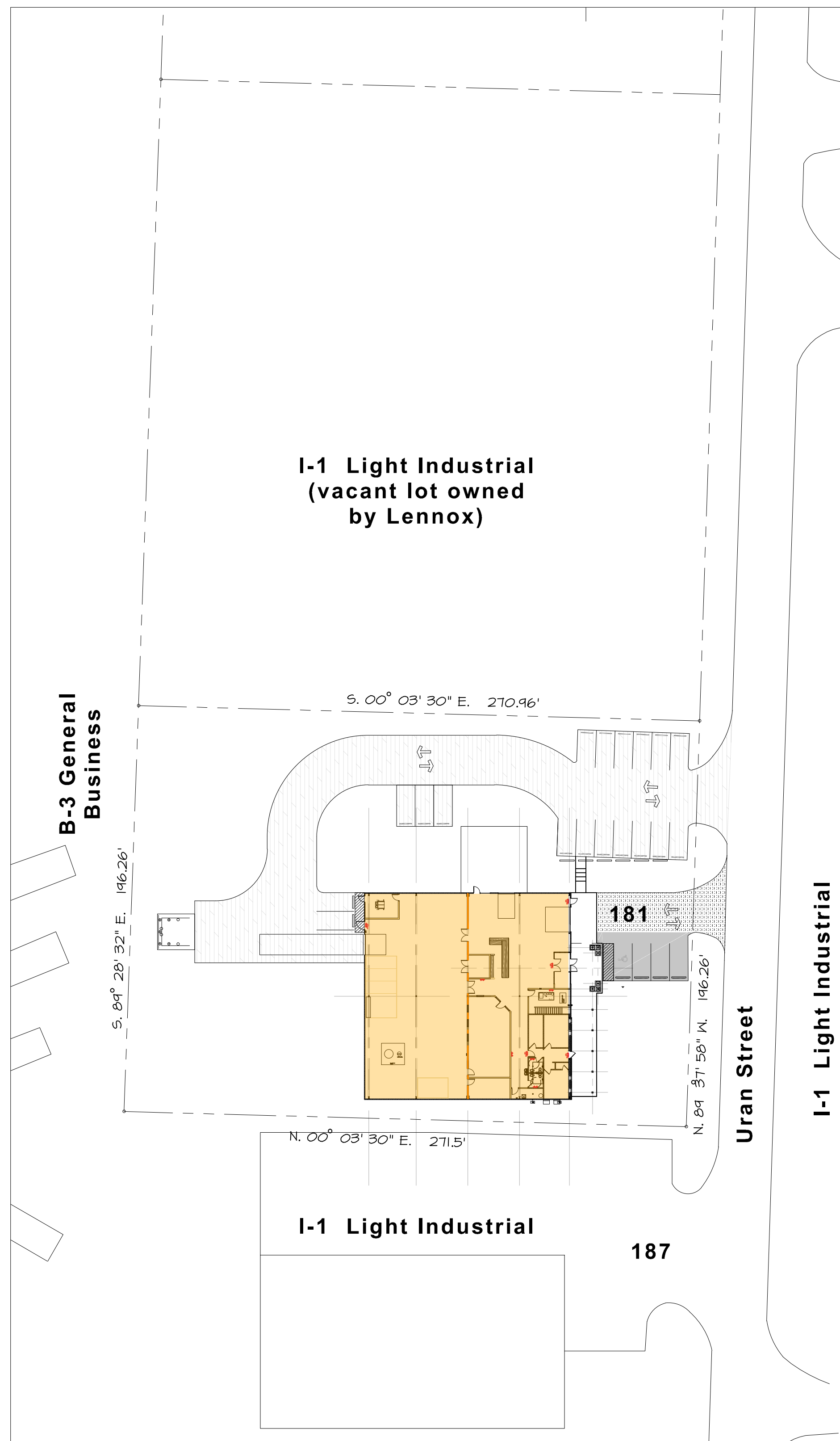
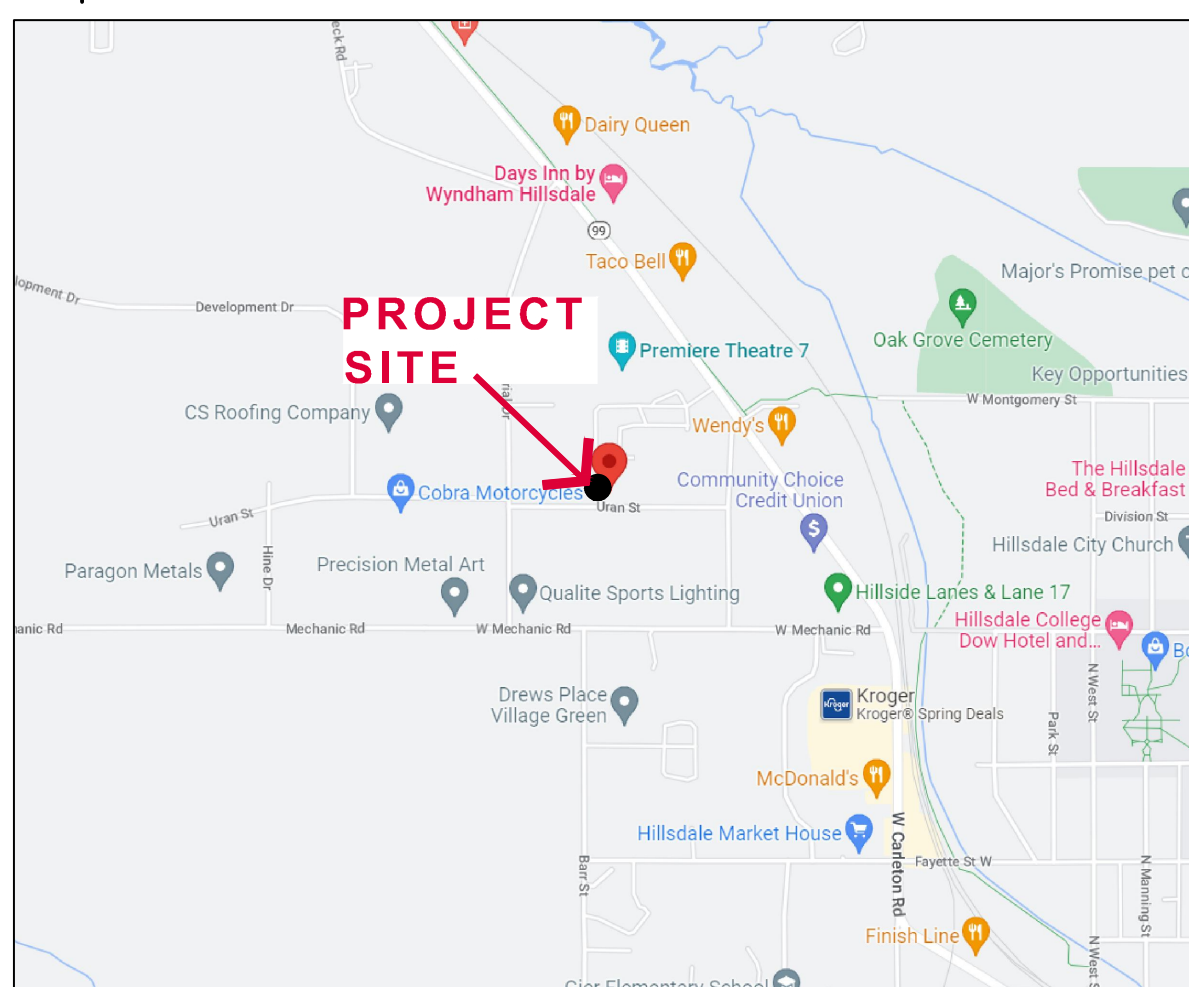
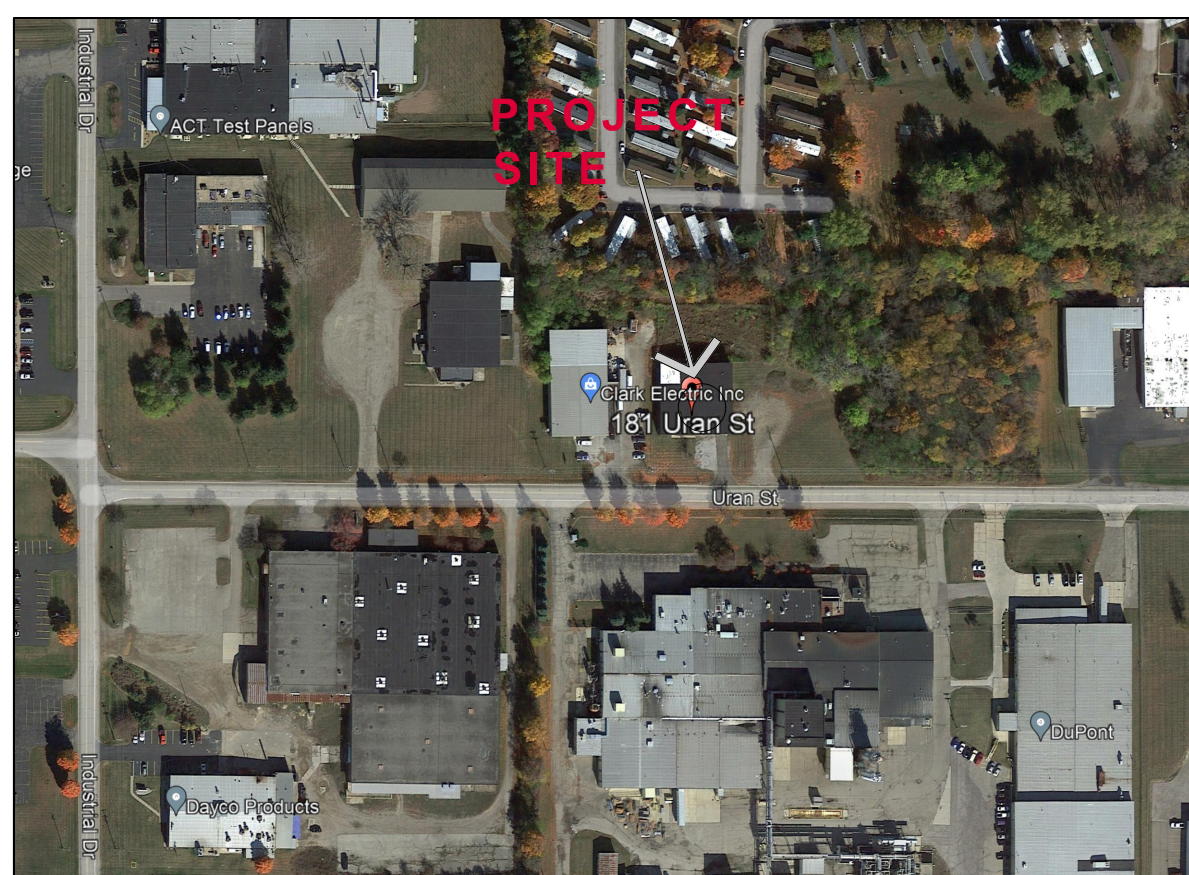
OCCUPANCY:
 HAZARD AREA = 6,200 SF = 31 OCCUPANTS
 BUSINESS = 3,800 SF = 38 OCCUPANTS

EXIST. BUILDING AREA = 10,000 SF

TOTAL OCCUPANCY = 69 OCCUPANTS

FIRE RESISTANCE RATINGS - 3 B - Sprinkled NFPA 13

STRUCTURAL FRAME	0 HOUR	TABLE 601
FLOOR CONSTRUCTION	0 HOUR	TABLE 601
ROOF CONSTRUCTION	0 HOUR	TABLE 601
EXTERIOR WALLS		
LOAD BEARING	2 HOUR	TABLE 601
NON-LOAD BEARING	0 HOUR	TABLE 601
INTERIOR WALLS		
LOAD BEARING	0 HOUR	TABLE 601
NON-LOADBEARING	0 HOUR	TABLE 601



NO.	DATE	ISSUED FOR
05/17/23	04/11/23	Site Review
04/11/23		Owner Review

NO.	DATE	ISSUED FOR

NO.	DATE	ISSUED FOR

NO.	DATE	ISSUED FOR

NO.	DATE	ISSUED FOR

NO.	DATE	ISSUED FOR

DRAWING INDEX

●	●	G-001	Title Sheet & Code Information
○	○	G-002	Abbreviations and Symbols
●	●	G-101	First Floor Life Safety Plan
●	○	SP-101	Site Plan
●	●	A-001	Wall Partition Types & Misc. info
		A-050	Door & Room Finish Schedules
●	●	A-101	First Floor Plan
		A-110	Enlarged First Floor Plan
○	●	A-200	Building Elevations
○	●	A-201	Building Elevations
○	○	A-300	Building Section
○	○	A-401	Reflected Ceiling Plan

- INCLUDED IN ISSUED SET
- INCLUDED IN ISSUED SET FOR REFERENCE ONLY

DATE	ISSUED FOR
4-11-23	Owner Review
5-17-23	Site Review

NO.	DATE	ISSUED FOR

ADG
 Adrian Design Group, PLC
 126 E. Church Street - Adrian, MI 49221
 ph. (517) 265-2700
 www.adriandesigngroup.com

Lennox Distillery
 181 Uran St. Hillsdale, MI 49242
Title Sheet & Code Information

NOT FOR CONSTRUCTION

OWNER
 Michael Lennox
 181 Uran St., Hillsdale, MI 49242
 (517) 960-4926
 mlennox72@yahoo.com

ARCHITECT
 Mike Nicklowitz, AIA, LEED-AP
 Adrian Design Group, Plc.
 126 E. Church Street
 Adrian, MI 49221
 (517)265-2700
 mike@adriandesigngroup.com

PROJECT NUMBER
 23.003

DATE
 4-11-23

SCALE
 As Noted

DRAWN BY
 NM

SHEET NUMBER
 G-001

ARCH/ENGR.
 M. Nicklowitz

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Field verify all dimensions

BUILDING CODE STUDY

Construction Type: 3B Sprinkled
 Use Groups: (nonseparated) H-3 Hazardous Business B Business
 H-3 Hazardous Business B Business
 H-3 Hazardous Business B Business
 H-3 Hazardous Business B Business

Heights and Areas:
 MBC table 504.3 & 504.4
 H-3 Allowed Hgt. = 55' / 2 story
 B Allowed Hgt. = 75' / 4 story
 Actual Hgt. = 20'-0" / 1 story
 MBC table 506.2
 H-3 Allowed Area = 13,000 sf Actual = 10,000 sf
 B Allowed Area = 76,000 sf Actual = 10,000 sf

Occupancy:
 Hazard - Distilling 6,200 gs / 200 sf = 31 occupants H-3
 Business 3,800 gs / 100 sf = 38 occupants B
Separation of use groups: 1 hour between H-3 and B MBC table 508.4

Existing Structure
 Foundations: Reinforced concrete.
 Superstructure: Steel framed.
 Floors: concrete slab on grade
 Main Roof: metal deck on engineered steel frame.
 Exterior Walls: Metal siding and masonry non load bearing walls.
 Interior Walls: metal or wood stud framing with gypsum board finish.
 Sprinkler System: Fully sprinkled NFPA 13

Interior Wall & Ceiling Finishes Other Than Textiles Table 803.11
 Vertical & horizontal exits Class A
 Exit passageways Class A
 Corridors Class B
 All other areas Class C
Floor Finishes Class I
 DOC FF 1-70 "pill test" 804.4.1

Fire Suppression, Detection, Alarm, and Emergency Power Systems
 Automatic Smoke Detection System - Not Required MBC 907.2.4
 Fire extinguishers per Fire Code Section 906 Required (75' max distance) MBC 906.3

Minimum Egress Width
 • Egress width per occupant, with an automatic sprinkler system: Table 1005.1
 Egress Components other than stairs
 0.2 / occupant

• Corridors and Exit Passageways
 Minimum Corridor Width = 44" MBC 1005 / 1020.2

• Doors
 Egress capacity of a 36" door:
 34" clear width / 0.2 = 170 occupants

Accessible Means of Egress
 Where more than one means of egress is required from a space required to be accessible, two accessible means of egress are required. A minimum of two means of egress have been achieved in all areas of this facility. The north exits to be accessible. MBC 1006.

• **Exit Travel Distance** Table 1017.2

Use Group	Travel Distance Req'd.	Actual Travel Distance
H-3	150'	121'
B	300'	100'

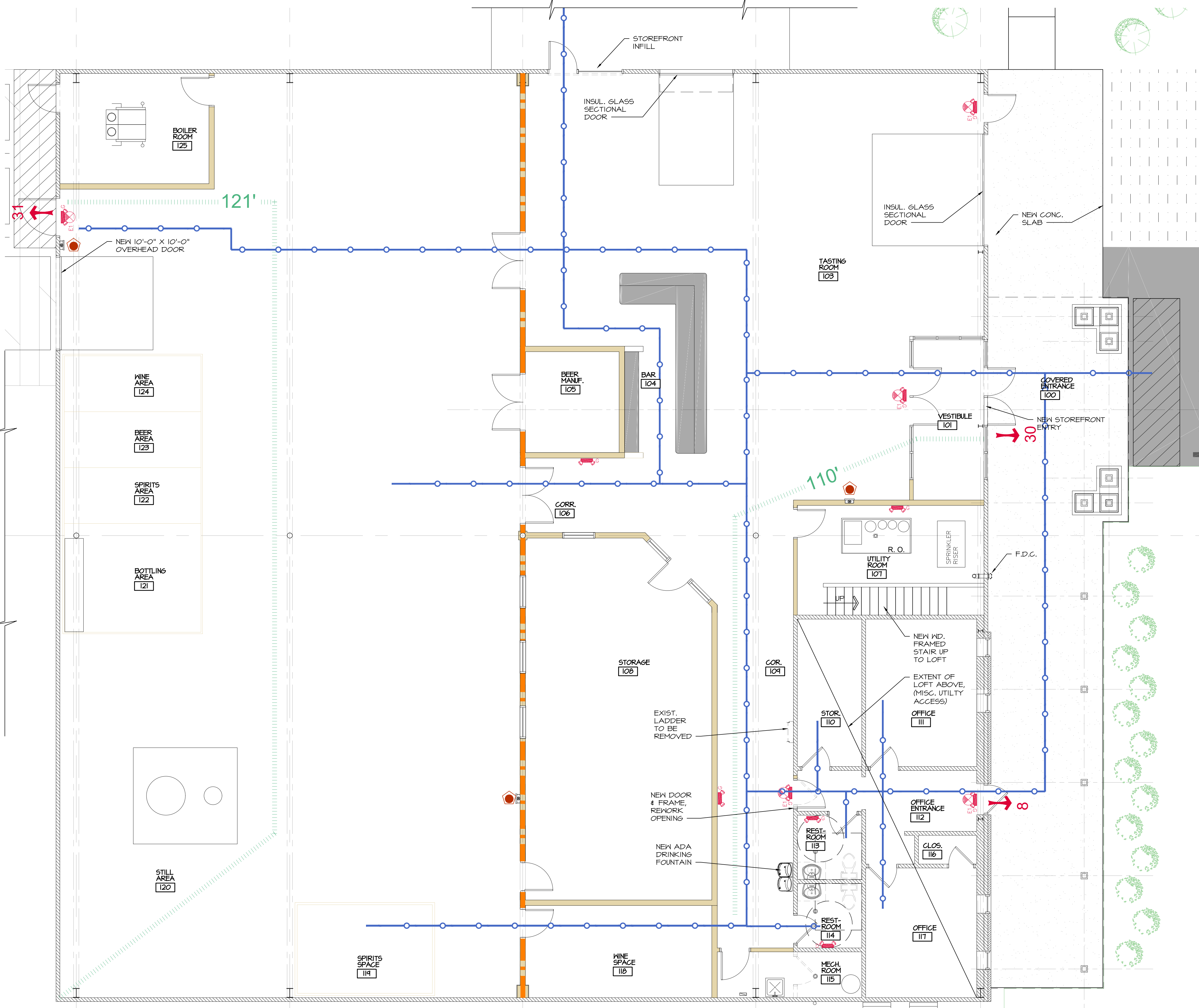
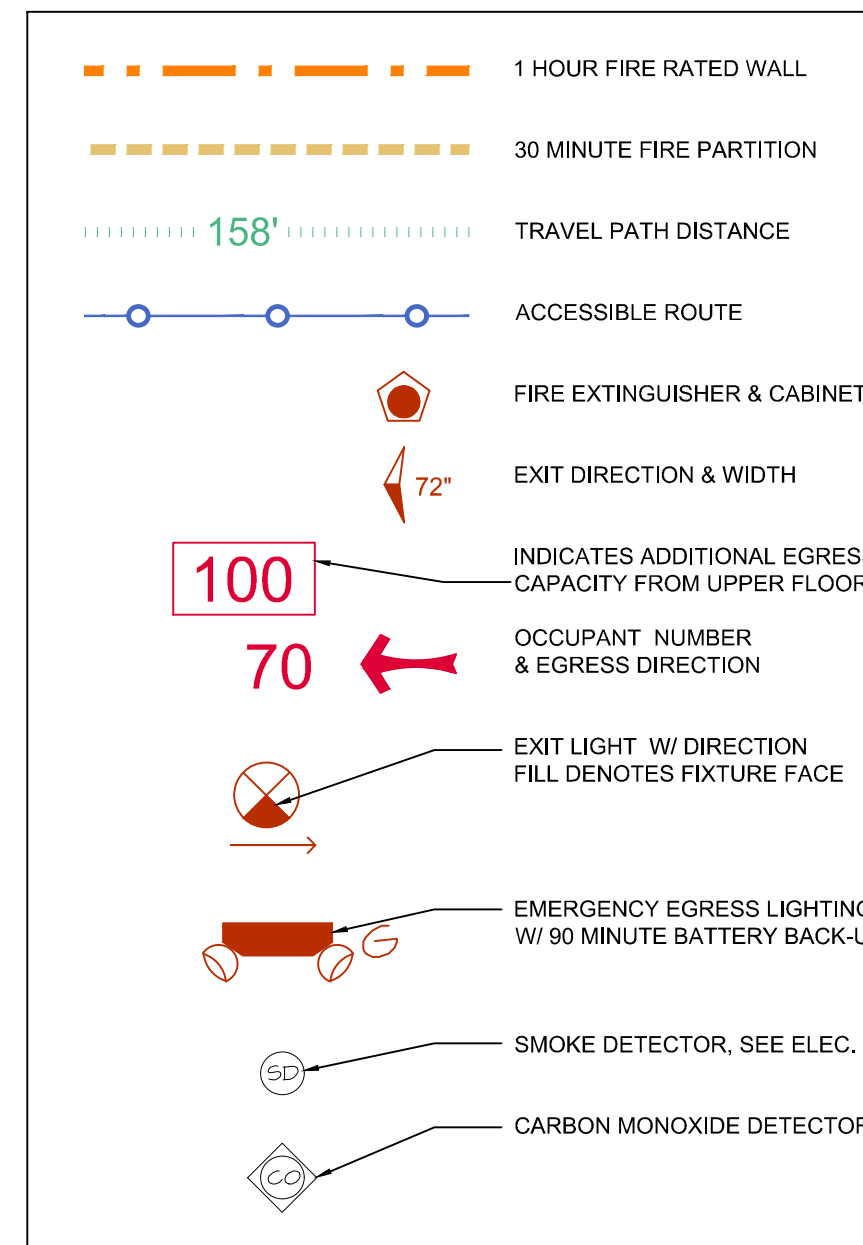
Corridor Fire Rating H-3 1 hour w/ sprinklers > 30
 B 0 hours w/ sprinklers
 MBC Table 1020.1

• Exit access travel distance, measured from the most remote point within a story to the entrance to an exit, along the natural and unobstructed path of egress travel not exceed H-3 = 150' & B = 300' (sprinkled). See Life Safety Plan for sample travel paths. MBC Table 1017.2
 • Maximum dead end corridor length: 20'-0" or < 2.5 x width. MBC 1020.4

Doors:
 • Doors that serve as part of a means of egress shall have a minimum clear opening of 32", a maximum width of 48", and minimum height not less than 6'-8" (all doors meet this requirement) 1008.1.1
 • No projections into required clear door width lower than 34" above the floor. Projections into required clear with more than 34" above the floor shall be limited to 4" 1008.1.1.1
 • Exit doors swing in direction of travel when serving more than 50 occupants 1008.1.2
 • Exit door swings do not reduce egress width to less than 50% of required width in any position and may not encroach more than 7" into the required width when in the fully open position.

Accessibility
 Where Required: All buildings shall be accessible to persons with physical disabilities. 1103.1
 Entrances: At least 50% of public building entrances shall comply with accessible route requirements. Each tenant space and each dwelling unit shall have at least one accessible entrance. 1105.1
 50% of the entrances are accessible per modifications at north entrances.

LEGEND



ISSUED:

DATE	ISSUED FOR
5-4-23	Review
5-17-23	OWNER REVIEW

REVISIONS:

NO.	DATE	ISSUED FOR

CONSULTANT

Adrian Design Group, PLC
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PROJECT TITLE

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PROJECT NUMBER

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Field verify all dimensions

Zoning I-1 Light Industrial

This use will conform to the zoning if conditional use approval is granted

SITE DATA

Site Area (part of lot #9)

Total 53,143. SF (1.22 acres)
Minimum Lot Req'd. = 20,000 sf

Lot Coverage

Existing Building	10,000 sf
New Covered Entry	960 sf
Future Deck	1,024 sf
Total	11,984 sf
Total Lot Coverage	22.55 %
Coverage Permitted	50.00 %

Allowed Bldg. Hgt. 1 stories 50'-0"
Existing & Future Bldg. Hgt. 1 story & < 24'-0"

Building Setbacks

Front 50' min. 55'-4" existing
Side 10' min. 8'-11" existing (west)
Rear None 116'-2" existing

Landscape Requirements

15% of site shall be in landscaped open space = 7,971sf
1 evergreen tree or shrub / 1000 sf = 8 evergreen
1 large deciduous tree / 2000 sf = 4 trees
30% of open space shall be between building and roadway = 2,391 sf required

Landscape Proposed

Open Space = 8,500 sf (south & east sides)

12 8 evergreen shrubs and 2 evergreen trees 18

14 4 large deciduous trees

Open space between building and roadway = 3,200 sf

Impervious Areas

	Existing	Proposed
Concrete	235 sf	2,577 sf
Asphalt	1,150 sf	2,140 sf
Gravel	8,660 sf	12,574 sf
Building	10,000 sf	11,984 sf
TOTAL	20,045 SF	29,275 sf
	37.8%	55.1%

Parking Required

Manufacturing: 1 sp / 600 gsf = 6,200 / 600 = 10.3 spaces
Business: 1 sp / 350 gsf = 3,800 / 350 = 10.9 spaces
= 21.2
Required Parking = 22 spaces

1 Accessible Van Space
1 Loading Space requires 50' X 10' = 500 sf

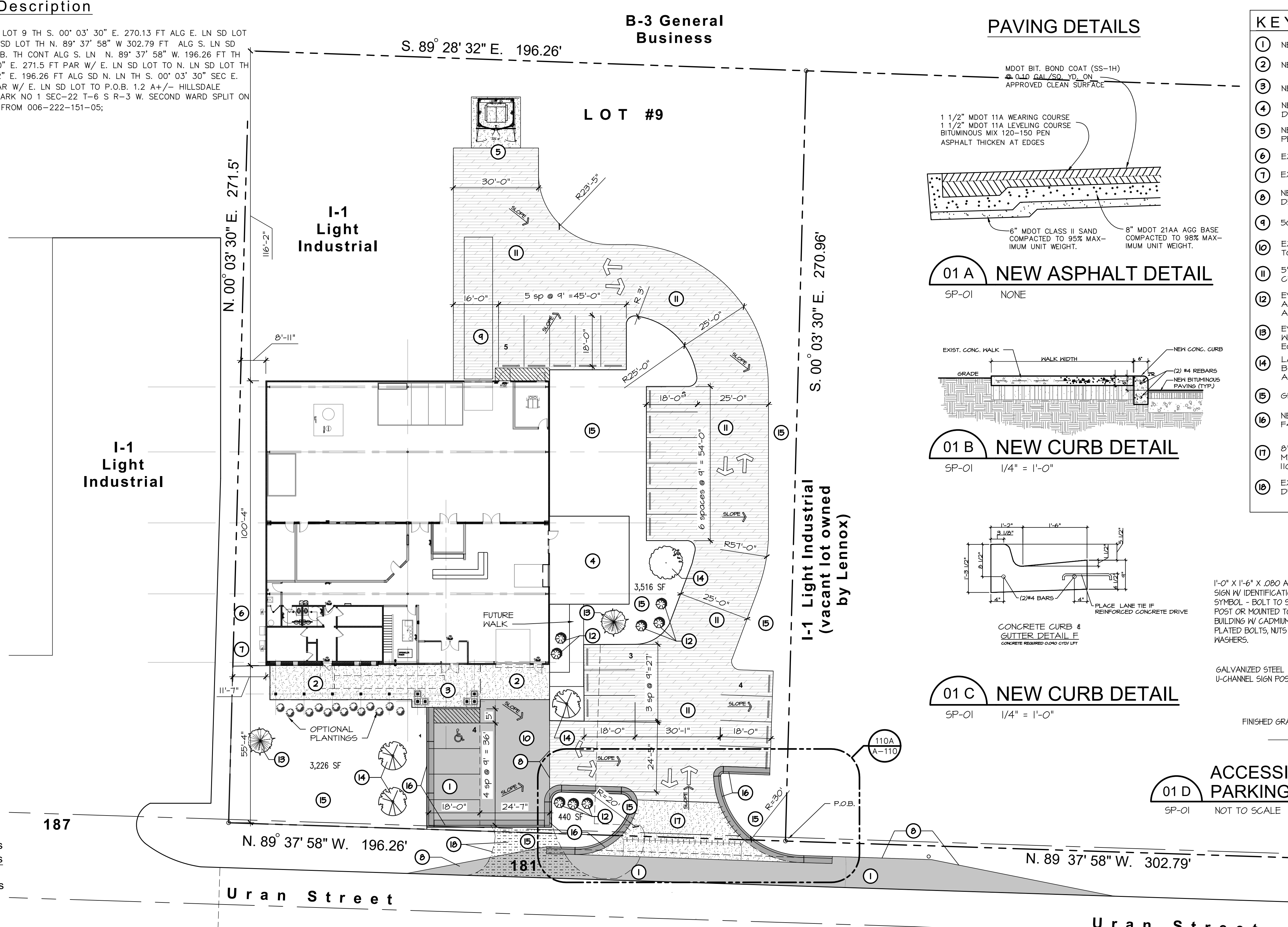
Parking Provided

Standard	21 Spaces
Accessible	1 Space
Total	22 Spaces

+ One Loading Space

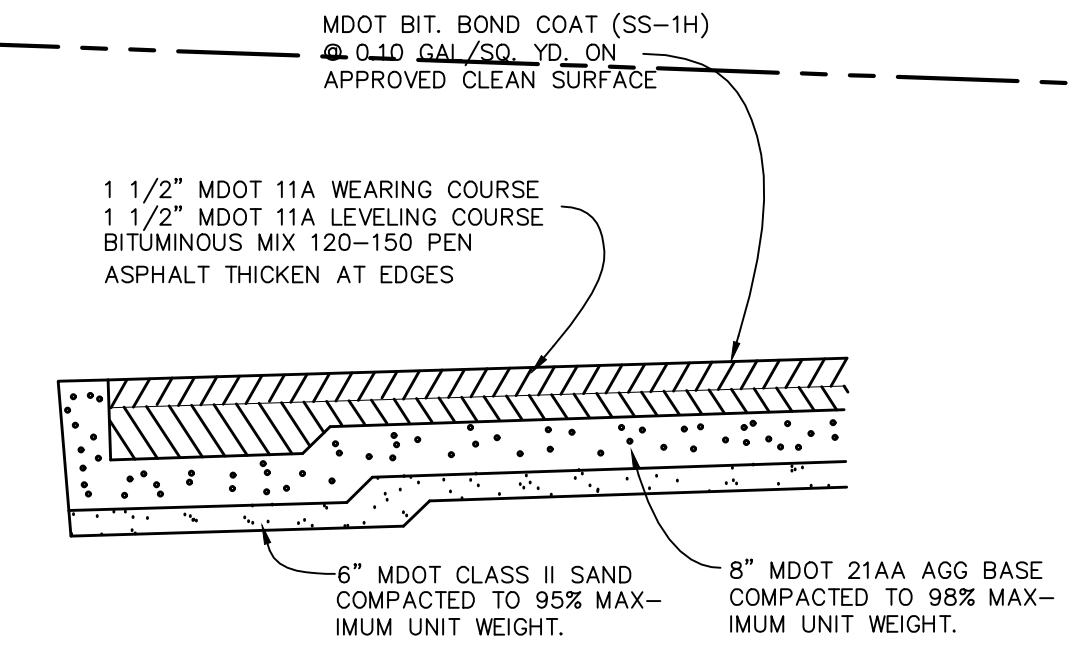
Legal Description

COM NE COR LOT 9 TH S. 00° 03' 30" E. 270.13 FT ALG E. LN SD LOT TO S.E. COR SD LOT TH N. 89° 37' 58" W 302.79 FT ALG S. LN SD LOT FOR P.O.B. TH CONT ALG S. LN N. 89° 37' 58" W. 196.26 FT TH N. 00° 03' 30" E. 271.5 FT PAR W/ E. LN SD LOT TO N. LN SD LOT TH S. 89° 28' 32" E. 196.26 FT ALG SD N. LN TH S. 00° 03' 30" SEC E. 270.96 FT PAR W/ E. LN SD LOT TO P.O.B. 1.2 A +/- HILLSDALE INDUSTRIAL PARK NO 1 SEC-22 T-6 S R-3 W. SECOND WARD SPLIT ON 02/04/2020 FROM 006-222-151-05;



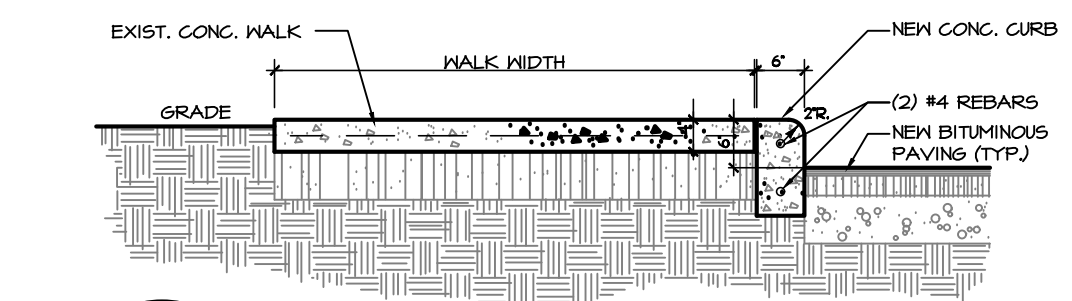
B-3 General Business

PAVING DETAILS



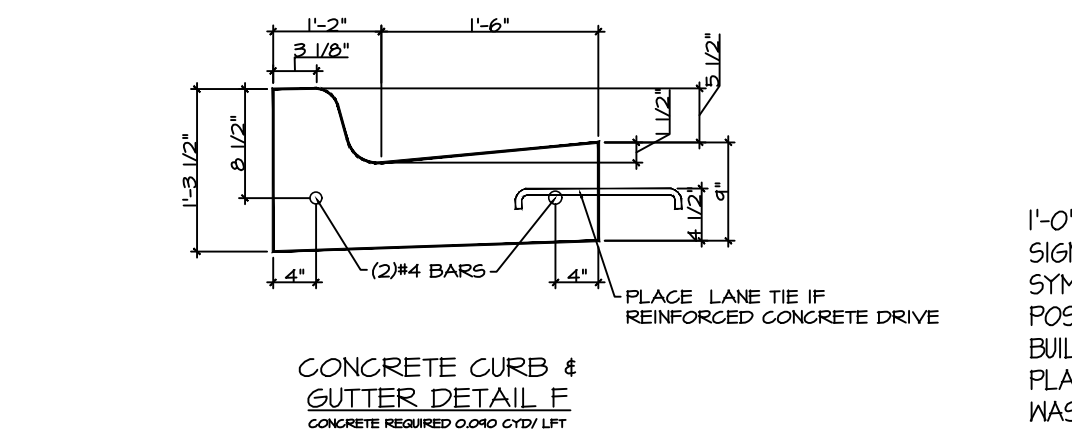
01 A NEW ASPHALT DETAIL

SP-01 NONE



01 B NEW CURB DETAIL

SP-01 1/4" = 1'-0"



01 C NEW CURB DETAIL

SP-01 1/4" = 1'-0"

01 D ACCESSIBLE PARKING SIGN

SP-01 NOT TO SCALE

KEY NOTES

- 1 NEW ASPHALT PAVING
- 2 NEW CONC. PAVING
- 3 NEW COVERED ENTRY
- 4 NEW WOOD FRAMED DECK.
- 5 NEW DUMPSTER ENCLOSURE PER CITY STANDARDS
- 6 EXIST. ELEC. METER
- 7 EXIST. GAS METER
- 8 NEW ASPHALT EDGE, SEE DETAIL 01 A ON THIS SHT.
- 9 50'X10' LOADING AREA
- 10 EXIST. ASPHALT PAVING TO BE RESURFACED
- 11 5" 21 AA LIMESTONE OR CRUSHED CONCRETE
- 12 EVERGREEN SHRUB, ARBORVITAE, OR APPROVED EQUAL
- 13 EVERGREEN TREE, RED OR WHITE PINE, OR APPROVED EQUAL
- 14 LARGE DECIDUOUS TREE, BIRCH OR SYCAMORE, OR APPROVED EQUAL
- 15 GRASS AREA
- 16 NEW CONC. CURB, MDT DETAIL F4, SEE DETAIL 110C BELOW
- 17 8" CONC. DRIVE APPROACH, MDT DETAIL M, SEE DETAIL 110E BELOW
- 18 EXISTING ASPHALT ENTRY DRIVE TO BE REMOVED.

ISSUED:

DATE	ISSUED FOR
5-5-21	OWNER REVIEW
6-4-23	Site Plan Review

REVISIONS:

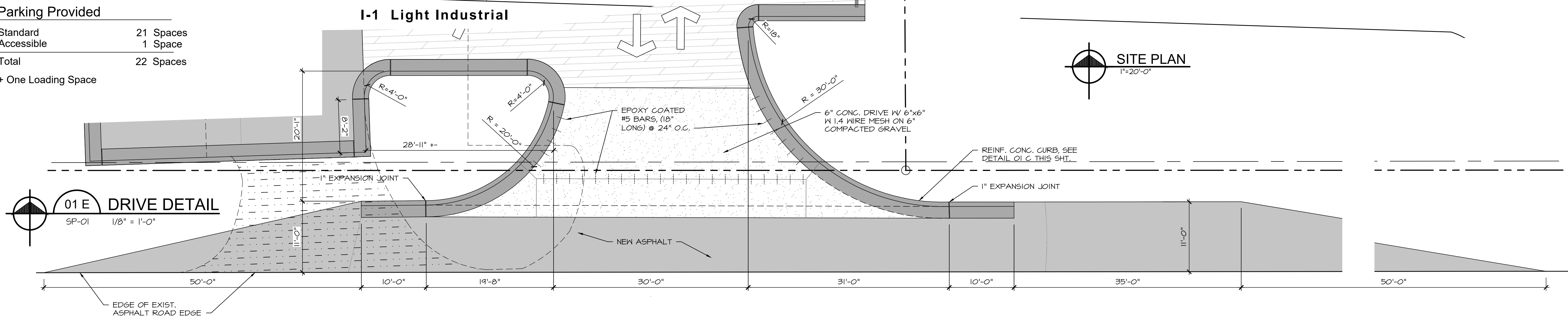
NO.	DATE	ISSUED FOR

ADG
Adrian Design Group, PLC
126 E. Church Street - Adrian, MI 49221
ph. (517) 265-2700
www.adriandesigngroup.com

Lennox Distillery
181 Uran St. Hillsdale, MI 49242
Preliminary Site Plan

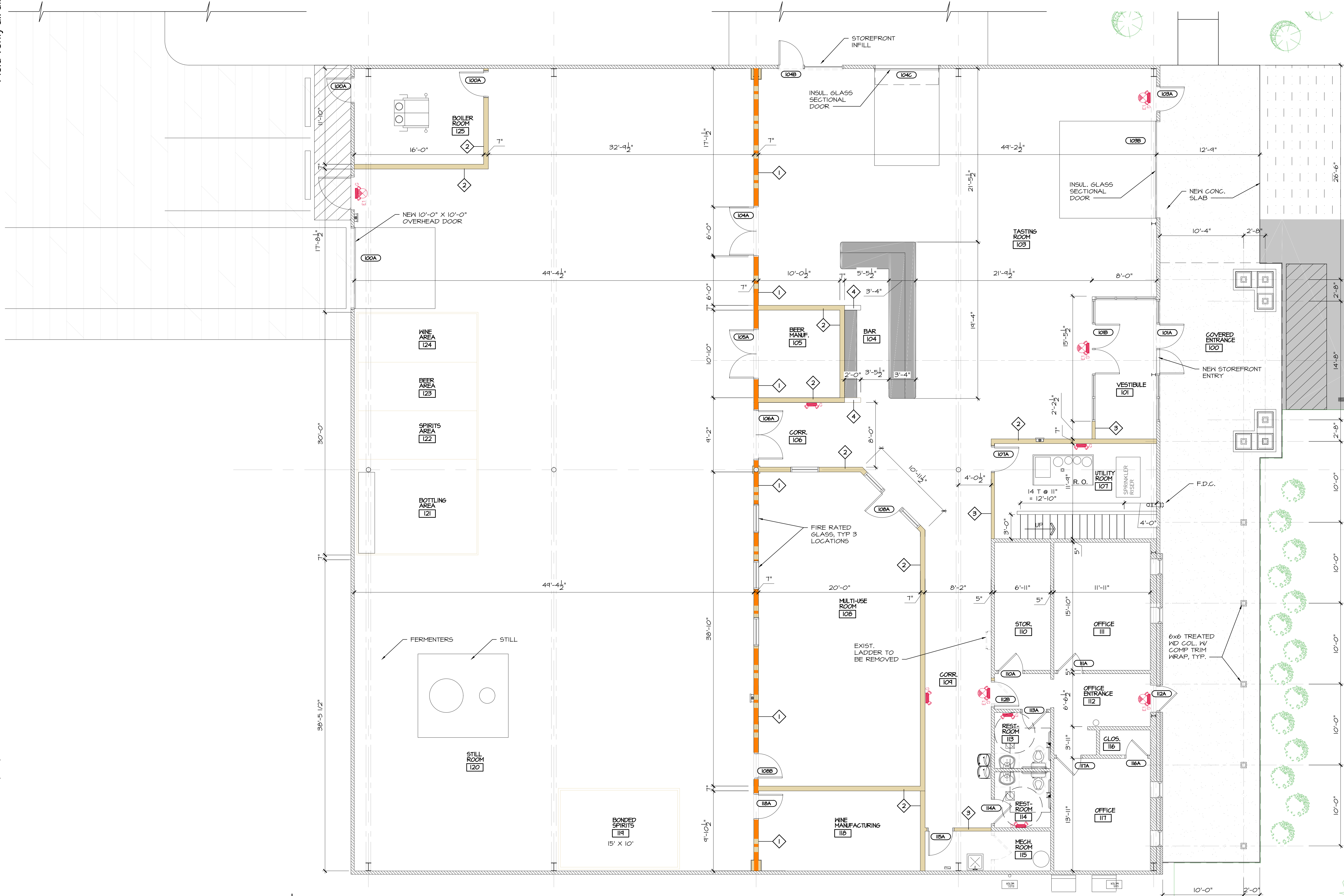
CERTIFIED BY: [Signature]
MICHAEL P. NICKLOWITZ
ARCHITECT
No. 39770
LICENSED ARCHITECT

PROJECT NUMBER: **23.003**
DATE: 7-1-2020 SCALE: As Noted
DRAWN BY: M.N. SP SHEET NUMBER: **SP-01**
ARCH/ENGR. M. Nicklowitz

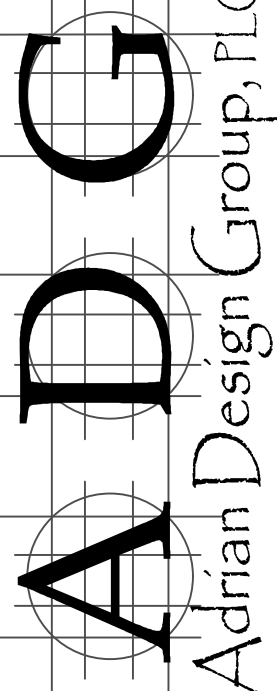


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Field verify all dimensions



COMPOSITE FLOOR PLAN
 3/16" = 1'-0"

ISSUED:		
DATE	ISSUED FOR	
4-11-23	OWNER REVIEW	
5-11-23	OWNER REVIEW	
REVISIONS:		
NO.	DATE	ISSUED FOR
CONSULTANT		
 Adrian Design Group, PLC 126 E. Church Street - Adrian, MI 49221 ph. (517) 265-2700 www.adriandesigndesigngroup.com		
PROJECT TITLE		
Lennox Distillery 181 Uran St. Hillsdale, MI 49242		
SHEET TITLE		
As Built First Floor Plan		
CERTIFIED BY		
PROJECT NUMBER		
23.003		
DATE	SCALE	
2-17-23	As Noted	
DRAWN BY	SHEET NUMBER	
NM	A-101	
ARCH/ENGR.		
M. Nicklowitz		

June 1, 2023

Plans for the proposed Lennox Distillery for Hillsdale College located at 181 Uran St. were reviewed by the City Dept. Heads on June 1, 2023. Their comments are as follows:

Present: Kristin Bauer (City Engineer), Chief Scott Hephner (Police Department), Jason Blake (Dept. of Public Services), Alan Beeker (Planning & Zoning), Jeff Gier (Board of Public Utilities), (due to technical issues, the architect and owner could not participate)

Public Safety

- No issues

Board of Public Utilities

- Electrical:
 - No issues
- Water
 - Verify existing 3/4" meter will be adequate.
- Sanitary
 - Supply hydraulic calculations.
 - BPU provided limitations.

City Engineer

- No issues.

Public Services

- Require the drive approaches to be MDOT "M" style approaches. Suggest limiting to one to save expense.
- Detail F4 concrete curb and pan

Planning/Zoning

- Dimension parking spaces and aisles.

Final drawings with all department approved revisions must be received by the Planning Dept. no later than June 13, 2023. The Planning Commission will review the drawings for final approval at the regular meeting which will be held on June 21, 2023 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 3rd Floor Council Chambers.



TO: Planning Commission

FROM: Zoning Administrator

DATE: June 21, 2023

RE: Sec. 36-6 Zoning Definitions

Background: During the April regular meeting, the Commission asked to review the definitions in the zoning ordinance in order to update content and language. The Zoning Administrator is including Sec. 36-6 Definitions as New Business as a start to that review. The section is submitted to begin the discussion.

Sec. 36-6. Definitions.

- (a) *General terms defined.* For the purposes of this chapter, certain terms or words used in this chapter shall be interpreted as follows: "Person" includes a firm, association, organization, partnership, trust, company, or corporation as well as an individual. The present tense includes the future tense, the singular number includes the plural, and the plural number includes the singular; "shall" is mandatory, and the word "may" is permissive; "used" or "occupied" include the words "intended," "designed," or "arranged to be used or occupied"; "building" includes the word "structure," and the word "dwelling" includes the word "residence"; the word "lot" includes the words "plot" or "parcel."
- (b) *Terms not defined.* Terms not defined in this chapter shall have the meaning customarily assigned to them.
- (c) *Terms defined.* The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Accessory use or building means a use or building on the same lot with, and of a nature customarily incident and subordinate to, the main use or building.

Alley means any dedicated public way affording a secondary means of access to abutting property, and not intended for general traffic circulation.

Alterations means any change, addition, or modification in construction or type of occupancy, any changes in the structural members of a building, such as walls or partitions, columns, beams or girders, the consummated act of which may be referred to in this chapter as "altered" or "reconstructed."

Apartments means the dwelling units in a multiple dwelling as defined in this section:

- (1) *Efficiency apartment* means a dwelling unit of not less than 300 square feet of floor area, and consisting of not more than one room in addition to kitchen and necessary sanitary facilities, and for the purposes of computing density shall be considered as a one-room unit.
- (2) *One-bedroom unit* means a dwelling unit containing a minimum floor area of at least 450 square feet per unit, consisting of not more than two rooms in addition to kitchen and necessary sanitary facilities, and for the purposes of computing density shall be considered a two-room unit.
- (3) *Two-bedroom unit* means a dwelling unit containing a minimum floor area of at least 600 square feet per unit, consisting of not more than three rooms in addition to kitchen and necessary sanitary facilities, and for the purposes of computing density shall be considered as a three-room unit.
- (4) *Three or more bedroom unit* means a dwelling unit wherein for each room in addition to the three rooms permitted in a two-bedroom unit, there shall be provided an additional area of 150 square feet to the minimum floor area of 600 square feet. For the purpose of computing density, the three-bedroom unit shall be considered a four-room unit and each increase in a bedroom over three shall be an increase in the room count by one over the four.

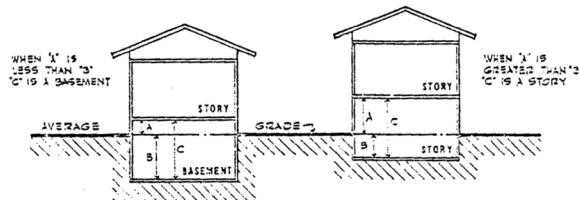
Area of special flood hazard means the land in the floodplain within a community subject to a one percent or greater chance of flooding in any given year.

Auto repair station means a place where, along with the sale of engine fuels, the following services may be carried out: general repair, engine rebuilding, rebuilding or reconditioning of motor vehicles; collision service, such as body, frame, or fender straightening and repair; overall painting and undercoating of automobiles.

Auto service station means a place where gasoline, or any other automobile engine fuel, kerosene, or motor oil and lubricants or grease, for operation of motor vehicles, are retailed directly to the public on the premises, including the sale of minor accessories and the servicing of and minor repair of automobiles.

Base flood means the flood having a one percent chance of being equaled or exceeded in any given year.

Basement



Basement and Story

Bed and breakfast means a family home structure or small hotel, with no more than 15 sleeping rooms, offering accommodation for the night and breakfast the next morning for one inclusive fee.

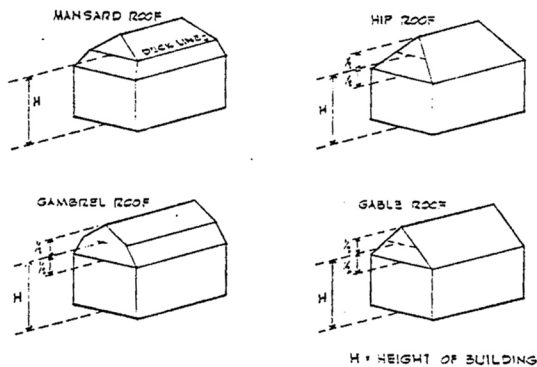
Bed and breakfast operation means a use subordinate the principal use of a dwelling unit as a single-family dwelling unit in which guests are provided a sleeping room and meals for periods not to exceed 14 consecutive days in return for payment and the dwelling unit functions as the principal residence for the owner during those times when bed and breakfast operations are being conducted.

Berm means a mound of earth constructed to achieve and comply with the buffering requirements of this chapter.

Block means the property abutting one side of a street and lying between the two nearest intersecting streets, or between the nearest such street and railroad right-of-way, unsubdivided acreage, river, or live stream; or between any of the foregoing and any other barrier to the continuity of development.

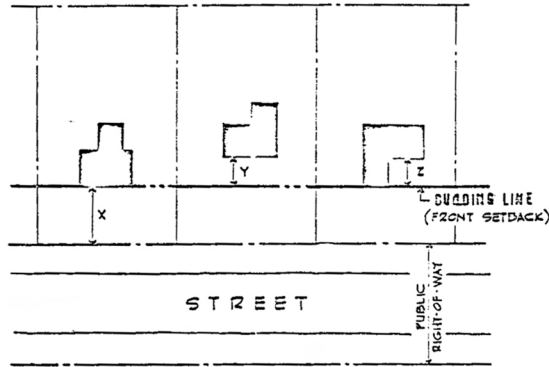
Building means any structure, either temporary or permanent, having a roof supported by columns or walls, and intended for the shelter or enclosure of persons, animals, chattels, or property of any kind.

Building height



Building Height

Building line



NOTES

- BUILDING LINE IS MINIMUM SETBACK LINE
- "X" - MINIMUM FRONT YARD REQUIRED
- "Y" - FRONT YARD IN EXCESS OF MINIMUM FRONT YARD REQUIRED
- "Z" - COURT YARD IN EXCESS OF MINIMUM FRONT YARD REQUIRED

BUILDING LINE

Campground means a use on a parcel or tract of land licensed by the state under the control of a person in which sites are offered for the use of the public or members of an organization either free of charge or for a fee, for the placement and use of three or more travel trailers, as defined in this chapter, or other similar temporary living quarters.

Child care center and *day care center* mean a facility, other than a private residence, receiving one or more preschool or school-age children for care for periods of less than 24 hours a day, and where the parents or guardians are not immediately available to the child. Child care center or day care center includes a facility that provides care for not less than two consecutive weeks, regardless of the number of hours of care per day. The facility is generally described as a child care center, day care center, day nursery, nursery school, parent cooperative preschool, play group, or drop-in center. Child care center or day care center does not include any of the following:

- (1) A Sunday school, a vacation Bible school, or a religious instructional class that is conducted by a religious organization where children are attending for not more than three hours per day for an indefinite period or for not more than eight hours per day for a period not to exceed four weeks during a 12-month period.
- (2) A facility operated by a religious organization where children are cared for not more than three hours while persons responsible for the children are attending religious services.
- (3) A facility or program for school-age children that is operated at a school by a public school or by a person or entity with whom a public school contracts for services, in accordance with section 1285a(2) of the revised school code, Public Act No. 451 of 1976 (MCL 380.1285a), if that facility or program has been granted an exemption under state law.

Church means a place of religious worship, an institution that people regularly attend to participate in or hold religious services, meetings and other activities.

Club means an organization of persons for special purposes or for the promulgation of sports, arts, sciences, literature, politics, or the like, but not operated for profit.

Communication/transmission tower means a skeletal or monopole structure, or framework, attached directly to the ground or to another structure, used for the transmission or reception of radio, telephone, cellular telephone, television, microwave or any other form of telecommunication signals.

Craft means an activity requiring manual dexterity and skill in making things, such as, by way of example and not limitation, pottery making, carpentry and sewing.

Development means any manmade change to improved or unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations.

District means a portion of the incorporated area of the city within which certain regulations and requirements or various combinations thereof apply under the provisions of this chapter.

Dormitory means sleeping quarters intended as a means of temporary housing, such as are found and provided in a boarding school, camp or resort, where persons are cared for or housed for more than 24 consecutive hours at a time.

Drive-in means a business establishment so developed that its retail or service character is dependent on providing a driveway approach or parking spaces for motor vehicles so as to serve patrons while in the motor vehicle, regardless of whether self-service is involved, rather than within a building or structure.

Dwelling means a structure or suite of rooms forming one residence, mobile home, pre-manufactured, or pre-cut structure that is designed and used for the complete living accommodation of a permitted single related family or a permitted single multiple-tenant family, and complies with all other applicable provisions and standards contained in this chapter.

Dwelling, multiple-family, means a building containing three or more separate suites of rooms each of which forms one residence designed exclusively for residential occupancy by any combination of related families and multiple-tenant families, living independently of each other.

Dwelling, one-family, means a building containing one suite of rooms designed exclusively for residential occupancy by one related family.

Dwelling, two-family, means a building containing two separate suites of rooms each of which forms one residence designed exclusively for residential occupancy by any combination of related families and multiple-tenant families, living independently of each other.

Dwelling unit means a structure, or portion thereof, mobile home, pre-manufactured, or pre-cut structure that is designed and used for the complete living accommodation of a single family and which complies with all other applicable provisions and standards contained in this chapter.

Erected means built, constructed, altered, reconstructed or moved upon, or any physical operation on the premises which are required for construction. Excavation, fill, drainage and the like shall be considered a part of erection.

Essential services means the erection, construction, alteration or maintenance of public utilities or municipal departments of underground, surface or overhead gas, electrical, steam, fuel or water transmission or distribution systems; collection, communication, supply or disposal systems; including towers, poles, wires, mains, drains, sewers, pipes, conduits, cables, fire alarm and police call boxes, traffic signals, hydrants and similar accessories in connection therewith; but not including buildings which are necessary for the furnishing of adequate service by such utilities or municipal departments for the general health, safety, or welfare.

Excavation means any breaking of ground, except common household gardening and ground care.

Family means:

- (1) An individual or group of two or more persons related by blood, marriage or adoption, together with foster and step children and servants or the principal occupants, with not more than one additional

unrelated person, who are domiciled together as a single, domestic, housekeeping unit in a dwelling unit; or

- (2) A collective number of individuals domiciled together in one dwelling unit whose relationship is of a continuing nontransient domestic character and who are cooking and living as a single nonprofit housekeeping unit. This definition shall not include any society, club, fraternity, sorority, association, lodge, coterie, organization, or group of students or other individuals whose domestic relationship is of a transitory or seasonal nature or for an anticipated limited duration of a school term or other similar determinable period.

Family day care home means a private home in which one but fewer than seven minor children are received for care and supervision for periods of less than 24 hours a day, unattended by a parent or legal guardian, except children related to an adult member of the family by blood, marriage, or adoption. Family day care home includes a home in which care is given to an unrelated minor child for more than four weeks during a calendar year.

Family, multiple-tenant, means two or more persons, not married to each other, who are continuously domiciled and residing together in a single dwelling unit as a single functional domestic household that is anticipated to be permanent or for a committed, limited duration of not less than 30 continuous calendar days. This definition does not include a group of individuals whose occupancy and residence together is through or in connection with membership or participation in any society, club, fraternity, sorority, association, lodge, combine, federation, coterie, or other organization that is not a recognized religious order, or to a group of individuals whose occupancy and residence together is or will be less than 30 continuous calendar days in duration.

Family, related, means any of the following, including their respective descendants and other relatives, whether by blood, marriage or adoption, those in their respective custody in loco parentis or under legal guardianship and not more than two unrelated individuals who are domiciled and living together in a single functional domestic household in a single dwelling unit:

- (1) An individual person;
- (2) A married couple;
- (3) Two or more individual persons who are related but not married to each other.

Farm means and consists of:

- (1) All of the adjoining land operated as a single unit on which the farming of crops is carried on directly by the owner-operator, manager or tenant farmer, by his own labor or with the assistance of members of his household or hired employees; provided, however, that land to be considered a farm under this subsection shall include a continuous parcel of land of five acres, or more, in area; provided further, that farm under this subsection may be considered as including establishments operating as greenhouses, nurseries and orchards; or
- (2) All of the adjoining land operated as a single unit on which the farming of crops is combined with the keeping of livestock or poultry or the operation of riding or boarding stables, commercial dog kennels, chicken hatcheries or apiaries; and the operations are carried on directly by the owner-operator, manager or tenant farmer, by his own labor or with the assistance of members of his household or hired employees; provided, however, that land to be considered a farm under this subsection shall include a continuous parcel of land of 20 acres or more in area; provided further, that the keeping of livestock or poultry, or the operation of riding or boarding stables, commercial dog kennels, chicken hatcheries, or apiaries shall not be considered a farm under the provisions of this section unless combined at all times with a bona fide crop farming operation;

No farms under this section shall be operated as piggeries or feed lots, or for the raising or slaughtering of animals except such animals as have been raised or maintained on the premises for at least one year immediately prior to their slaughter and are for the use and consumption by persons actually residing on said premises.

Fence or wall, obscuring, means a structure of definite height and location to serve as an obscuring screen in carrying out the requirements of this chapter.

Filling means the depositing or dumping of any matter onto or into the ground, except common household gardening and ground care.

Fine art means products of human creativity and skill that are created primarily or solely to be appreciated for their imaginative, aesthetic or intellectual content, such as, by way of example and not limitation paintings, drawings, sculptures, literature, dance or music.

Flood and flooding mean a general and temporary condition of partial or complete inundation of normally dry land areas from:

- (1) The overflow of inland or tidal waters;
- (2) The unusual and rapid accumulation or runoff of surface waters from any source.

Flood hazard area means land which on the basis of available floodplain information is subject to a one-percent or greater chance of flooding in any given area.

Flood hazard boundary map (FHBM) means an official map of a community, issued by the Federal Emergency Management Agency, where the boundaries of the areas of special flood hazards have been designated as zone A.

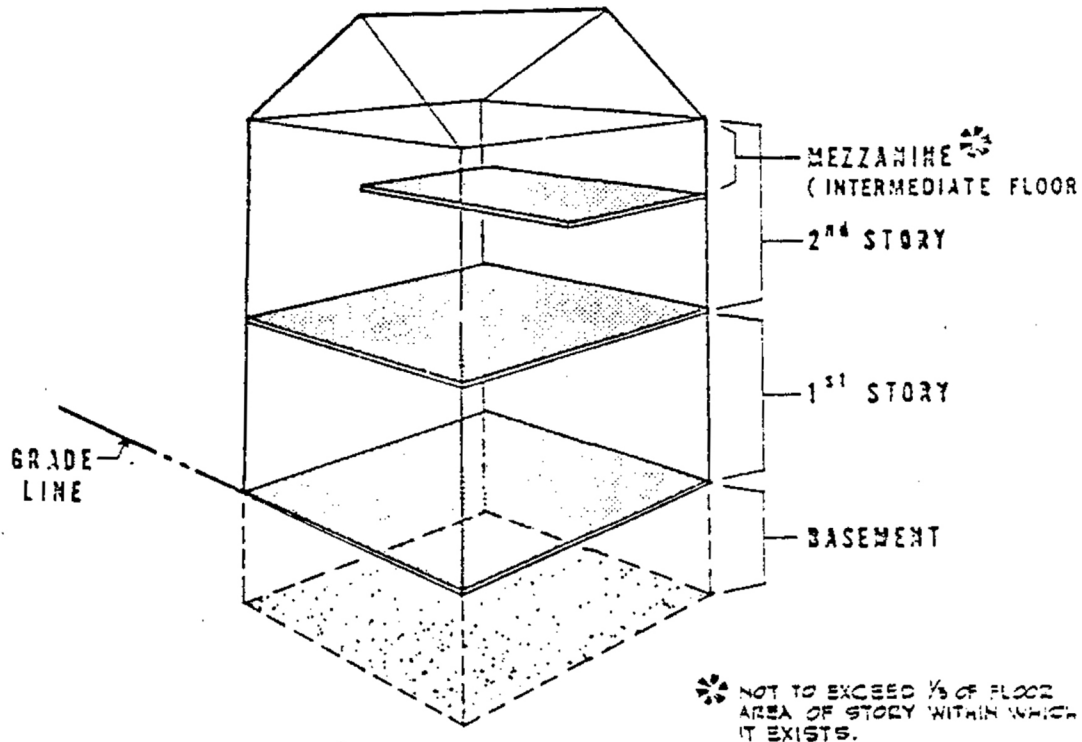
Flood insurance rate map (FIRM) means an official map of a community on which the Federal Emergency Management Agency has delineated both the areas of special flood hazards and the risk-premium zones applicable to the community.



Flood insurance study means the official report provided by the Federal Emergency Management Agency. The report contains flood profiles, as well as the flood hazard boundary-floodway map and the water surface elevation of the base flood.

Floodplain means any land area susceptible to being inundated by water from any source. (See definition of "Flood.")

Floodway means the channel of a river or other watercourse and the adjacent land areas designated in the flood insurance study which must be reserved in order to discharge the base flood.

Floor area. For the purposes of computing the minimum allowable floor area in a residential dwelling unit, the sum of the horizontal areas of each story of the building shall be measured from the exterior faces of the exterior walls. The floor area measurement is exclusive of areas of basements, unfinished attics, attached garages, breezeways, and enclosed and unenclosed porches.



-  FLOOR AREA (TO BE MEASURED AS MINIMUM ALLOWABLE)
-  FLOOR AREA (NOT MEASURED AS MINIMUM ALLOWABLE)

BASIC STRUCTURAL TERMS

Fraternity means a social society for men who are students at a college or university, with a name consisting of individually pronounced Greek letters.

Game court means an outdoor area specifically designed and constructed for the purpose of playing games or outdoor activities (e.g., tennis courts, ball diamonds, skating rinks or ramps, putting greens, driving ranges, shooting ranges, soccer/football fields, etc.).

Garage sale means the sale or exchange or offer of sale or exchange of five or more items of household goods, wares, appliances, clothing, jewelry, tools or other personal property of whatever kind or nature, or any combination thereof from a garage or other building or portion thereof on any premises, whether or not attached to or a part of a residence.

Grade means the mean elevation of the street sidewalk along the front of the lot, as established by the city. The reference level, for any building within ten feet of the front lot line, is the official established sidewalk grade opposite the center of the front of such building. For any building more than ten feet from the front lot line, or where no sidewalk grade is established, the reference level is the average level of the finished grade of the ground

across the front of such building. When the average finished grade about any portion of a building varies five feet or more from that at the front, such average may be taken as the reference level for such portion of such building.

Greenbelt means a strip of land of definite width and location reserved for and containing specified living and/or nonliving landscape elements, such as, by way of example but not limitation, shrubs, trees, vines, ground cover, crushed rock, and brick, whether used as a vertical element such as a fence or wall, or as a horizontal element such as a walk, to be used as an obscuring screen or buffer step between land uses so as to minimize conflicts between them and to otherwise carry out the requirements and purposes of this chapter.

Group day care home means a private home in which more than six but not more than 12 minor children are given care and supervision for periods of less than 24 hours a day unattended by a parent or legal guardian, except children related to an adult member of the family by blood, marriage, or adoption. Group day care home includes a home in which care is given to an unrelated minor child for more than four weeks during a calendar year.

Harmful increase means an unnaturally high stage on a river, stream or lake which causes or may cause damage to property, threat to life, personal injury, or damage to land or water resources.

Hotel means a building occupied as a more or less temporary abiding place for individuals who are lodged with or without meals, and rooms occupied singly for hire, in which provision is not made for cooking on any individual plan and in which there are more than five sleeping rooms, a public dining room for the accommodation of at least 40 guests and a general kitchen.

Junkyard means an open area where waste, used or secondhand materials are bought and sold, exchanged, stored, baled, packed, disassembled, or handled, including but not limited to scrap iron and other metals, paper, rags, rubber tires and bottles. "Junkyard" includes automobile wrecking yards and includes any area of more than 100 square feet for storage, keeping, or abandonment of junk but does not include uses established entirely within enclosed buildings.

Kennel, commercial, means any lot or premises on which three or more dogs are either permanently or temporarily boarded or kept for sale or breeding.

Landscape elements means living plant material such as, but not limited to, grass, ground covers, shrubs, vines, hedges or trees, and nonliving durable material commonly used in landscape development such as, but not limited to, crushed rock, wood chips, cobblestones, brick, tile or decorative blocks, whether used as a vertical element such as a wall or fence, or as a horizontal element such as a bed, walk or path.

Loading space means an off-street space on the same lot with a building or group of buildings for the temporary parking of a commercial vehicle while loading and unloading merchandise or materials.

Lot means a parcel of land occupied, or to be occupied, by a main building or a group of such buildings and accessory buildings or utilized for the principal use and uses accessory thereto, together with such open spaces as are required under the provisions of this chapter. "Lot" may or may not be specifically designated as such on public records.

Lot area means the total horizontal area within the lot lines of the lot.

Lot, corner, means a lot where the interior angle of two adjacent sides at the intersection of two streets is less than 135 degrees. A lot abutting upon a curved street or streets shall be considered a corner lot, for the purposes of this chapter, if the arc is of less radius than 150 feet and the tangents to the curve, at the two points where the lot lines meet the curve or the straight street line extended, form an interior angle or less than 135 degrees.

Lot coverage means that part or percent of the lot occupied by buildings including accessory buildings.

Lot depth means the horizontal distance between the front and rear lot lines, measured along the median between the side lot lines.

Lot, double frontage, means any interior lot having frontages on any two more or less parallel streets as distinguished from a corner lot. In the case of a row of double frontage lots, all sides of the lots adjacent to streets shall be considered frontage, and front yards shall be provided as required.

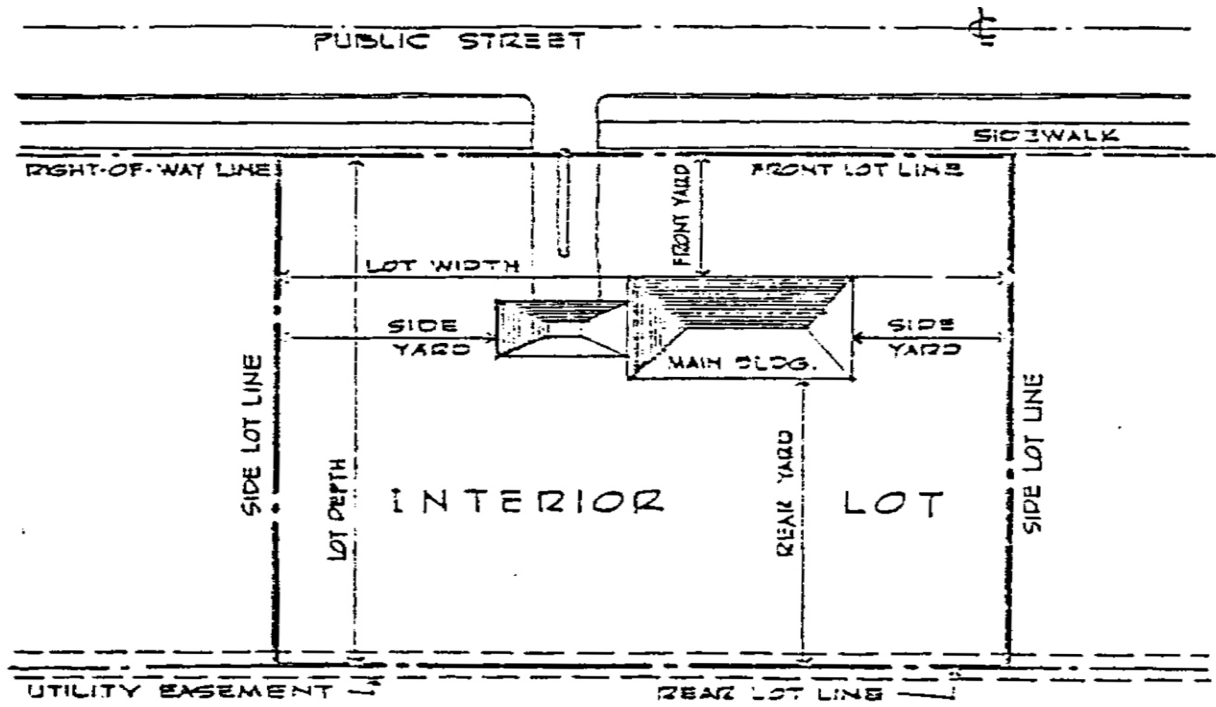
Lot, interior, means any lot other than a corner lot.

Lot lines means the lines bounding a lot, as defined in this section:

- (1) *Front lot line*, in the case of an interior lot, is that line separating the lot from the street; and, in the case of a corner lot or double frontage lot, is that line separating the lot from that street which is designated as the front street in the plat and in the application for a certificate of occupancy.
- (2) *Rear lot line* means that lot line opposite the front lot line. In the case of a lot pointed at the rear, the "rear lot line" shall be an imaginary line parallel to the front lot line, not less than ten feet long lying farthest from the front lot line and wholly within the lot.
- (3) *Side lot line* means any lot line other than the front lot line or rear lot line. A side lot line separating a lot from a street is a side street lot line. A side lot line separating a lot from another lot or lots is an interior side lot line.

Lot of record means a parcel of land, the dimensions of which are shown on a recorded plat on file with the county register of deeds at the time of adoption of the ordinance codified in this chapter, or in common use by municipal or county officials, and which actually exists as so shown, or any part of such parcel held in a record ownership separate from that of the remainder thereof.

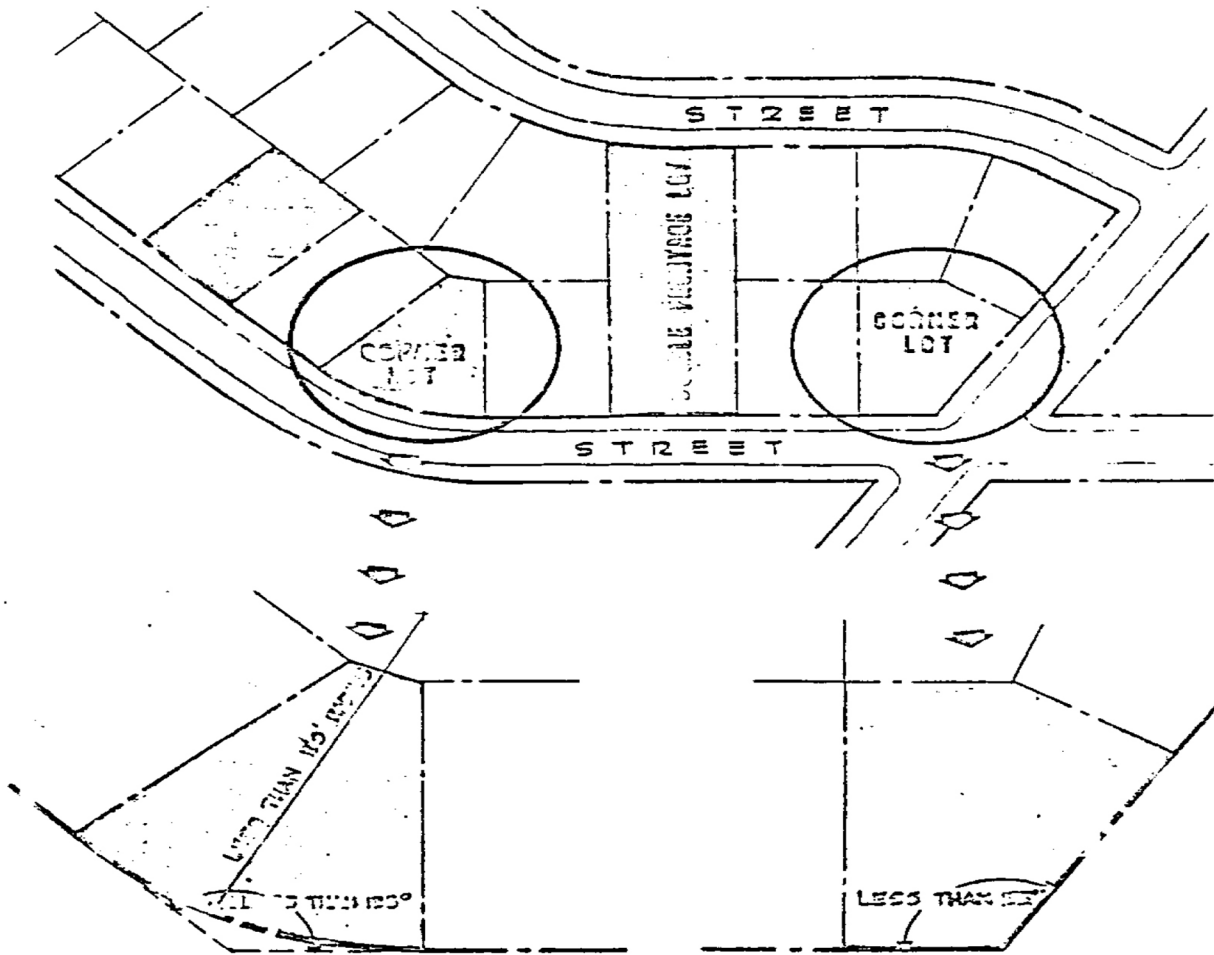
Lot width means the horizontal distance between the side lot lines, measured at the two points where the building line or setback intersects the side lot lines.



LOT AREA = TOTAL HORIZONTAL AREA

LOT COVERAGE = PERCENT OF LOT OCCUPIED BY BUILDING

LOTS & AREAS



DOUBLE FRONTAGE INTERIOR & CORNER LOTS

Main building means a building in which is conducted the principal use of the lot upon which it is situated.

Main use means the principal use to which the premises are devoted and the principal purpose for which the premises exist.

Major thoroughfare means an arterial street which is intended to serve as a large volume traffic way for both the immediate municipal area and the region beyond, and may be designated as a major thoroughfare, parkway, freeway, expressway, or equivalent term to identify those streets comprising the basic structure of the street plan. Any street with a width, existing or proposed, of 86 feet shall be considered a "major thoroughfare" for the purposes of this chapter.

Master plan means the comprehensive plan including graphic and written proposals indicating the general location for streets; parks, schools, public buildings and all physical development of the city; and includes any unit or part of such plan, and any amendment to such plan or parts thereof. Such plan may or may not be adopted by the planning commission and/or council.

Mezzanine means an intermediate floor in any story occupying not to exceed one-third of the floor area of such story.

Mobile home means a dwelling, transportable in one or more sections, which is built or installed on a permanent chassis, and designed to be used as a dwelling with or without permanent foundation when connected to the required utilities and containing electrical, plumbing, heating and air conditioning systems, that is installed by a state-licensed mobile home dealer or state-licensed mobile home installer, as required by Public Act No. 96 of 1987 (MCL 125.2301 et seq.), and administrative rules promulgated thereunder.

Mobile home park means a use which is a parcel of land under the control of a person upon which three or more mobile homes are located for single-family residential purposes, and which is offered to the public for that purpose regardless of whether a charge is made therefor, together with any building, structure, or use, as defined in the definition of "accessory use or building" set out in this section, incidental thereto.

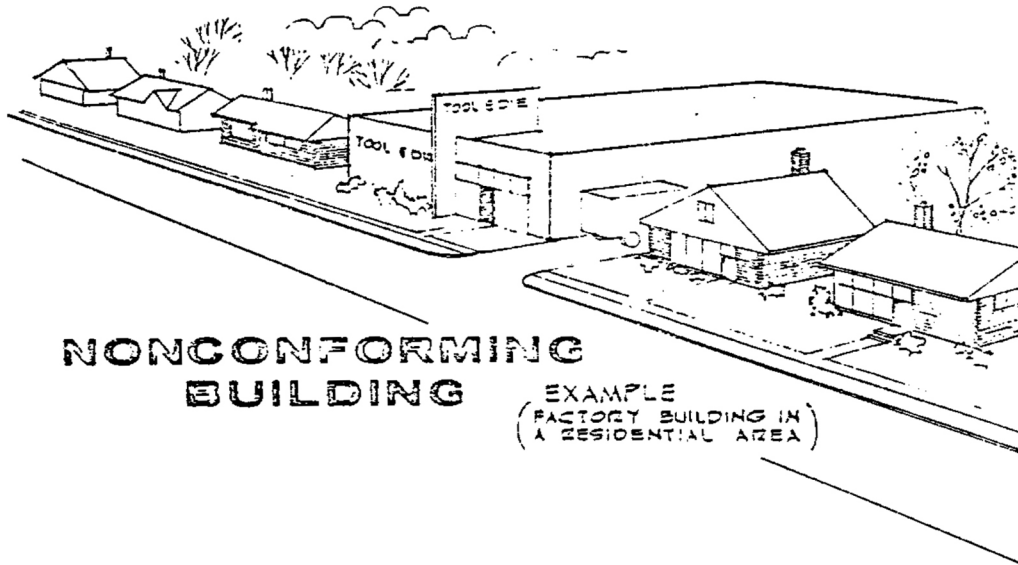
Motel means a series of attached, semi-detached or detached rental units containing bedroom, bathroom and closet space. Units shall provide for overnight lodging and are offered to the public for compensation, and shall cater primarily to the public traveling by motor vehicles.

Multiple-family or multiple-tenant family means and refers to more than three of any combination of one-family and multiple tenant family units living independently of each other in a multiple-family dwelling.

New construction means structures for which the start of construction commenced on or after the effective date of the ordinance codified in this section.

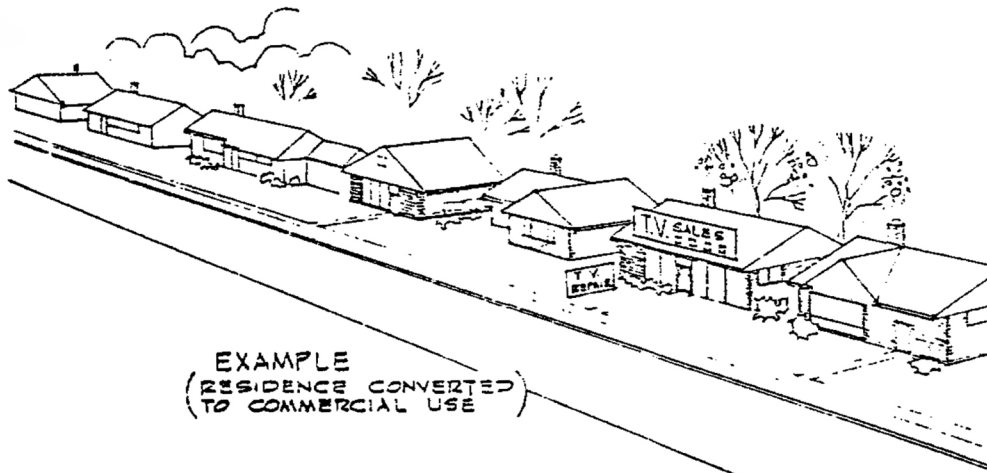
Nonconforming building means a building or portion thereof existing at the effective date of the ordinance codified in this chapter, or amendments thereto, and that does not conform to the provisions of this chapter in the district in which it is located.

Nonconforming use



**NONCONFORMING
BUILDING**

EXAMPLE
(FACTORY BUILDING IN
A RESIDENTIAL AREA)



EXAMPLE
(RESIDENCE CONVERTED
TO COMMERCIAL USE)

NONCONFORMING USE

Nursing or convalescent home means a structure with sleeping rooms where persons are housed or lodged and furnished with meals and nursing care for hire.

Occasional sale means the sale or exchange or offer of sale or exchange of five or more items of household goods, wares, appliances, clothing, jewelry or other personal property of whatever kind or nature or any combination thereof whether by garage sale, yard sale, auction or otherwise, not having a duration of more than a total of three days within any period of 90 consecutive days on or from the same premises.

Off-street parking lot means a facility providing vehicular parking spaces along with adequate drives and aisles for maneuvering, so as to provide access for entrance and exit for the parking of more than two vehicles.

One-family means and refers to one related family, as that term is defined herein, domiciled and living together in a single functional domestic household in a single one-family dwelling.

Open front store means a business establishment, other than a drive-in bank, restaurant or gasoline service station, so developed that service to the patron may be extended beyond the walls of the structure, not requiring the patron to enter the structure.

Parking space means an area of definite length and width exclusive of drives, driveways, aisles or entrances giving access thereto, and fully accessible for the storage or parking of permitted vehicles.

Plant material nursery means a space, building or structure or combination thereof for the storage of live trees, shrubs, or plants offered for retail sale on the premises including products used for gardening or landscaping. The definition of nursery within the meaning of this chapter does not include any space, building or structure used for the sale of fruits, vegetables, or Christmas trees.

Playground equipment means outdoor equipment specifically designed for the amusement of children (e.g., swing set, climbing apparatus, playhouses, see-saw, slide, etc.).

Private home means a private residence in which the licensee or registrant permanently resides as a member of the household, which residency is not contingent upon caring for children or employment by a licensed or approved child placing agency. Private home includes a full-time foster family home, a full-time foster family group home, a group day care home, or a family day care home.

Public utility means any person, firm or corporation, municipal department, board, or commission duly authorized to furnish and furnishing under governmental regulations to the public gas, steam, electricity, sewage disposal, communication, telegraph, transportation or water.

Recreational vehicle means a vehicle primarily designed and used as temporary living quarters for recreational, camping, or travel purposes, including a vehicle having its own motor power or a vehicle mounted on or drawn by another vehicle.

Setback means the distance required to obtain front, side, or rear yard open space provisions of this chapter.

Short-term rental means the rental or subletting of any dwelling for a term of 27 days or less, but does not include the use of campgrounds, hotel rooms, transitional housing operated by a nonprofit entity, group homes such as nursing homes and adult foster care homes, hospitals, or housing provided by a substance abuse rehabilitation clinic, mental health facility, or other healthcare related clinic.

Shrubs means self supporting, deciduous and/or evergreen woody species, normally branched near the base, bushy and less than 15 feet in height at maturity.

Sign means a sign as defined in section 26-2.

Sign, accessory, means a sign which is accessory to the principal use of the premises.

Sign, nonaccessory, means a sign which is not accessory to the principal use of the premises.

Sorority means a social society for women who are students at a college or university, with a name consisting of individually pronounced Greek letters.

Stable, private, means a stable for the keeping of horses for the noncommercial use of the residents of the principal use and shall not include the keeping of horses for others, or for commercial boarding.

Stable, public, means a stable other than a private stable, with a capacity for more than two horses, and carried on within an unplatted tract of land of not less than 40 acres.

Story means that part of a building, except a mezzanine as defined in this chapter, included between the surface of one floor and the surface of the next floor, or if there is no floor above, then the ceiling next above. A "story" thus defined shall not be counted as a story when more than 50 percent, by cubic content, is below the height level of the adjoining ground.

Story, half, means an uppermost story lying under a sloping roof, the usable floor area of which, at a height of four feet above the floor, does not exceed two-thirds of the floor area in the story directly below, and the height above at least 200 square feet of floor space is seven feet six inches.

Street means a public thoroughfare which affords the principal means of access to abutting property.

Structure means anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground.

Substantial improvement means any repair, reconstruction or improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure either (i) before the improvement or repair is started, or (ii) if the structure has been damaged and is being restored, before the damage occurred. For the purposes of this definition "substantial improvement" is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure. The term does not however, include either (i) any project for improvement of a structure to comply with existing state or local health, sanitary or safety code specifications which are solely necessary to assure safe living conditions, or (ii) any alteration of a structure listed on the National Register of Historic Places or a state inventory of historic places.

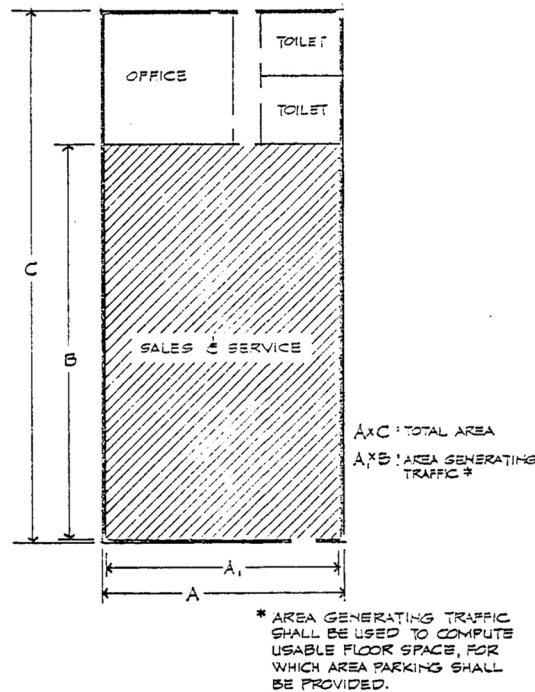
Temporary use or building means a use or building permitted by the board of appeals to exist during periods of construction of the main building or use, or for special events.

Trees means self-supporting, deciduous and/or evergreen, woody plants with a well-defined central stem which normally grow to a height of 15 feet or more at maturity.

Trellis or trellis works means a frame supporting an open latticework, used as an arch, arbor or in sections for training vines or other creeping plants, or for decorative or screening purposes.

Two-family means and refers to not more than two of any combination of one-family and multiple-tenant family units living independently of each other in a two-family dwelling.

Usable floor area means, for the purposes of computing parking, that area used for or intended to be used for the sale of merchandise or services or for use to serve patrons, clients, or customers. Such floor area which is used or intended to be used principally for the storage or processing of merchandise, or for utilities, shall be excluded from this computation of "usable floor area." Measurement of floor area shall be the sum of the gross horizontal areas of the several floors of the building, measured from the interior faces of the exterior walls.



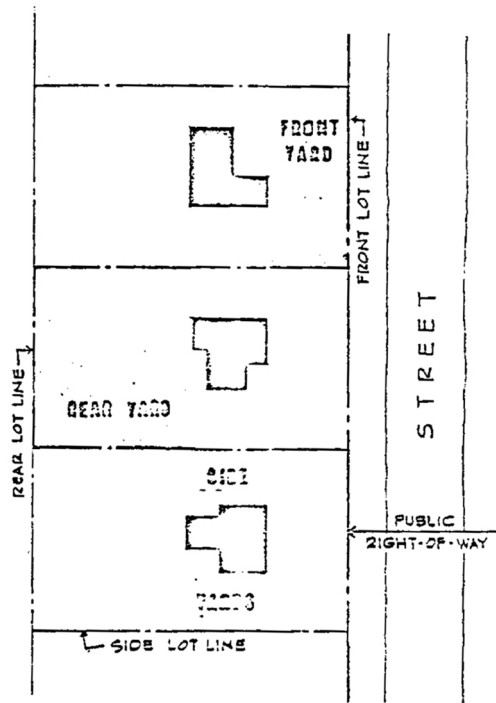
USABLE FLOOR AREA

Use means the purpose for which land or a building is arranged, designed or intended, or for which land or a building is or may be occupied.

Yard sale means the sale or exchange of or offer of sale or exchange of five or more items of household goods, wares, appliances, clothing, jewelry, tools or other personal property of whatever kind or nature, or any combination thereof, from the front, side and/or back yard of any premises.

Yards means the open spaces on the same lot with a main building unoccupied and unobstructed from the ground upward, except as otherwise provided in this chapter, and as defined in this section:

- (1) *Front yard* means an open space extending the full width of the lot, the depth of which is the minimum horizontal distance between the front lot line and the nearest line of the main building.
- (2) *Rear yard* means an open space extending the full width of the lot, the depth of which is the minimum horizontal distance between the rear lot line and the nearest line of the main building.
- (3) *Side yard* means an open space between a main building and the side lot line, extending from the front yard to the rear yard, the width of which is the horizontal distance from the nearest point of the side lot line to the nearest point of the main building.



YARDS

Zoning exceptions and zoning variance:

- (1) *Exception* means a use permitted only after review of an application by the board of appeals, or commission other than the administrative official (building inspector), such review being necessary

because the provisions of this chapter covering conditions, precedent or subsequent, are not precise enough to all applications without interpretation, and such review is required by this chapter.

- (2) *Variance* means a modification of the literal provisions of this chapter granted when strict enforcement of this chapter would cause undue hardship owing to circumstances unique to the individual property on which the variance is granted. The crucial points of "variance" are: undue hardship, unique circumstances, and applying to property. A "variance" is not justified unless all three elements are present in the case.
- (3) The exception differs from the variance in several respects. An exception does not require undue hardship in order to be allowable. The exceptions that are found in this chapter appear as special approval or review by planning commission, legislative body, or board of appeals. These land uses could not be conveniently allocated to one or another, or the effects of such uses could not be definitely foreseen as of a given time. The general characteristics of these uses include one or more of the following:
 - a. They require large areas;
 - b. They are infrequent;
 - c. They sometimes create an unusual amount of traffic;
 - d. They are sometimes obnoxious or hazardous;
 - e. They are required for public safety and convenience.

(Code 1979, §§ 17.04.010—17.04.750; Ord. No. 2005-1, §§ 17.04.277, 17.04.572, 2-21-2005; Ord. No. 2008-8, 9-2-2008; Ord. No. 2015-1, 3-16-2015; Ord. No. 2020-1, 3-16-2020)