



Planning Commission
97 North Broad Street
Hillsdale, Michigan 49242-1695
(517) 437-6440 Fax: (517) 437-6450

Planning Commission Agenda
December 18, 2024

- I. Call to Order 5:30 pm**
 - A. Pledge of Allegiance
 - B. Roll Call

- II. Public Comment**
 - Any agenda item – 3 min. limit

- III. Consent Items**
 - A. Approval of agenda
 - B. Approval of Planning Commission 11/20/2024 minutes

- IV. Site Plan Review**
 - A. Hillsdale College Mossey Library North Addition – 246 Hillsdale

- V. Old Business**
 - A. No Old Business

- VI. New Business**
 - A. Officer Elections
 - B. Ordinance Review
 - a. Sec. 36-411 & 36-412
 - b. Sec. 36-681 (2) and (3)
 - c. Sec. 18-103
 - d. Sec. 18-113

- VII. Zoning Administrator Report**

- VIII. Commissioners' Comments**

- IX. Public Comment**
 - Any Commission related item – 3 min. limit

- X. Adjournment**
 - Next meeting: **Wednesday, January 15, 2025 at 5:30 pm**

Planning Commission Meeting Minutes
Hillsdale City Hall
Council Chambers
November 20, 2024
5:30 pm

I. Call to Order

Meeting opened at 5:30 pm followed by the Pledge of Allegiance, and Roll Call.

II. Members Present

- A. Members Present: Commissioner Roma Rogers, Vice Chair Kerry Laycock, Chairman Eric Moore, Commissioner Matt Kniffen, Commissioner William Morrisey, Commissioner Elias McConnell
- B. Public Present: Zoning Administrator Alan Beeker
- C. Members Absent: Christian Winter

III. Public Comment

No public comment.

IV. Consent Agenda and Minutes

Motion to approve the Consent agenda as presented made by Vice Chair Laycock seconded by Commission Morrisey motion approved unanimously.

V. Old Business

No old business

VI. New Business

- A. 2025 Meeting Schedule – Commissioner Morrisey moved to approve the meeting schedule for 2025. Commissioner Rogers supported, motion passed.
- B. Elect New Secretary – tabled until December meeting
- C. 2024 PC Annual Report – Commissioner Morrisey moved to approve the proposed Annual Report and include it in the December 2, 2024 Council packet. Commissioner Kniffen seconded, motion passed.
- D. Master Plan Review – the Commission reviewed the master plan goals and objectives. The Commission began to look ahead to the upcoming update.

VII. Zoning Administrator Report

Reminded those who had not completed the Citizen Planner course or comparable training that it needed to be completed by the end of the year. PZEA requirement.

Informed the Commission re: recent amendments to the PZEA.

Presented the guidelines to new zoning regulations for Battery Storage Systems.

VIII. Commissioners' Comments

No commissioner comments.

IX. Public Comment

No public comment.

X. Adjournment

Commissioner McConnell moved to adjourn the meeting, Commissioner Kniffen seconded. Motion passed unanimously. Meeting adjourned at 6:25 pm.

XI. Next meeting: December 18, 2024 at 5:30 pm.



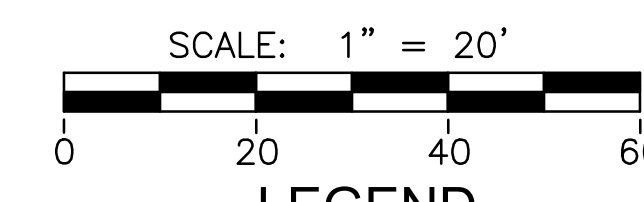
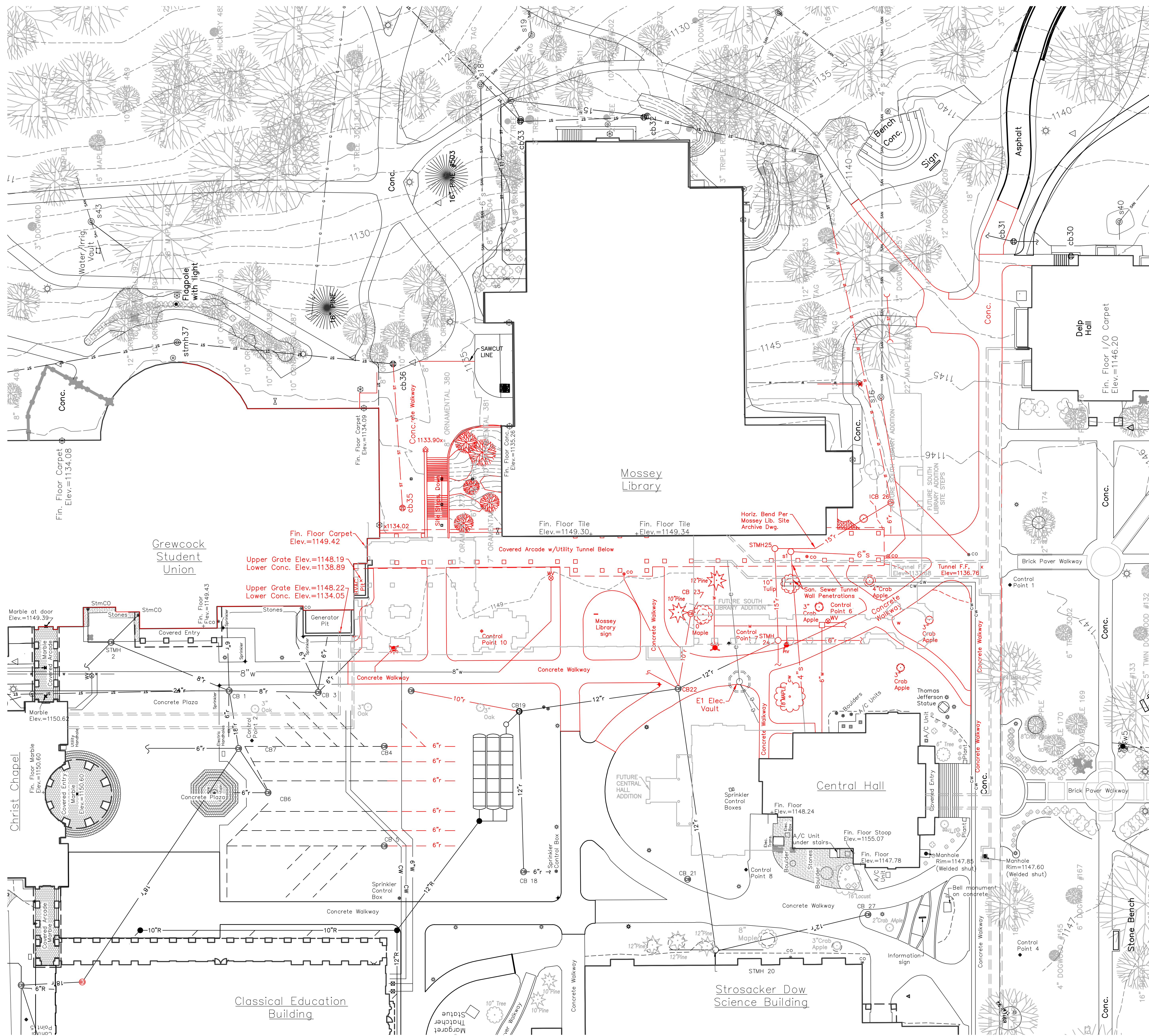
TO: Planning Commission

FROM: Zoning Administrator

DATE: December 18, 2024

RE: Site Plan Review – 246 Hillsdale

Background: Hillsdale College is proposing an addition to the Mossey Library located at 246 Hillsdale. The Library is located on the east side of the campus quadrangle. The project is an addition to the north west side of the existing library. The project has been reviewed by the city department heads, the report is included. Planning Commission members shall visit the site for field review. Zoning Administrator is requesting approval of the site plan.

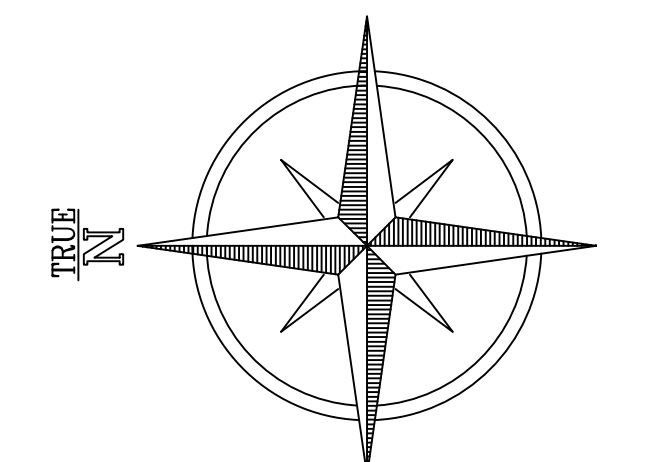


LEGEND

	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING NATURAL GAS
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING CURB & GUTTER OR GUTTER PAN
	EXISTING UTILITY TUNNEL BELOW
	STRUCTURE WITH PROPOSED S.E.C. INLET FILTER
	S.E.C. SILT FENCE
	STORM SEWER REMOVAL
	SANITARY SEWER REMOVAL
	WATER MAIN REMOVAL

REMOVAL NOTES:

- ITEMS TO BE REMOVED ARE ILLUSTRATED IN RED, THE ASSOCIATED ITEM'S TEXT IS ALSO INDICATED IN RED.



SITE REMOVAL PLAN

OCTOBER 1, 2024

NOT FOR CONSTRUCTION

HILLSDALE COLLEGE
READING ROOM &
NORTH LIBRARY
ADDITION

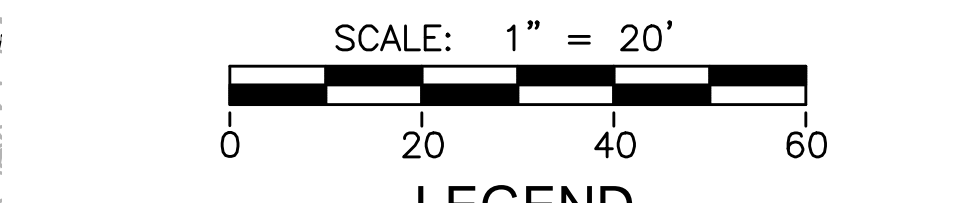
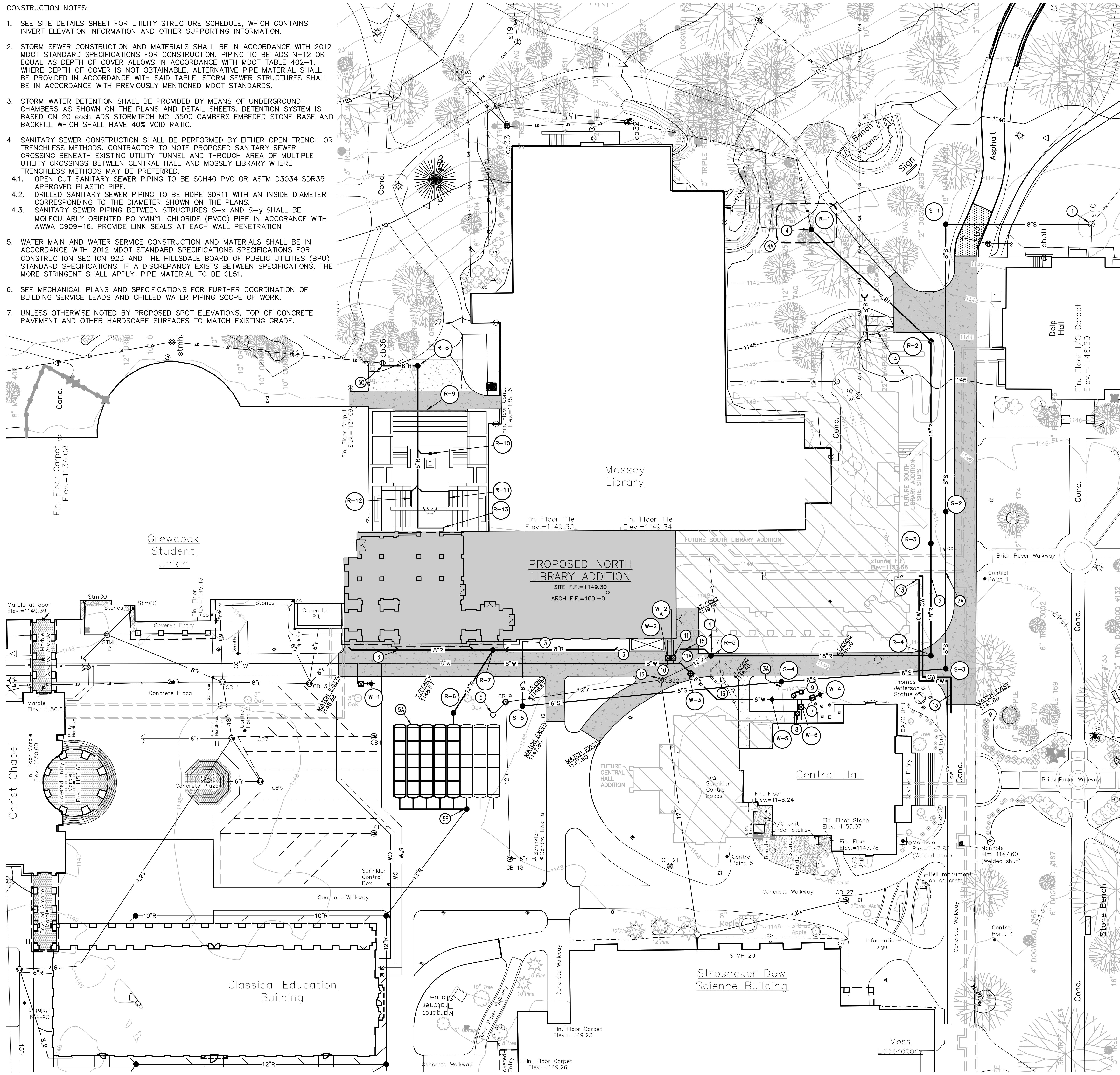
~ C0.1 ~

MICHAEL G. IMBER
ARCHITECTS
111 WEST EL PRADO
SAN ANTONIO, TEXAS 78212

50% CONSTRUCTION DOCUMENT SET

CONSTRUCTION NOTES:

- SEE SITE DETAILS SHEET FOR UTILITY STRUCTURE SCHEDULE, WHICH CONTAINS INVERT ELEVATION INFORMATION AND OTHER SUPPORTING INFORMATION.
- STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH 2012 MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION. PIPING TO BE ADS N-12 OR EQUAL AS DEPTH OF COVER ALLOWS IN ACCORDANCE WITH MDT TABLE 402-1. WHERE DEPTH OF COVER IS NOT OBTAINABLE, ALTERNATIVE PIPE MATERIAL SHALL BE PROVIDED IN ACCORDANCE WITH SAID TABLE. STORM SEWER STRUCTURES SHALL BE IN ACCORDANCE WITH PREVIOUSLY MENTIONED MDT STANDARDS.
- STORM WATER DETENTION SHALL BE PROVIDED BY MEANS OF UNDERGROUND CHAMBERS AS SHOWN ON THE PLANS AND DETAIL SHEETS. DETENTION SYSTEM IS BASED ON 20 each ADS STORMTECH MC-3500 CAMBERS EMBEDDED STONE BASE AND BACKFILL WHICH SHALL HAVE 40% VOID RATIO.
- SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED BY EITHER OPEN TRENCH OR TRENCHLESS METHODS. CONTRACTOR TO NOTE PROPOSED SANITARY SEWER CROSSING BENEATH EXISTING UTILITY TUNNEL AND THROUGH AREA OF MULTIPLE UTILITY CROSSINGS BETWEEN CENTRAL HALL AND MOSSEY LIBRARY WHERE TRENCHLESS METHODS MAY BE PREFERRED.
 - OPEN CUT SANITARY SEWER PIPING TO BE SCH40 PVC OR ASTM D3034 SDR35 APPROVED PLASTIC PIPE.
 - DRILLED SANITARY SEWER PIPING TO BE HDPE SDR11 WITH AN INSIDE DIAMETER CORRESPONDING TO THE DIAMETER SHOWN ON THE PLANS.
 - SANITARY SEWER PIPING BETWEEN STRUCTURES S-x AND S-y SHALL BE MOLECULARLY ORIENTED POLYVINYL CHLORIDE (PVC) PIPE IN ACCORDANCE WITH AWWA C909-16. PROVIDE LINK SEALS AT EACH WALL PENETRATION
- WATER MAIN AND WATER SERVICE CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH 2012 MDT STANDARD SPECIFICATIONS SPECIFICATIONS FOR CONSTRUCTION SECTION 923 AND THE HILLSDALE BOARD OF PUBLIC UTILITIES (BPU) STANDARD SPECIFICATIONS. IF A DISCREPANCY EXISTS BETWEEN SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY. PIPE MATERIAL TO BE CL51.
- SEE MECHANICAL PLANS AND SPECIFICATIONS FOR FURTHER COORDINATION OF BUILDING SERVICE LEADS AND CHILLED WATER PIPING SCOPE OF WORK.
- UNLESS OTHERWISE NOTED BY PROPOSED SPOT ELEVATIONS, TOP OF CONCRETE PAVEMENT AND OTHER HARDSCAPE SURFACES TO MATCH EXISTING GRADE.

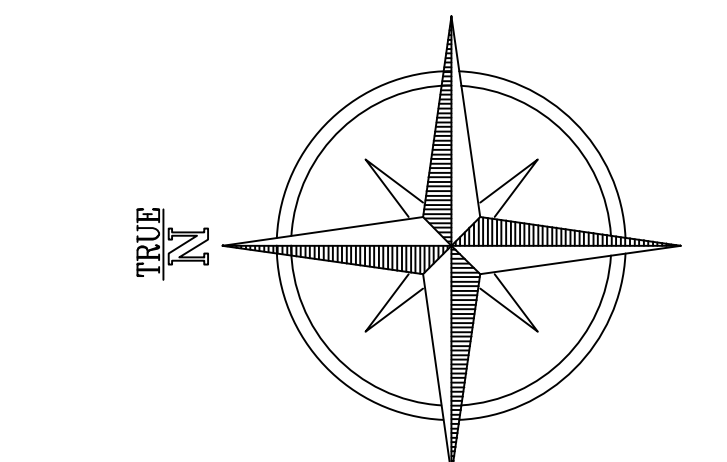


LEGEND

	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING NATURAL GAS
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING CURB & GUTTER OR GUTTER PAN
	EXISTING UTILITY TUNNEL BELOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROP. STORM SEWER IN CASING PIPE
	PROP UNDERDRAIN WITH YARD DRAIN
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	PROPOSED WATER MAIN, VALVE IN BOX
	PROPOSED WATER SERVICE LEAD, CURB BOX
	PROPOSED CHILLED WATER
	PROPOSED NATURAL GAS
	PROPOSED ELECTRIC
	3" DATA CONDUIT, SEE ELECTRICAL
	PROPOSED BUILDING ADDITION
	PROPOSED FUTURE BUILDING ADDITION
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT OR CONCRETE SIDEWALK
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT OR CONCRETE SIDEWALK
	HMA PAVING, 4.5" 13A OVER 10" AGG. BASE
	PROPOSED DRAINAGE STRUCTURE LABEL
	PROPOSED SANITARY STRUCTURE LABEL
	WATER APPURTENANCE
	CONSTRUCTION KEYNOTE
	PROPOSED SPOT ELEVATION

CONSTRUCTION KEYNOTES

- TAP EXISTING SANITARY SEWER STRUCTURE FOR NEW 8" CONNECTION. CONSTRUCT INTERNAL DROP CONNECTION.
- INSTALL 24" DIA. STEEL CASING PIPE, JACKED INTO PLACE, AS CONDUIT FOR PROPOSED STORM SEWER PIPE. STEEL CASING PIPE SHALL BE NON-SERIAL PIPE WITH A MIN. YIELD STRENGTH OF 35,000 psi, 1/2" MIN. WALL THICKNESS CONFORMING TO EITHER ASTM A53, TYPE E or S, GRADE B. PREPARE THE ENDS OF ALL STEEL PIPE TO BE JACKED IN PLACE FOR FIELD WELDING AT JOINTS. THE STORM PIPE SHALL BE STRING THROUGH THE CASING USING WOODEN BLOCKS AND STRAPS OR OTHER APPROVED MEANS AND METHODS OF SUPPORT. EACH END OF THE CASING PIPE SHALL BE BLUHEADED AND/OR THE SEWER.
- INSTALL 6" DIA C909 PIPE THREADED THROUGH EAST AND WEST WALLS OF EXISTING UTILITY TUNNEL AS PART OF SANITARY SEWER INSTALLATION BETWEEN STRUCTURES S-2 AND S-3. PROVIDE LINK SEAL AT EACH CORED WALL PENETRATION. COORDINATE EXACT WALL PENETRATION ELEVATION WITH INTERIOR TUNNEL PIPING.
- NORTH LIBRARY ADDITION SITE SANITARY SEWER SERVICE LEAD. SEE ALSO PLUMBING PLANS FOR SANITARY SEWER INVERT FOUNDATION WALL PENETRATION LOCATION.
- CENTRAL HALL SANITARY SEWER SERVICE LEAD CONNECTION TO PROPOSED RELOCATED SANITARY SEWER STRUCTURE.
- PROPOSED STORM SEWER STRUCTURE TO BE CONSTRUCTED OVER AND CONNECTED TO EXISTING STORM SEWER.
- PERFORM EXPLORATORY EXCAVATION TO EXPOSE EXISTING STORM SEWER PRIOR TO STORM SEWER SHOP DRAWING. PROVIDE 72 HOURS ADVANCE NOTICE TO ENGINEER. ENGINEER TO COORDINATE FINDINGS WITH FINAL STRUCTURE AND INVERT DETAILS.
- PROPOSED BELOW GRADE STORM WATER DETENTION SYSTEM EXPANSION AS PART OF LIBRARY ADDITION PROJECT. EXISTING SYSTEM TO BE EXPANDED WITH 20 EACH ADDITIONAL ADS MC-3500 CHAMBERS, END CAPS, AGGREGATE, AGGREGATE BACKFILL & GEOTEXTILE WRAP SYSTEM, INLET AND HEADER SYSTEM ALLOWING FOR CONNECTION TO EXISTING CHAMBER SYSTEM. SEE DETAIL SHEET.
- TAP EXISTING STORM STRUCTURE AS PART OF PROPOSED 'GRAND STAIR' STORM DRAINAGE SYSTEM CONNECTION.
- PROVIDE BELOW GRADE STORM SEWER WYE FITTINGS AND EXTEND SEWER TO DOWNSPOUT LOCATIONS & PLUMBING PENETRATION LOCATIONS. COORDINATE WITH ARCHITECTURAL & PLUMBING PLANS.
- 6x6x6 TEE, 6 INCH GATE VALVE IN BOX AS PART OF 8 INCH CONNECTION TO EXISTING CENTRAL HALL WATER SERVICE.
- 2 INCH COPPER DOMESTIC WATER SERVICE TAP OFF FROM 6 INCH OR 8 INCH MAIN. FURNISH AND INSTALL WITH CURB STOP BOX AND MAKE FINAL CONNECTION TO CENTRAL HALL DOMESTIC WATER SERVICE LEAD.
- 2 INCH COPPER WATER SERVICE TAP OFF FROM 6 INCH OR 8 INCH MAIN. FOR IRRIGATION USE. FURNISH AND INSTALL WITH FROST CURB STOP BOX AT FROST FREE DEPTH AND VALVE BOX. IRRIGATION CONNECTIONS AND BACKFLOW PREVENTION BY OTHERS.
- 6 INCH FIRE PROTECTION WATER SERVICE LEAD TO MOSSEY LIBRARY. INCLUDING 6x6x6 TEE AND 4 INCH GATE VALVE IN BOX.
- 4 INCH DOMESTIC WATER SERVICE LEAD TO MOSSEY LIBRARY. INCLUDING 8x8x4 TEE AND 4 INCH GATE VALVE IN BOX.
- 8x6 REDUCER
- 8 INCH GATE VALVE & BOX
- REROUTE, DIRECT BURY, CHILLED WATER SUPPLY AND RETURN. SEE MECHANICAL PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- FUTURE OPEN DETENTION SWAL AS PART OF ANTICIPATED SOUTH LIBRARY ADDITION. NOT IN THIS CONTRACT.
- 6 INCH PVC PIPING EXTENDED TO ARWAYWAY FOOTING FOR CONNECTION TO FOOTING DRAIN. SEE STRUCTURE.
- ADJUST EXISTING CASTING AND FRAME BY RAISING TO COORDINATE WITH MODIFIED FINISH GRADE.



SITE UTILITY PLAN

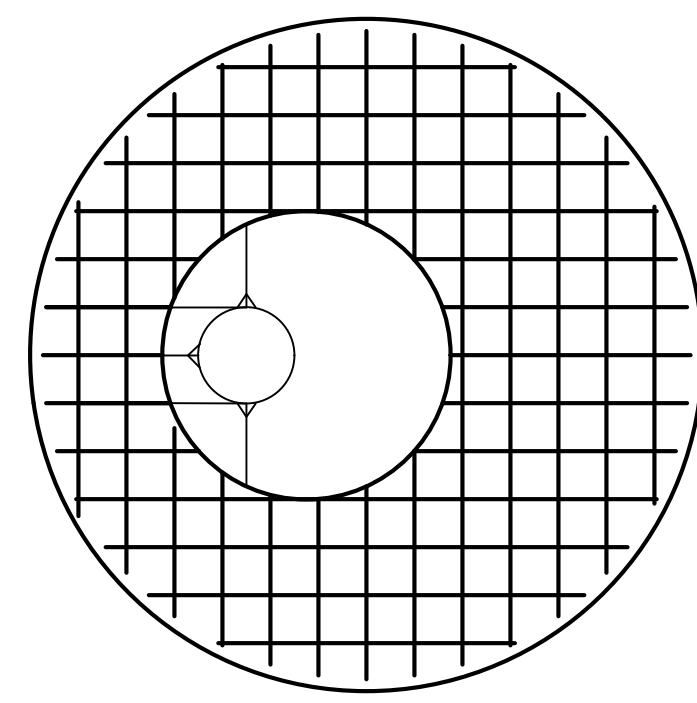
OCTOBER 1, 2024

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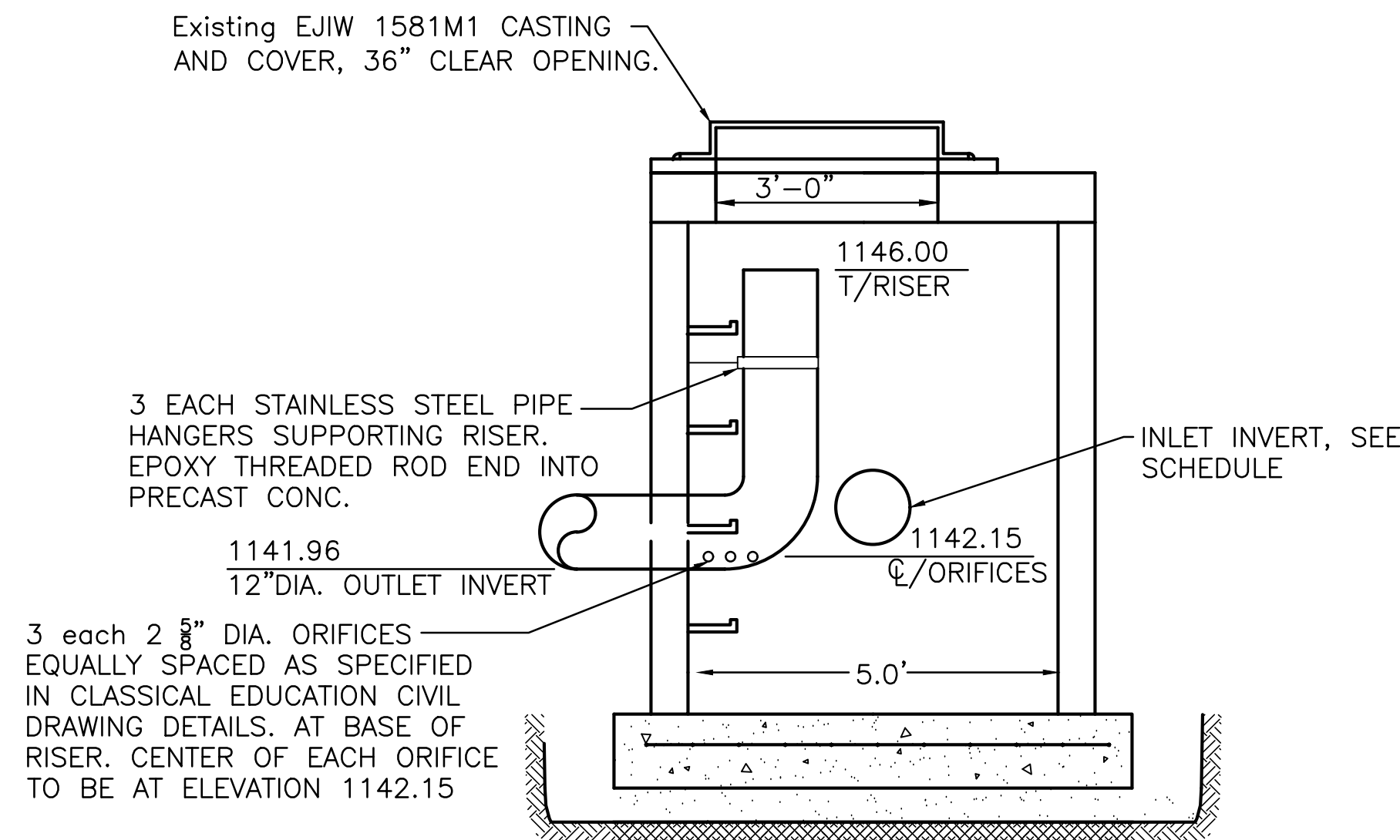
**HILLSDALE COLLEGE
READING ROOM &
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ADDITION**

C2.0

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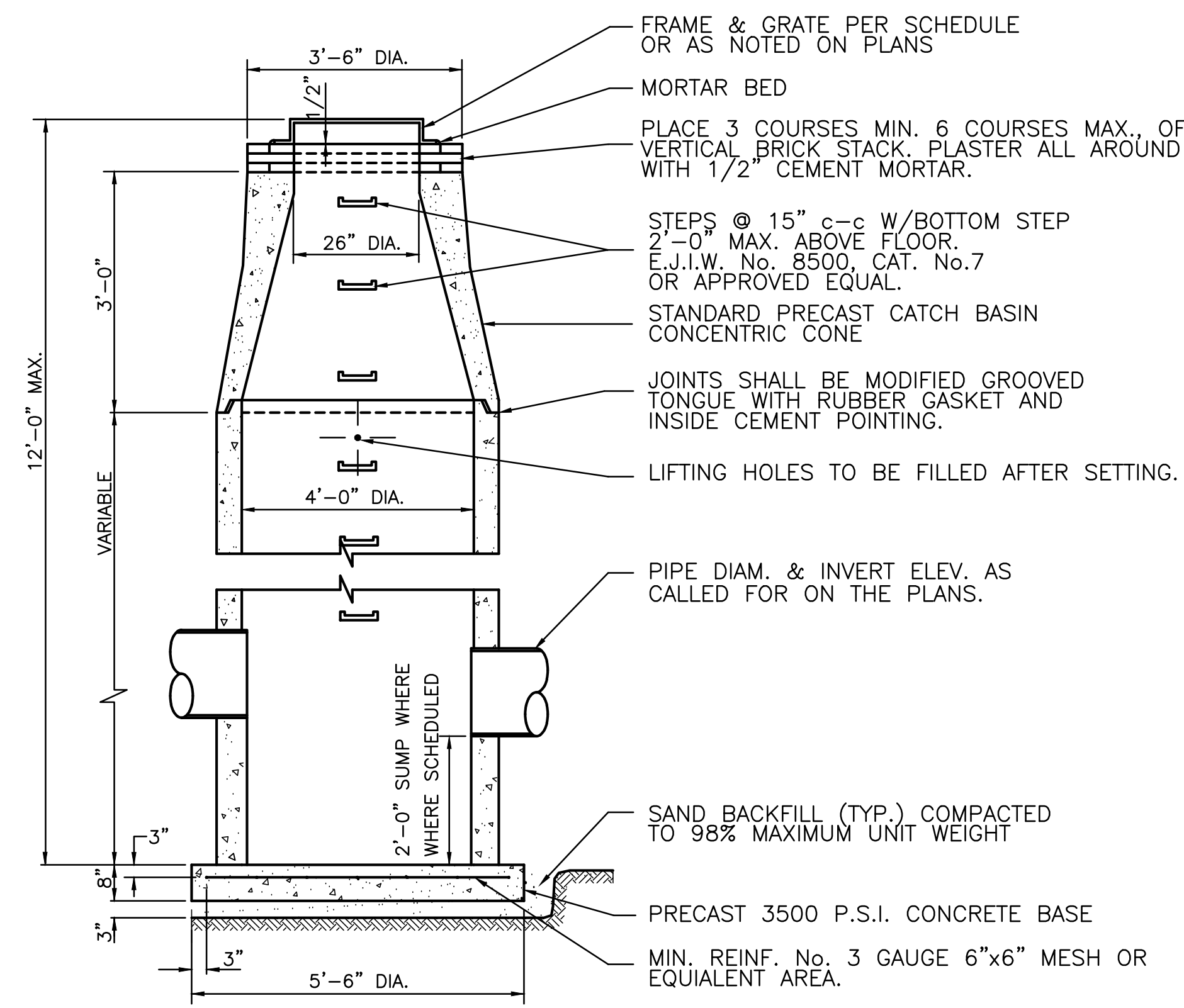


TOP SECTION

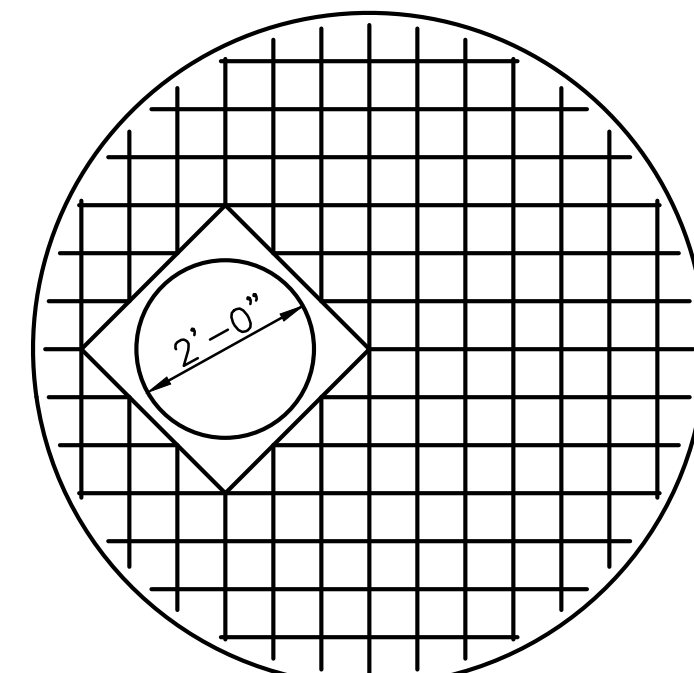


CROSS SECTION

EXISTING OUTLET CONTROL STRUCTURE, R-1
AS SPECIFIED IN 'CLASSICAL EDUCATION' PROJECT
(PROVIDED FOR INFORMATION PURPOSES ONLY)



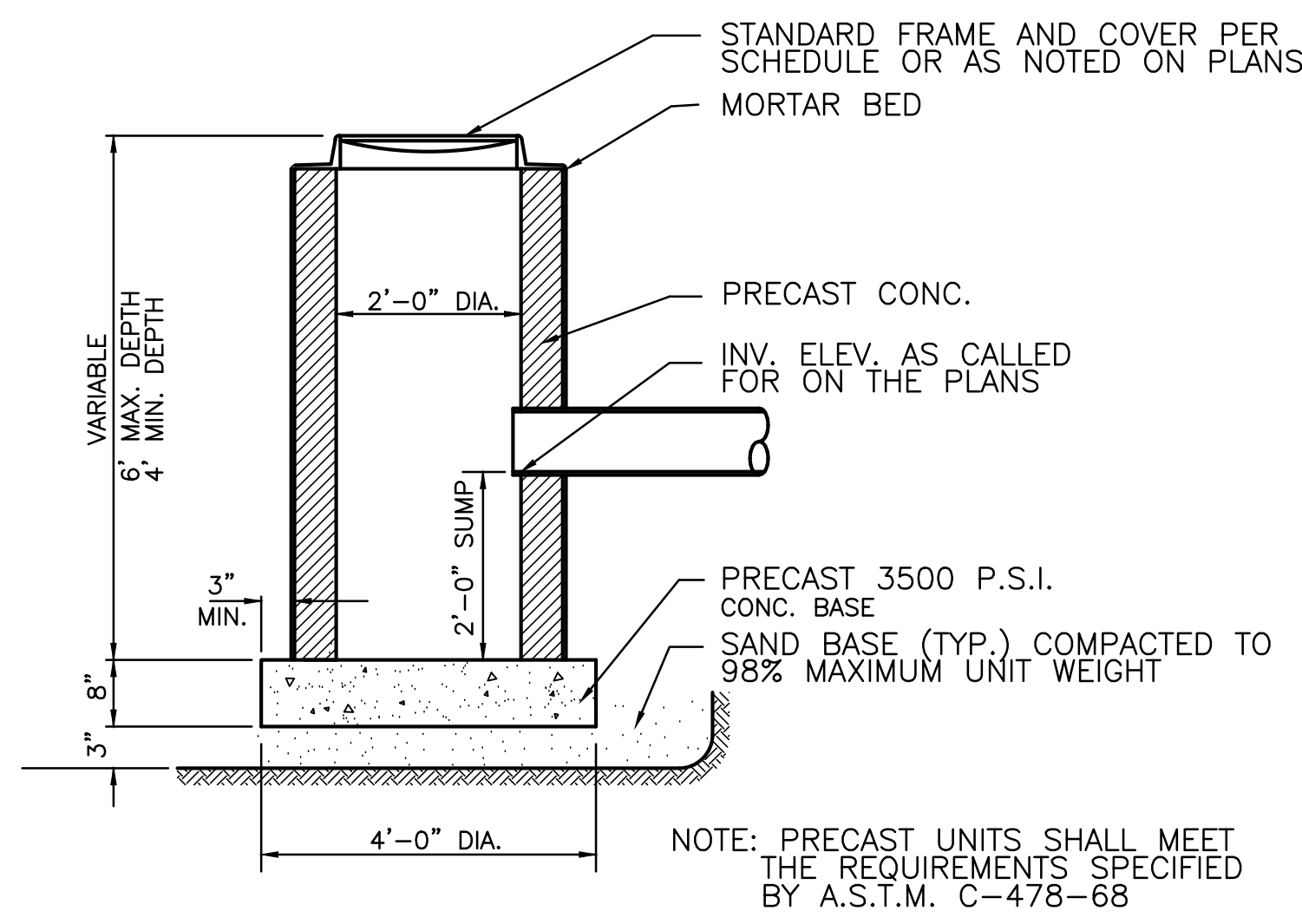
CATCH BASIN "B" (PRECAST)
NOT TO SCALE



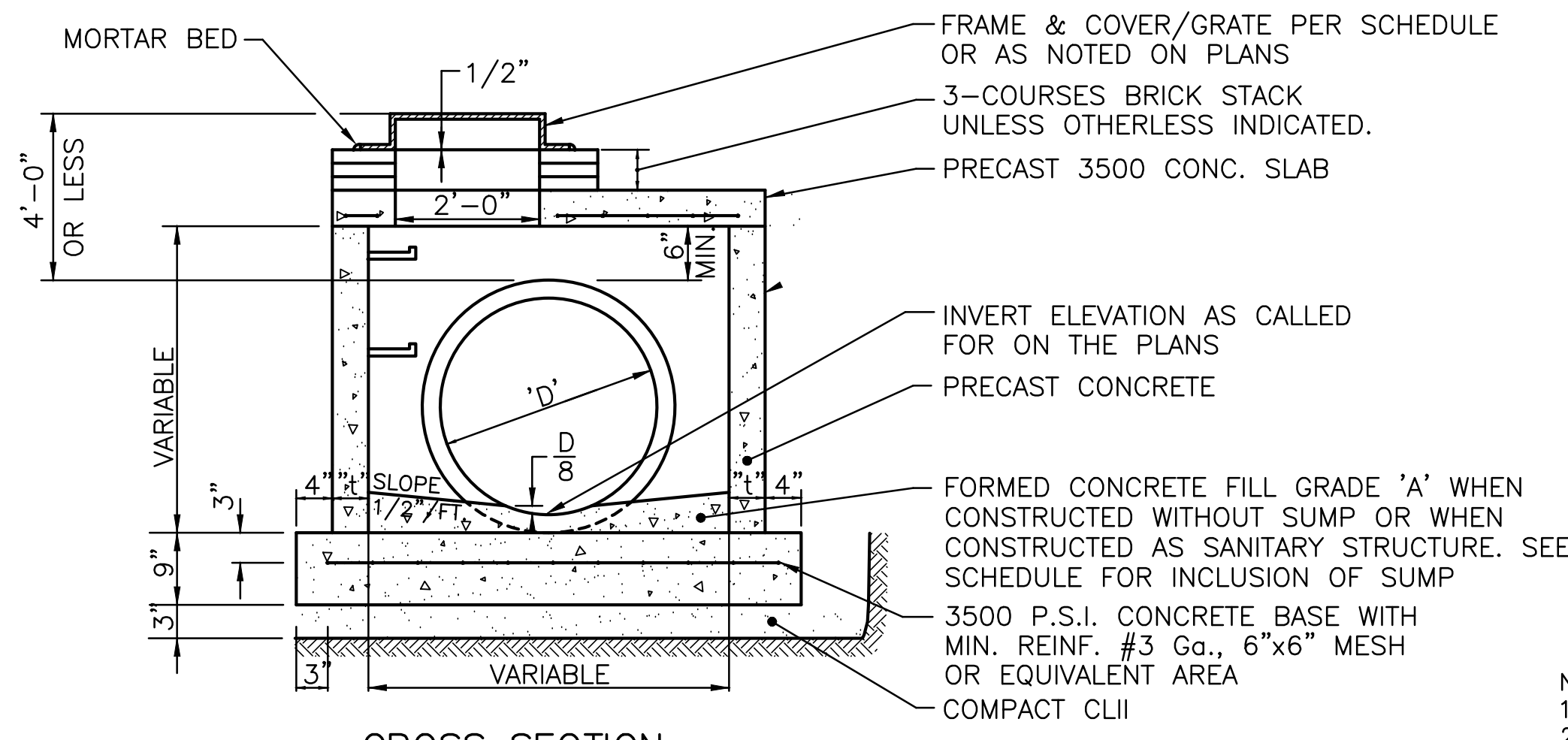
TOP SECTION

NOTE:
MANHOLE 'D' SHALL BE USED
WHERE THE DEPTH OF COVER
FROM THE TOP OF CASTING
TO THE TOP OF SEWER IS
LESS THAN 4'-0"

* DIAMETER OF MANHOLE
SHALL BE INCREASED AS
SHOWN ON THE PLANS OR IN
THE PROPOSAL DEPENDING ON
THE ANGLE OF THE SEWER



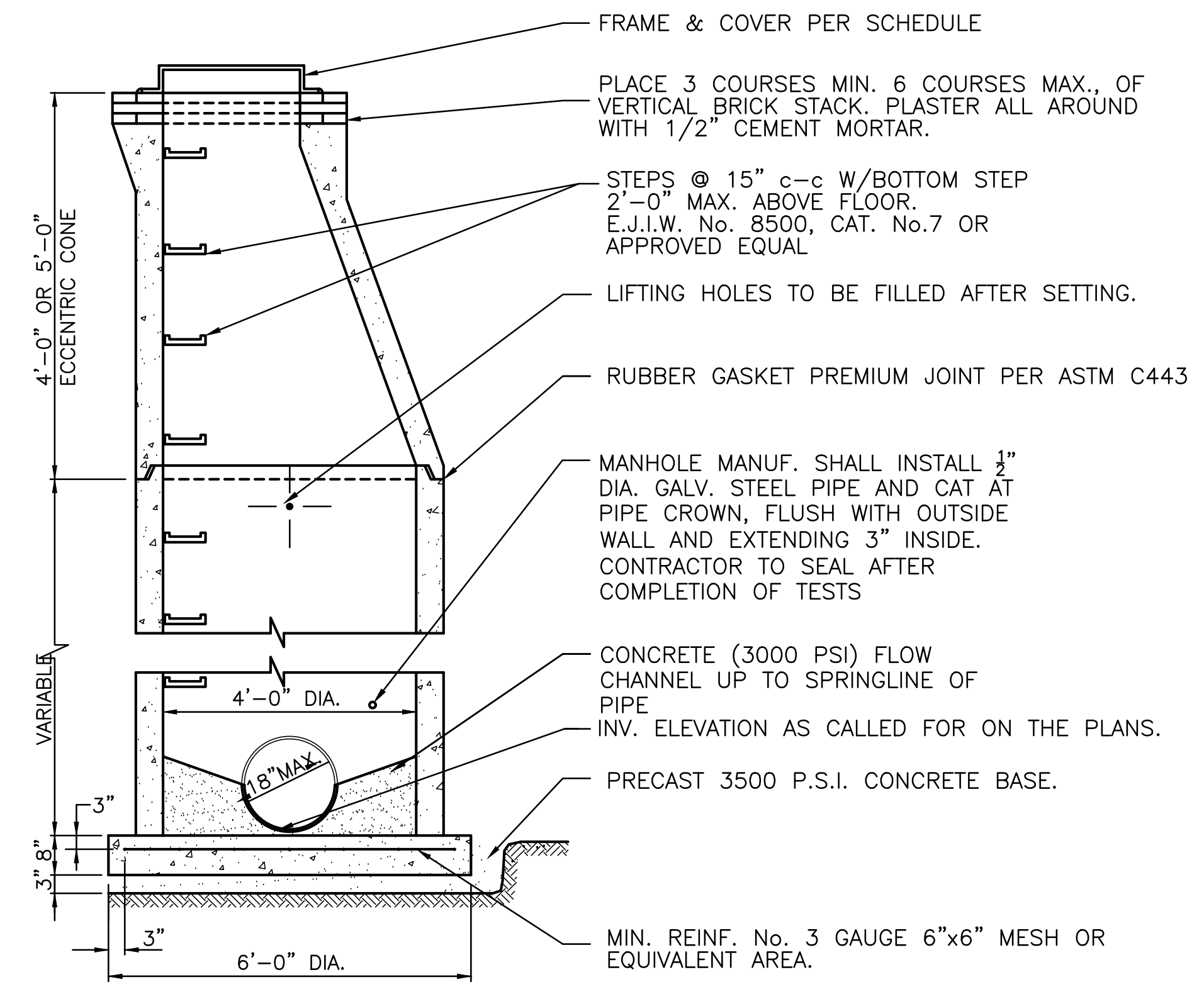
STANDARD 2' DIA. CATCH BASIN "A"
NOT TO SCALE



CROSS SECTION

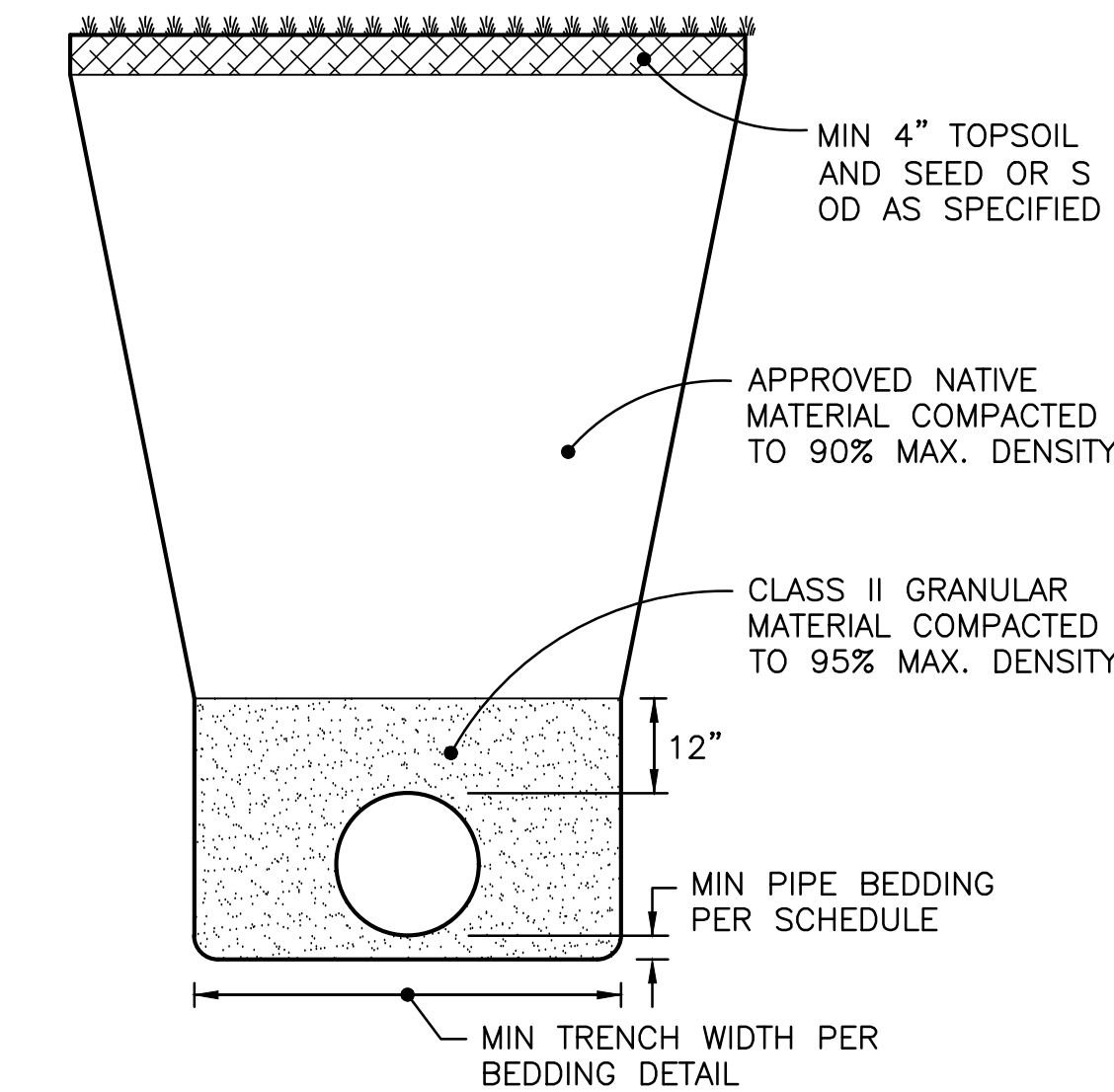
NOTE: PRECAST UNITS SHALL MEET
THE REQUIREMENTS SPECIFIED
BY A.S.T.M. C-478-68

CATCH BASIN OR MANHOLE "D"
NOT TO SCALE



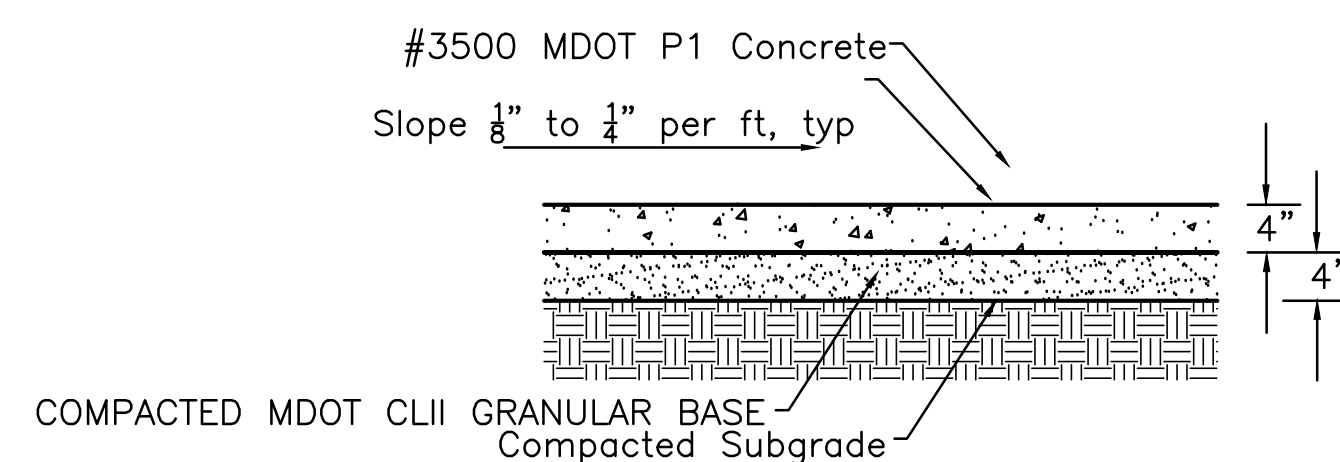
NOTES:
1. PRECAST UNITS SHALL MEET THE
REQUIREMENTS SPECIFIED BY ASTM
C-478-68.
2. OPENINGS IN PRECAST MANHOLE SECTIONS
SHALL BE FORMED DURING MANUFACTURING
PROCESS OR MACHINE CORED IN
ACCORDANCE WITH MANUFACTURER'S SPECS.
OPENINGS SHALL BE POSITIONED AROUND
THE CIRCUMFERENCE AT THE PROPER ANGLES
TO CONFORM WITH THE SEWER ALIGNMENT
SHOWN ON THE PLANS.
3. SANITARY SEWER STRUCTURE CONNECTIONS
SHALL BE COMPLETE WITH RUBBER BOOT.

PRECAST MANHOLE "E"



NOTES:
1. ALL TRENCHING TO CONFORM TO ALL APPLICABLE M.I.O.S.H.A. STANDARDS.
2. UTILITY TRENCH DETAIL A TO BE USED IN GREENBELT AREAS OUTSIDE OF
INFLUENCE OF HMA AND CONCRETE PAVEMENTS AND WALKWAYS.

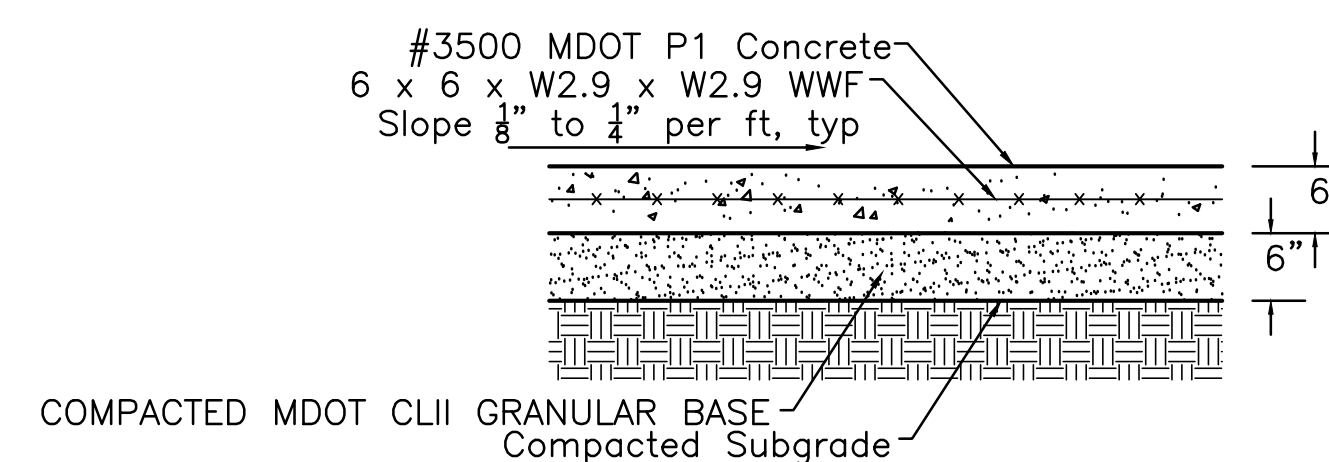
UTILITY TRENCH - DETAIL A



NOTE:

- STANDARD DUTY WALKWAY CONTROL JOINTS SHALL BE TOOLED JOINTS SPACED AT A DISTANCE EQUAL TO THE WALKWAY WIDTH.
- TYPICAL WALKWAY EXPANSION JOINTS SHALL BE CONSTRUCTED USING 1/2" FIBER EXPANSION JOINT FILLER PLACED EVERY 50 FT.
- CURE AND SEAL ALL WALKWAYS, CURBS AND CONCRETE PAVEMENTS WITH APPROVED CLEAR CURING COMPOUND. WHITE PIGMENT CURING COMPOUNDS SHALL NOT BE USED.

STANDARD DUTY CONCRETE SIDEWALK
& WALKWAY SECTION

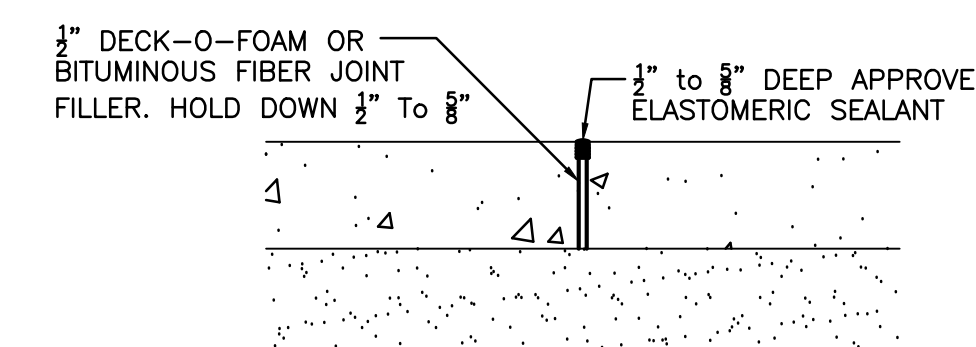


NOTE:

- ALL HEAVY DUTY CONCRETE WALKWAYS SHALL BE PER DETAIL ABOVE.
- TYPICAL WALKWAY CONTROL JOINTS SHALL BE PLACED TO DIVIDE WALKWAYS INTO SQUARE UNITS INsofar AS POSSIBLE. CONTROL JOINTS SHALL BE 1/2" WIDE TOOLED OR CUT 1/2" IN DEPTH.
- HEAVY DUTY WALKWAY EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 50 LINEAR FEET PER THE JOINT DETAIL SHOWN ON THIS SHEET.
- CURE AND SEAL ALL WALKWAYS, CURBS AND CONCRETE PAVEMENTS WITH APPROVED CLEAR CURING COMPOUND. WHITE PIGMENT CURING COMPOUNDS SHALL NOT BE USED.

HEAVY DUTY CONCRETE SIDEWALK
& WALKWAY SECTION

NOT TO SCALE



NOTE:

- TYPICAL EXPANSION JOINT SHOWN ABOVE. SEALANT MAY BE OMITTED IN ALL WALKWAYS LOCATED WITHIN THE CITY RIGHT OF WAY.

HEAVY DUTY CONCRETE SIDEWALK
& WALKWAY EXPANSION JOINT

SITE DETAILS

OCTOBER 1, 2024

NOT FOR CONSTRUCTION

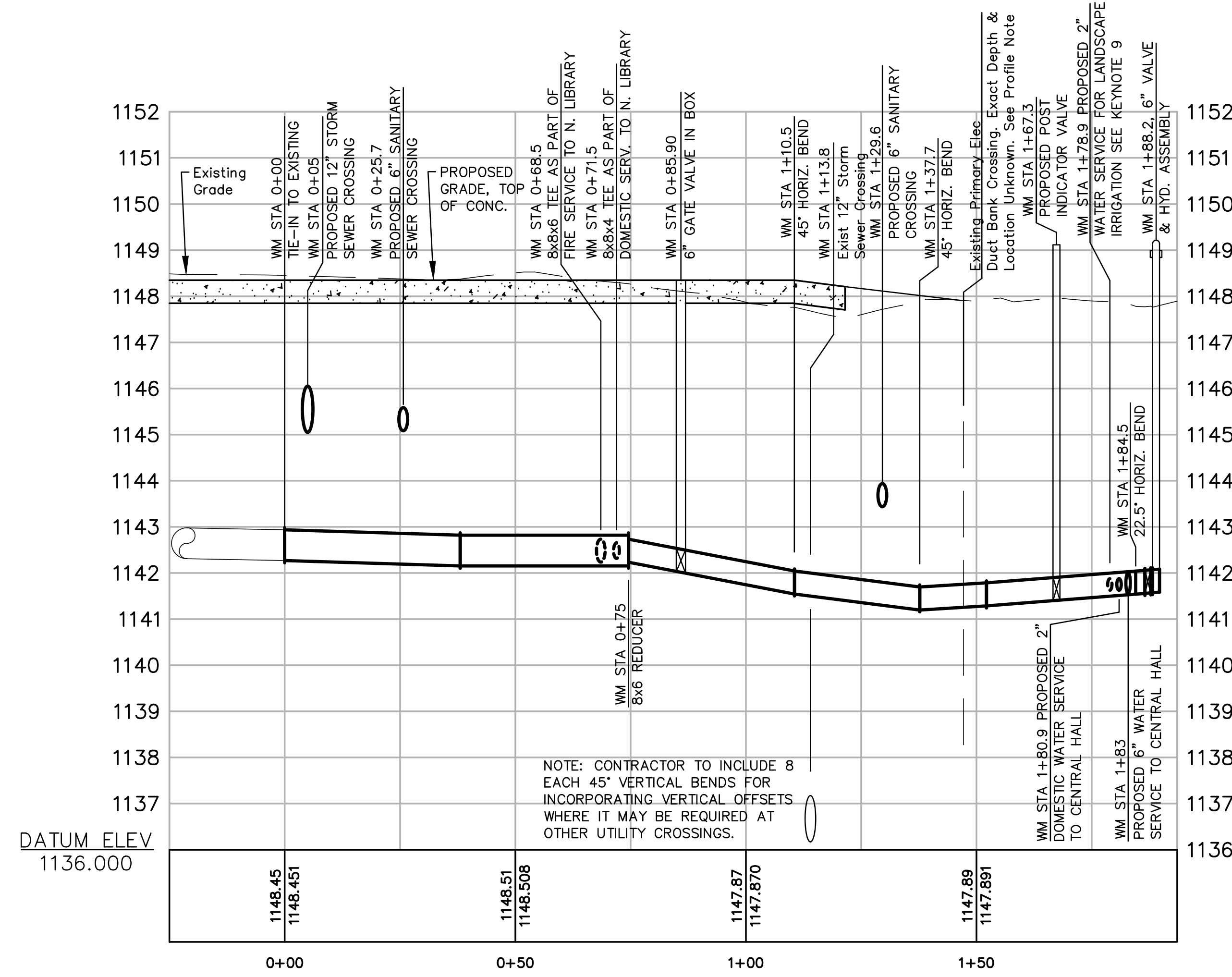
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C3.0

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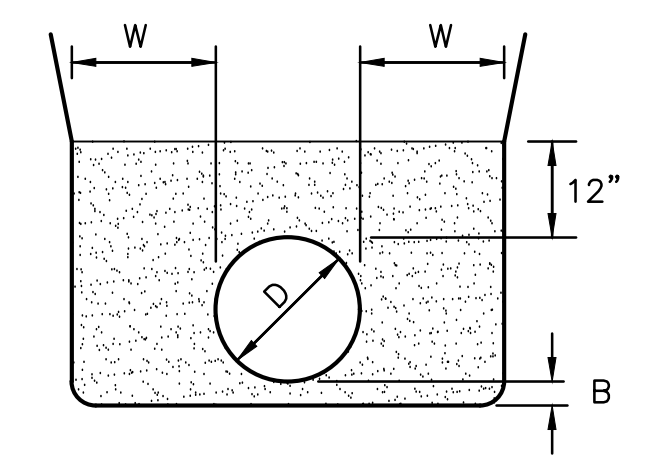
(210) 824-7703

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PROPOSED WATER MAIN PROFILE
(SCALE: 1"=20' HORIZONTAL, 1"=2' VERTICAL)

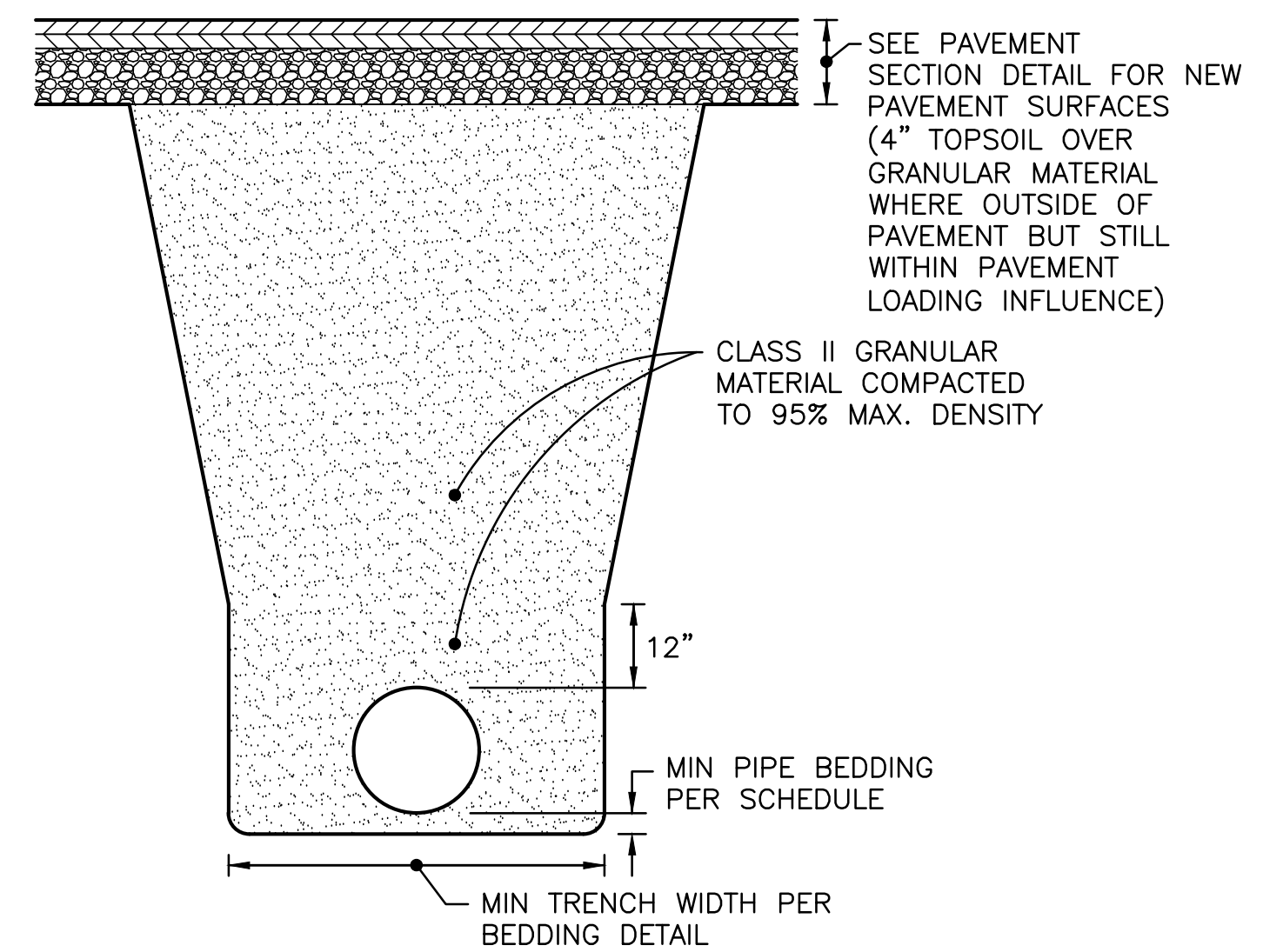
Label	Valve Rim Elevation	Top of Pipe Elev.	Remarks
W-1	1148.00	1142.5	Relocated Hydrant Assembly
W-2	1148.90	1143.5	6" Gate Valve & Box
W-2A	1148.90	1143.5	4" Gate Valve & Box
W-3	1148.00	1142.5	6" Gate Valve & Box
W-4	1148.50	1142.5	Proposed Hydrant Assembly
W-5	1148.25	1142.5	Post Indicator Valve
W-6	1148.25	1142.5	6" Gate Valve & Box



MATERIAL	D	W	B
PVC	0"-12"	12" MIN 18" MAX	0'-4"
VCP	0"-12"	6" MIN 12" MAX	0'-3"
DIP	0"-12"	6" MIN 12" MAX	0'-3"
CONC	0"-12"	6" MIN 12" MAX	0'-3"
CONC DIP	24"+	6" MIN 12" MAX	0'-4"

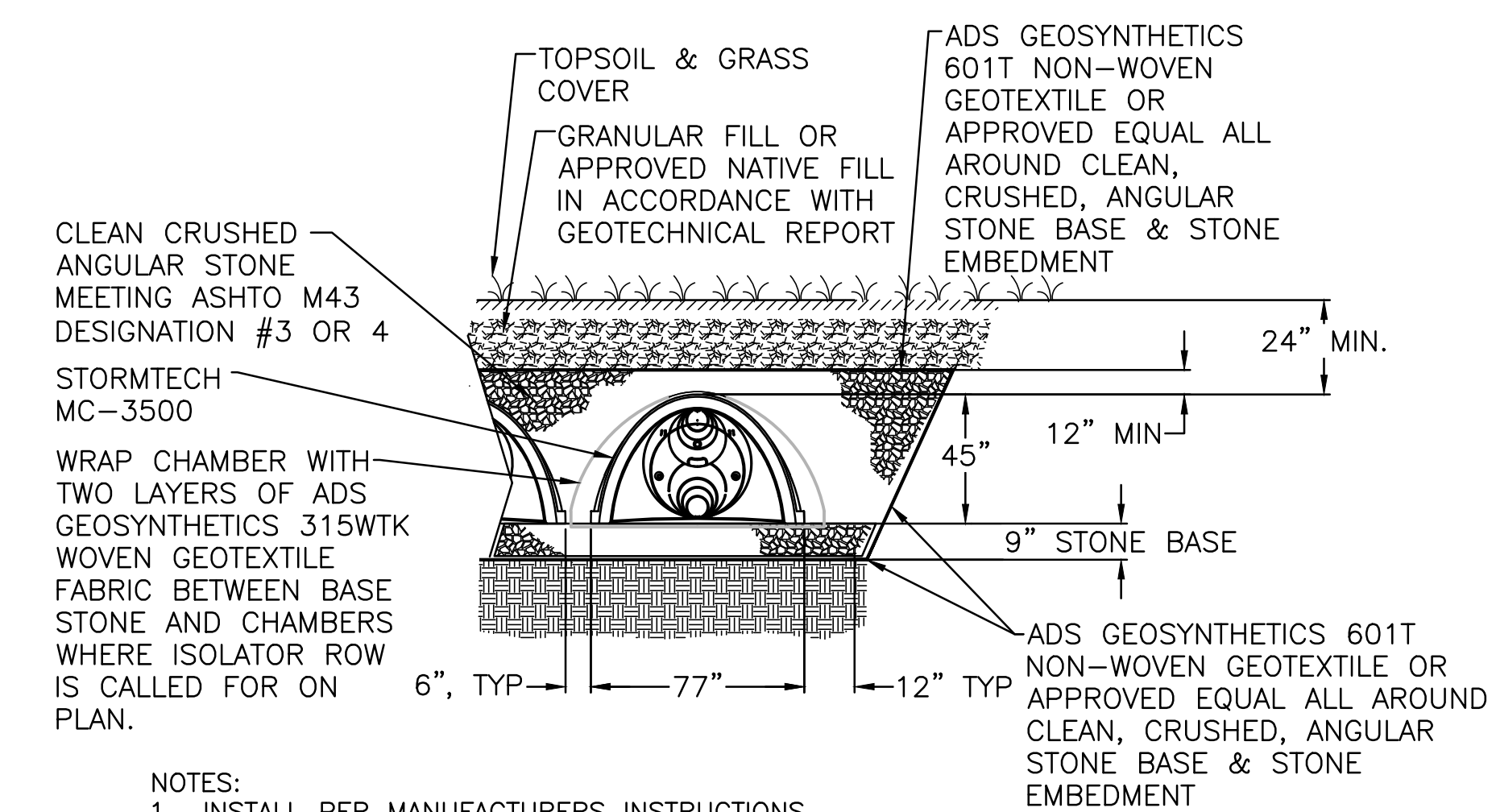
- NOTES:
1. MINIMUM TRENCH WIDTH PER TABLE
 2. RECESS TRENCH TO RELIEVE BELL OF ALL LOAD
 3. GRANULAR BACKFILL TO DEPTH OF ONE FOOT ABOVE PIPE. TAMPED LAYERS NOT TO EXCEED 6" IN DEPTH.
 4. ALL PIPE TO BE PLACED AND JOINTED IN A DRY TRENCH AND LAID ACCURATELY TO LINE AND GRADE WITH BELLS UPHILL.

PIPE BEDDING DETAIL



- NOTES:
1. ALL TRENCHING TO CONFORM TO ALL APPLICABLE M.I.O.S.H.A. STANDARDS.
 2. UTILITY TRENCH 'B' SHALL BE USED IN ALL AREAS BENEATH PAVEMENTS, HARD-SCAPE SURFACES AND WITHIN THE INFLUENCE OF SUCH HARD SURFACES.
 3. PAVEMENT SECTIONS IN PAVEMENT PATCHES SHALL MATCH EXISTING SECTIONS AS MEASURED IN THE FIELD. IN THE ABSENCE OF FIELD MEASUREMENT CONTRACTOR TO ASSUME 2.5" BASE COURSE, 2" LEVELING COURSE & 1.5" WEARING COURSE FOR PAVEMENT PATCHES IN CITY RIGHT OF WAY AND OTHER HMA PATCHES.

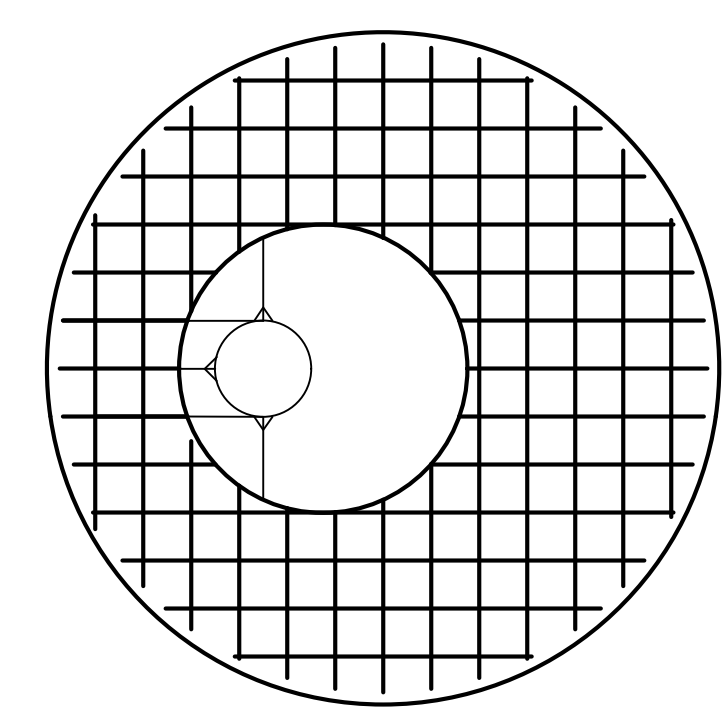
UTILITY TRENCH - DETAIL B



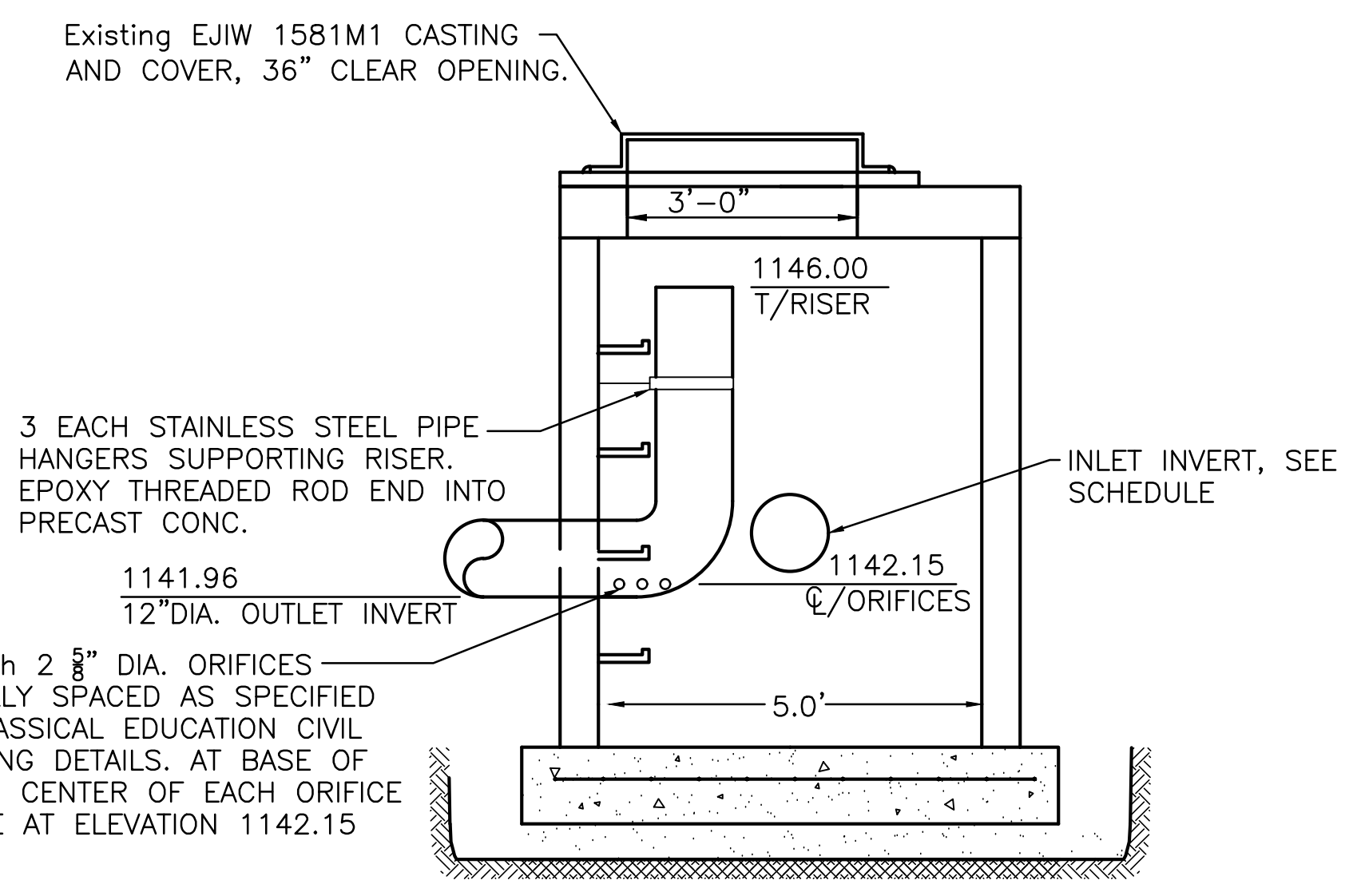
- NOTES:
1. INSTALL PER MANUFACTURERS INSTRUCTIONS.
 2. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL
 3. SEE STORM WATER MANAGEMENT CALCULATION SHEET AND UTILITY PLAN FOR GENERAL LAYOUT

UNDERGROUND DETENTION CHAMBER SECTION DETAIL

Structure No.	Structure Dia., ft	Structure Type	Rim Elevation	Invert Elev.	Invert Elev.	Invert Elev.	Invert Elev.	2 ft Sump	Structure Cover	Remarks
R-1	4	B	1141.75	15° NE 1129.17	18° SW 1129.18	-	-	No	EJW 1040M2	Structure depth and invert elevations to finalized with findings from exploratory excavation. See keynotes.
R-2	4	B	144.33	18° NE 1130.05	18° W 1130.25	-	-	No	EJW 1040N	-
R-3	4	B	1147.20	18° E 1131.30	18° W 1131.50	-	-	Yes	EJW 1040N	Note proposed Jacked-In-Place carrier pipe beneath tunnel as part of utility tunnel crossing
R-4	4	B	1147.90	18° E 1132.43	18° N 1132.53	-	-	No	EJW 1040B	Note proposed Jacked-In-Place carrier pipe beneath tunnel as part of utility tunnel crossing
R-5	4	B	1148.25	18° S 1135.58	18° N 1135.78	6° NE 1136.50	-	No	EJW 1040B	6" NE Invert to be stubbed out to a point 5' from areaway footing for connection to proposed footing drain. See Structural
R-6	4	D	1148.28	12° W 1142.33	12° E 1142.43	-	-	Yes	EJW 1040N	Detention Chamber Inlet Structure
R-7	4	D	1148.90	12° W 1145.25	8° N 1143.31	8° N 1143.31	-	No	EJW 1040B	Downspout conductor junction
R-8	NA	Cleanout	1134.00	6" 1130.10	-	-	-	NA	EJW 3648	45 Degree Horiz. Bend & Cleanout Riser
R-9	NA	Trench Drain	1138.30	6° E 1136.00	6° S 1138.00	-	-	NA	EJW 7896 'Manhattan' 12"	Trench Drain: Ulma MultiV 100 w/DI Edge, 30 I.f.
R-10	12"	Nyloplast	1141.80	6° N 1138.00	6° S 1138.00	-	-	No	Pedestrian, Bronze	-
R-11	12"	Nyloplast	1141.80	6° N 1138.30	6° S 1138.40	-	-	No	Pedestrian, Bronze	-
R-12	12"	Nyloplast	1141.80	6° E 1138.70	-	-	-	No	Pedestrian, Bronze	-
R-13	12"	Nyloplast	1142.00	6° E 1138.70	6° S 1138.80	6° N 1139.00	6° W	No	Pedestrian, Bronze	-
R-14	NA	Trench Drain	1145.60	-	-	-	-	NA	EJW 7896 'Manhattan' 12"	Trench Drain: Ulma MultiV 100 w/DI Edge, 14 I.f.
R-15	NA	Trench Drain	1145.60	-	-	-	-	NA	EJW 7896 'Manhattan' 12"	Trench Drain: Ulma MultiV 100 w/DI Edge, 14 I.f.
R-16	12"	Nyloplast	1149.10	6° E 1139.50	-	-	-	No	Pedestrian, Bronze	-



TOP SECTION



CROSS SECTION

EXISTING OUTLET CONTROL STRUCTURE, R-1 AS SPECIFIED IN 'CLASSICAL EDUCATION' PROJECT
(PROVIDED FOR INFORMATION PURPOSES ONLY)

SITE DETAILS

OCTOBER 1, 2024

NOT FOR CONSTRUCTION

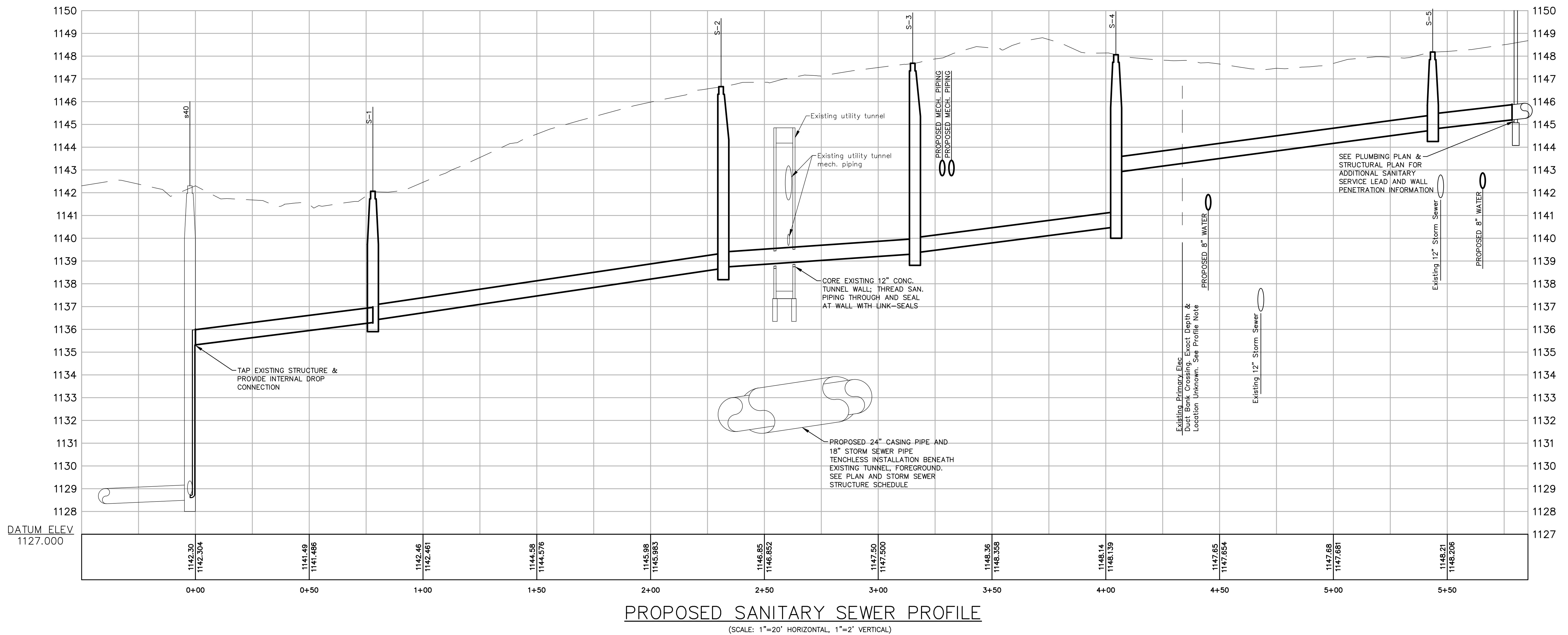
HILSDALE COLLEGE READING ROOM & NORTH LIBRARY ADDITION

~ C4.0 ~

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111 WEST EL PRADO
SAN ANTONIO, TEXAS 78212

(210) 824-7703

Sanitary Sewer Structure Schedule									
Structure No.	Structure Dia. ft	Structure Type	Rim Elevation	Invert Elev.	Invert Elev. 8" Tap N	Invert Elev.	Invert Elev.	Structure Cover	Remarks
s40	Existing	-	1142.29	existing SE 1128.49	8" Tap N 1135.32	-	-	Existing to remain	Construct internal or external drop connection
S-1	4	E	1142.00	8" S 1136.30	8" W 1136.40	-	-	EJW 1040A	-
S-2	4	E	1146.67	8" E 1138.68	8" W 1138.73	-	-	EJW 1040A	Note west invert carrier pipe. See plan
S-3	4	E	1147.75	8" E 1139.31	8" N 1139.36	-	-	EJW 1040A	Key Notes
S-4	4	E	1148.00	8" S 1140.50	8" N 1145.37	6" W 1141.10	-	EJW 1040A	East invert Central Hall service connection
S-5	4	D	1148.10	6" S 1144.75	6" E 1144.80	-	-	EJW 1040A	-



SITE DETAILS

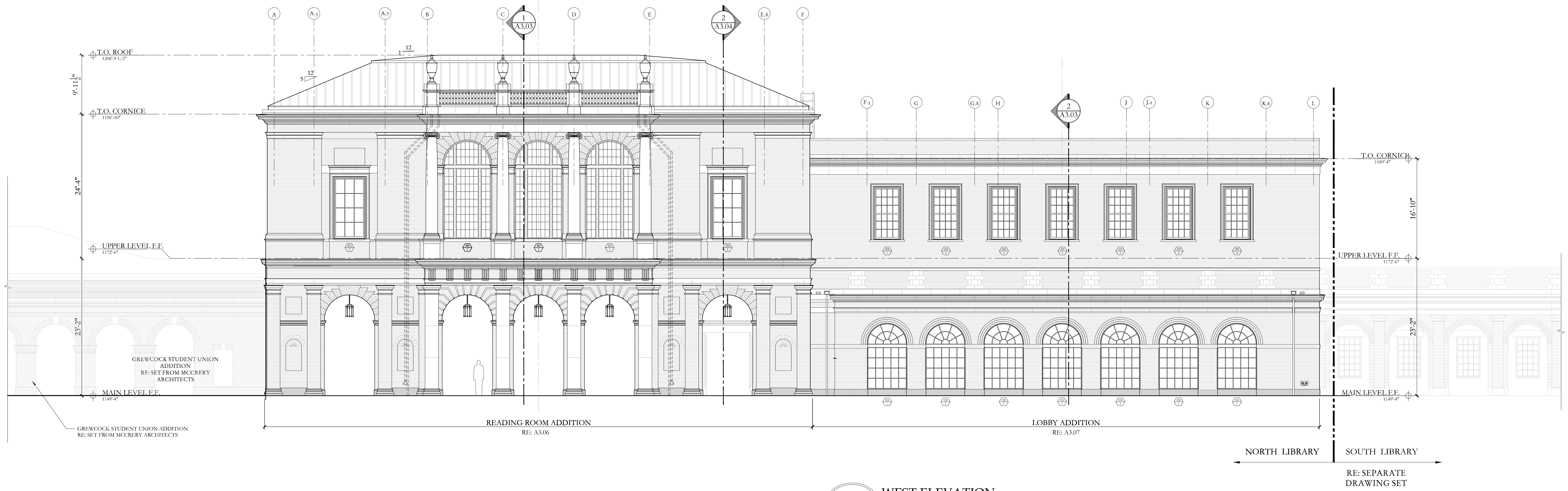
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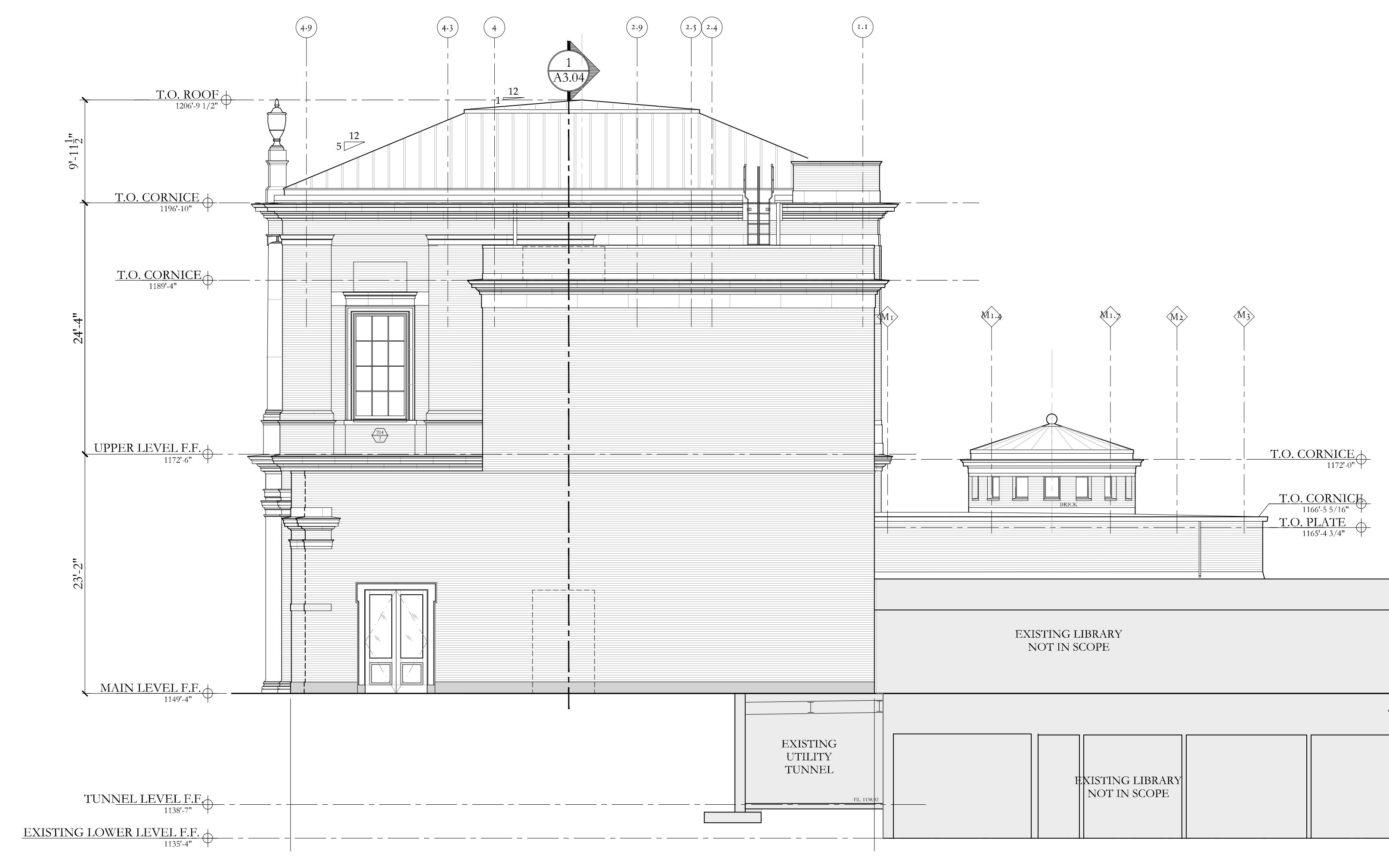
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 ARCHITECTS
 111 WEST EL PRADO
 SAN ANTONIO, TEXAS 78212



1 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

OVERALL EXTERIOR ELEVATIONS

NOVEMBER 22, 2024

NOT FOR CONSTRUCTION

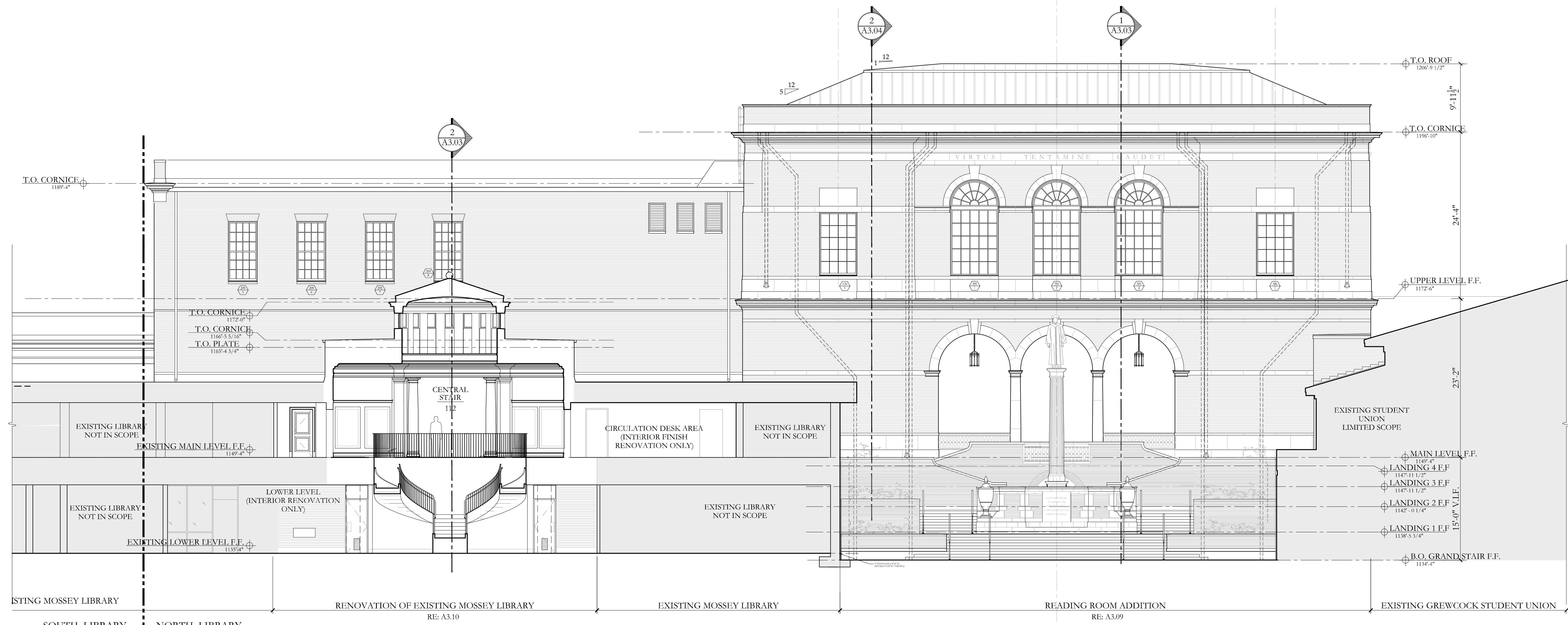
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~ A3.01 ~

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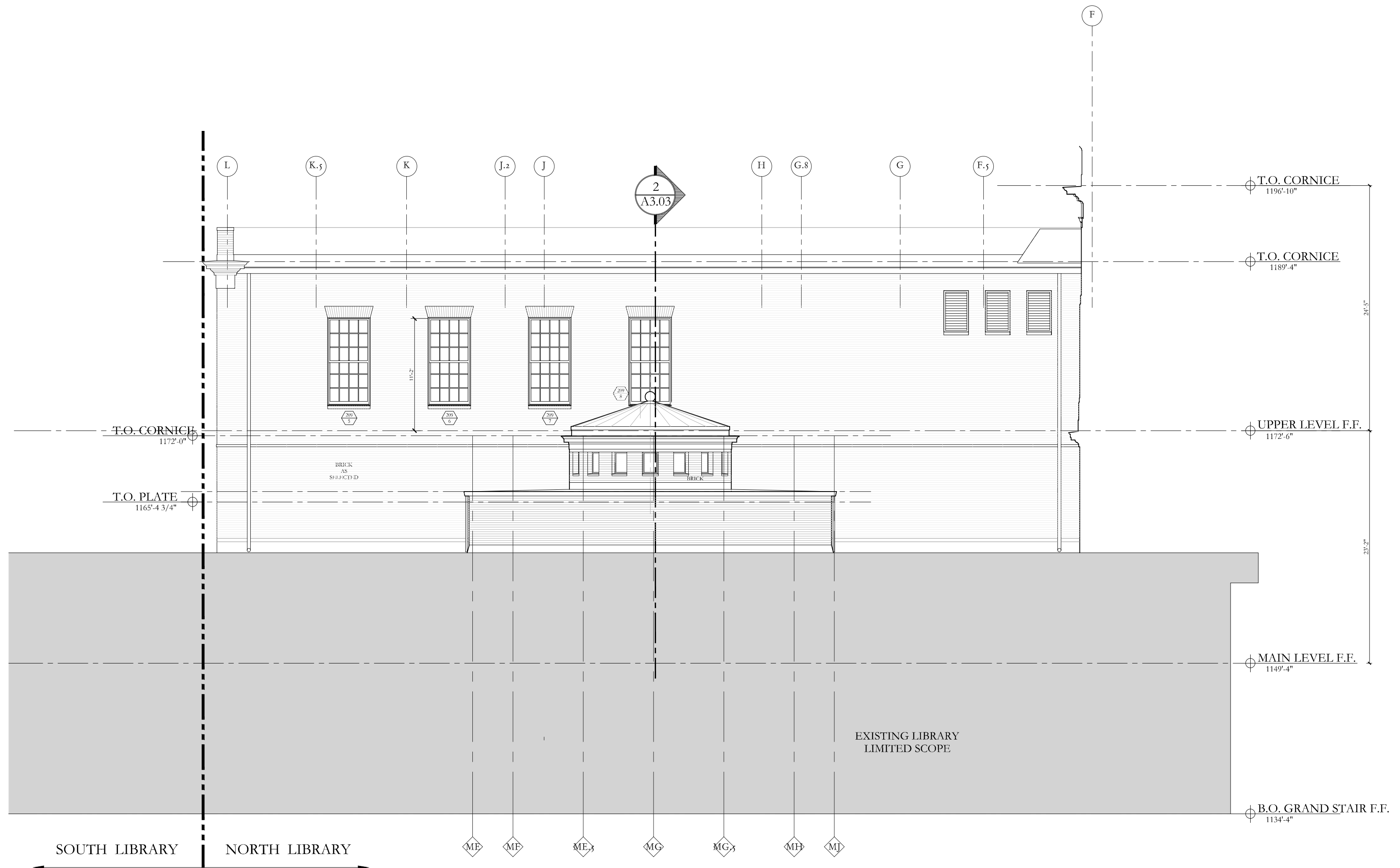
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90% CONSTRUCTION DOCUMENT SET



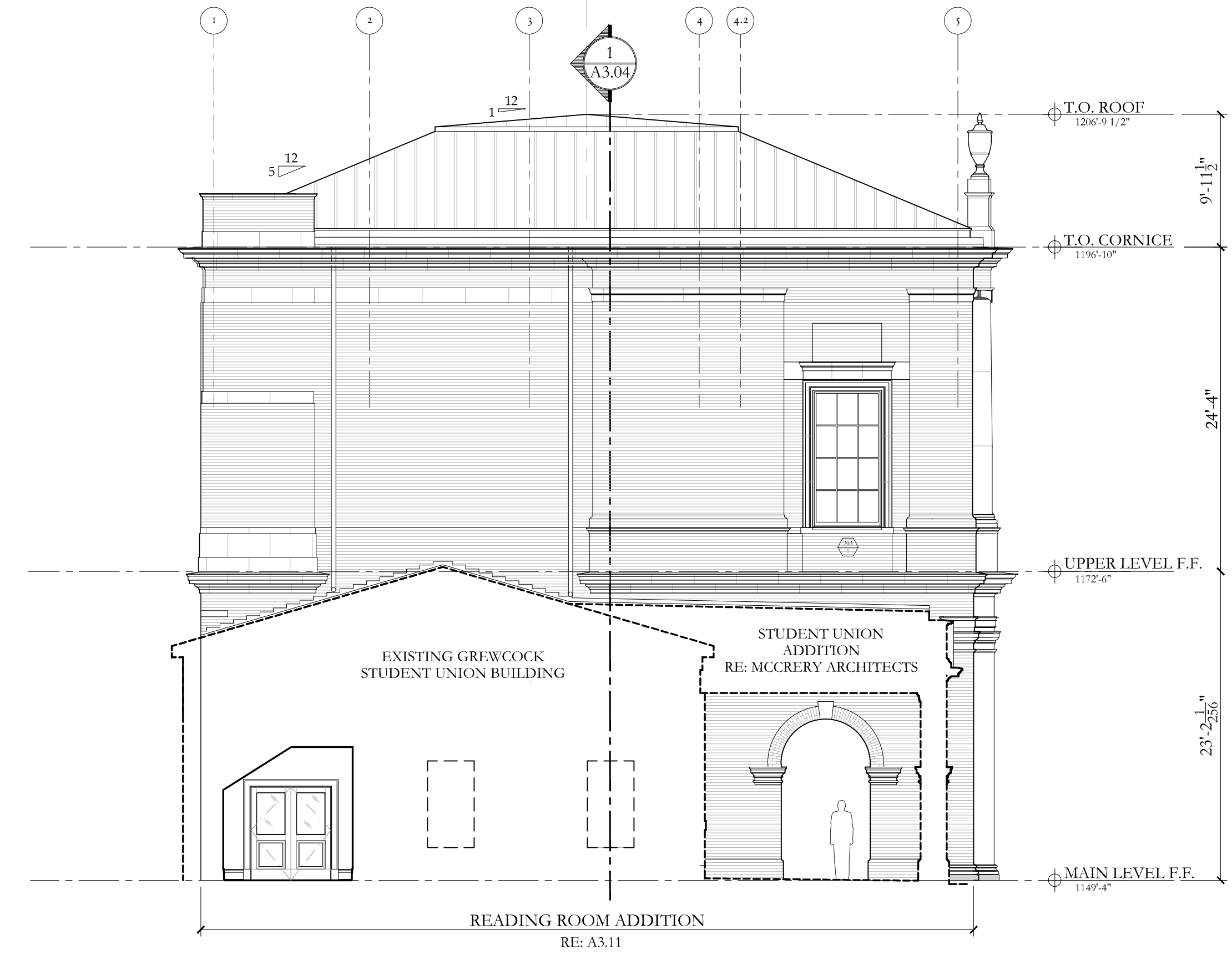
1 EAST ELEVATION
1/8" = 1'-0"

RE: SEPARATE DRAWING SET



2 EAST ELEVATION
1/8" = 1'-0"

RE: SEPARATE DRAWING SET



3 NORTH ELEVATION
1/8" = 1'-0"

OVERALL EXTERIOR ELEVATIONS

NOVEMBER 22, 2024

NOT FOR CONSTRUCTION

HILLSDALE COLLEGE
NORTH LIBRARY
ADDITION

~ A3.02 ~

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90% CONSTRUCTION DOCUMENT SET

December 10, 2024

Plans for the proposed North Addition to the Mossey Library for Hillsdale College located at 246 Hillsdale St. were reviewed by the City Dept. Heads on December 10, 2024. Their comments are as follows:

Present: Chief Scott Hephner (Police Department), Jason Blake (Dept. of Public Services), Alan Beeker (Planning & Zoning), Jake Hammel (Board of Public Utilities), Eric Sheffer (Board of Public Utilities), Matt Taylor (Project Engineer).

City Engineer

- No issues.

Public Services

- No issues.

Public Safety

- The master plan design accommodates the access needs for fire apparatus.

Board of Public Utilities

- Electrical:
 - No issues.
- Water
 - No issues.
- Sanitary
 - No issues.

Planning/Zoning

- No issues.

The Planning Commission will review the drawings for final approval at the regular meeting which will be held on December 18, 2024 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 3rd Floor Council Chambers.



TO: Planning Commission

FROM: Zoning Administrator

DATE: December 18, 2024

RE: Ordinance Review

Background: In an effort to keep the City Ordinances relevant, the Planning Dept. continues to review and amend ordinances with the goal of keeping the City operations efficient and attractive to development. The following ordinances are presented to review for those purposes.

DIVISION 16. – SCHEDULE OF REGULATIONS

Sec. 36-411. Limitations on height, bulk, density and area by land use.

Districts	Minimum Size Lot Per Unit		Maximum Height of Structures		Minimum Yard Setback (Per Lot in Feet)			Minimum Floor Area Per Unit (Square Feet)	Maximum Percentage of Lot Area Covered by All Buildings
	<u>Min.</u> Area in Square Feet	<u>Min.</u> Width in Feet	In Stories	In Feet	Front	Each Side	Rear		
R-1 one-family residential	(a) 8,400	(a) 70	3½	35	25	8	10	1,000 <u>Sec. 36-5</u>	30%
RD-1 one-family residential	(a) 6,500	(a) 60	2½	25	25	8	10	1,000	30%
RD-1 <i>one or</i> two-family residential	(a) 8,400	(a) (p) 70 <u>80</u>	2½	25	25	8	10	1,000 <u>Sec. 36-5</u>	35% <u>30%</u>
RM-1 multiple-family residential	(b)	(p)	4	40	25 (c)	8 (c)	10 (c)	1,000 (e) <u>Sec. 36-5</u>	35% (b)
B-1 local business	—	(p)	2½	35	(h) 25	(e, m)	(f, m)	none	(g)
B-2 central business	—	(p)	(i)	(i)	(h)	(e, m)	(f, m)	none	(g)
B-3 general business	—	(p)	2½	(h) 35	(h) 40	(e, m)	(f, m)	none	(g)
I-1 light industrial	—	(p)	—	(h) 50	50	(j, k, m, n) 10	(j, m, o)	none	(h)
P-1 vehicular	—	—	(j)	(j)	§ 36-354(a)	§ 36-354(a)	§ 36-354(a)	—	(h)
PRF parks and recreational facilities district	—	—	(i)	(i)	25 (h)	10	(f, m)	—	30%
C-1 college district	(b)	(b) <u>(p)</u>	4	50	(h) 40	10	(f, m)	(b)	35%

Notes:

- (a) In those instances where public sewers are not provided, all lot areas per dwelling unit shall equal at least 12,000 square feet. See sections 36-402 ~~36-401~~ and 36-403 regarding exceptions as to lot area and density controls.
- ~~(b) In an RM-1 multiple-family residential district, the total number of rooms as defined in section 36-6, in buildings consisting of more than four dwelling units shall not be more than the area of the parcel in square feet divided by 900. All units shall meet the International Property Maintenance Code (IPMC) occupancy area requirements.~~
- (c) Every lot on which a main building consisting of more than four dwelling units is erected shall be provided with a 40-foot setback on each exterior side of such lot. Each setback shall be increased by one foot for each ten feet or part thereof by which the length of the structure exceeds 40 feet in overall dimension along the adjoining lot line.

In all RM-1 multiple-family residential districts, the minimum distance between any two buildings shall not be less than the allowable distance as designated by the State of Michigan Single Construction Code. Parking shall not cover more than 30 percent of the area of any required yard, or any minimum distance between buildings. Properties must follow the landscape requirements as listed in chapter 36, sections 36-148 through 36-152.

- (d) See definitions under section 36-6. All row houses, terraces and other such multiple-type structures shall comply with the floor area requirements under apartments.
- (e) No side yards are required along the interior side lot lines, except as otherwise specified in the single state construction code. On the exterior side yard which borders on a residential district, there shall be provided a setback of not less than ten feet on the side or residential street. If walls of structures facing such interior side lot lines contain windows or other openings, side yards of not less than ten feet shall be provided.
- ~~(f) Loading space shall be provided in the rear yard in the ratio of at least ten square feet per front foot of building and shall be computed separately from the off-street parking requirements. Where an alley exists or is provided at the rear of buildings, the rear building setback and loading requirements may be computed from the center of the alley.~~
- (g) The maximum percentage of coverage shall be determined by the use and the provisions of required off-street parking, loading and unloading, and required yards.
- (h) Parking shall be permitted in the front yard after approval of the parking plan layout and points of access by the planning commission. The setback shall be measured from the nearest side of existing and/or proposed right-of-way lines, whichever is greater.
- (i) The maximum height of a structure in the B-2 district shall not exceed 12 feet above the property immediately adjacent. Any proposed structure over 50 feet tall shall require approval of the city planning commission.
- (j) No building shall be closer than 50 feet to the outer perimeter (property line) of such district when the property line abuts any residential district.
- (k) Side yards abutting upon a street and across from other industrial districts shall be provided with a setback of at least 20 feet.
- ~~(l) Planned developments involving five acres or more under one ownership shall be subject to the approval of the board of appeals, after public hearing, regarding modifications with respect to~~

height regulations. In approving an increase in structure height, the board of appeals shall require that all yards shall at least equal in their depth the height of the structure.

- (m) A four-foot-six-inch obscuring wall or fence shall be provided on those sides of the property abutting land zoned for residential use.
- (n) Parking shall be permitted on the side yard after approval of the parking plan layout and points of access by the planning commission.
- (o) All storage shall be in the rear yard and shall be completely screened with an obscuring wall or fence not less than six feet high, or with a chain-link type fence and a greenbelt planting so as to obscure all view from any adjacent district or public street.

(p) Commercial parcels resulting from land divisions must have a minimum of 104'-0" street frontage. Refer to HMC, Chapter 18 and Land Division Act MCL560.101 et seq.

(q) Residential parcels resulting from land divisions must have a minimum of 66'-0" street frontage. Refer to HMC, Chapter 18 and Land Division Act MCL560.101 et seq.

(Code 1979, § 17.28.010; Ord. No. 2005-14, 11-21-2005; Ord. No. 2014-6, 7-21-2014; Ord. No. 2016-005, 6-6-2016; Ord. No. 2018-004, 7-16-2018)

Sec. 36-412. Subdivision open space plan.

The intent of this section is to permit one-family, and one-family and two-family, residential subdivisions to be planned as a comprehensive unit, allowing therefore certain modifications to the standards as outlined in section 36-401 to be made in R-1, ~~R-2, R-3~~ one-family and RD-1 one-family and two-family residential districts, when the following conditions are met:

- (1) The lot area in all one-family and two-family residential districts may be reduced by 20 percent; provided, that the population density shall be no greater than if the land area to be subdivided were developed in the minimum square foot lot areas as required under R-1, ~~R-2, R-3~~ and RD-1 districts. In accomplishing the 20 percent lot reduction, no lot width in an R-1, ~~R-2~~ and RD-1 residential district shall be reduced by more than five feet and no lot width in an ~~R-3~~ district shall be reduced by more than ten feet. All calculations shall be predicated upon these districts having the following number of dwelling units per acre, including streets:

RD-1 (one-family)	=	5.0 dwelling units per acre
RD-1 (two-family)	=	7.75 dwelling units per acre
R-1 (one-family)	=	3.89 dwelling units per acre
R-2 (one family)	=	3.40 dwelling units per acre
R-3 (one family)	=	2.18 dwelling units per acre

- (2) For each square foot of land gained under the provisions of subsection (1) of this section within a residential subdivision through the reduction of lot size below the minimum requirements as outlined in section 36-401, equal amounts of land shall be dedicated to the subdivision. These dedications shall be either rights in fee or easement, and retained as open space for park, recreation and related uses. All lands dedicated in fee or easement shall meet the requirements of the city council.

-
- (3) The area to be dedicated for public park and recreation purposes only shall in no instance be less than four acres, and shall be in a location and shape approved by the planning commission in reviewing the proposed subdivision plat. The land shall be so graded and developed as to have natural drainage.
 - (4) In approving the application of subdivision open space plan technique, the planning commission must be cognizant of the following objectives:
 - a. To provide a more desirable living environment by preserving the natural character of open fields, stands of trees, brooks, topography and similar natural assets;
 - b. To encourage developers to use a more creative approach in the development of residential areas;
 - c. To encourage a more efficient, aesthetic and desirable use of open area while recognizing a reduction in development costs, and by allowing the developer to bypass natural obstacles in the site.
 - (5) This plan for reduced lot sizes shall only be permitted if it is mutually agreeable to the council and the subdivider or developer.
 - (6) Under this open space approach, the developer or subdivider shall dedicate the total park area (see subsection (2) of this section) at the time of filing of the final plat on all or any portion of the plat.

(Code 1979, § 17.28.020; Ord. No. 2016-005, 6-6-2016)

ARTICLE IX. OBSCURING WALLS AND FENCES¹

Sec. 36-681. Requirements.

All fences, walls, and landscape berms of any nature, type or description located in the City of Hillsdale must conform to the following regulations:

- (1) *Approval required.* The erection, construction or alteration of any fence, wall or other type of protective barrier must be approved by the zoning administrator (or designee) as to conformance with the requirements of the zoning district and this section.
- (2) **Permit required. No erection, construction or alteration of any fence shall occur without a fence permit having been obtained from the zoning administrator.**
- (3) **Application for permit: A fence permit application shall be filled out and submitted to the zoning administrator. The zoning administrator shall require that all applications for zoning compliance permits shall be accompanied by plans and information hereinafter required, as applicable. The property pins and the location of the proposed fence shall be marked prior to the zoning administrator or his designee performing a field inspection. If property pin locations are not known, a survey may be required.**
- (4) *General fence, wall, and landscape berm standards.*
 - a. *Fence wall, or landscape berm height measurement.* The height of a fence, wall, or landscape berm will be measured using the following method:
 1. The permitted height of all fences, walls, and landscape berms will be measured from the finished grade adjacent to the fence, wall, or berm, as determined by the zoning administrator (or designee).
 2. Where elevations differ by more than four feet within ten feet of side or rear lot lines, the zoning administrator (or designee) may allow additional fence, wall, or landscape berm height for the property as measured from the lower elevation.
 3. The permitted height of fences or walls will not be measured from any part of a berm or any area of the ground that has been built-up or constructed in a manner that would have the effect of allowing a taller fence than permitted by this chapter.
 4. Fencing materials should be all weather and low maintenance.
 - b. *Masonry walls.* Masonry walls must be constructed of the same or complementary building material to that of the principal structure and must be un-pierced (except for pedestrian and vehicular connections) and have a decorative cap. Cement or slag blocks will not be permitted.
 - c. *Visibility at intersections.* All fences in the front yards must comply with the requirements of this article, visibility at intersections.

¹Editor's note(s)—Ord. No. 2014-3, adopted July 21, 2014, in effect repealed the former article IX, §§ 36-681—36-685, and enacted a new § 36-681 as set out herein. The former article IX pertained to similar subject matter and derived from the Code of 1979, §§ 17.40.010—17.40.050.

Sec. 18-103. Streets.

The standards set forth in this division shall be the minimum standards for streets, roads and intersections. ~~and~~ **All** streets and alleys, **(public and private)**, shall be constructed in accordance with the standards and specifications adopted by the **City Department of Public Services and the** city engineers. Generally, all streets shall be dedicated to public use. Arterial streets shall be dedicated to public use in all cases.

(Code 1979, § 16.10.030)

Sec. 18-113. Private streets.

Private streets and roads ~~shall be prohibited~~ *may be permitted in accordance with the standards and specifications adopted by the City Department of Public Services and the City Engineers.*

(Code 1979, § 16.10.115)