



Planning Commission
97 North Broad Street
Hillsdale, Michigan 49242-1695
(517) 437-6440 Fax: (517) 437-6450

Planning Commission Agenda
March 19, 2025

I. Call to Order 5:30 pm

- A. Pledge of Allegiance
- B. Roll Call

II. Public Comment

Any agenda item – 3 min. limit

III. Consent Items

- A. Approval of agenda
- B. Approval of Planning Commission 2/19/2025 minutes

IV. Site Plan Review

- A. 3335 W Carleton
- B. 155 E Bacon

V. Old Business

- A. Ordinance Review
 - 1. Set public hearing for Secs. 36-411, 36-412, 36-681, 18-103, 18-113

VI. New Business

- A. Capital Improvement Plan – 2025-2031

VII. Zoning Administrator Report

VIII. Commissioners' Comments

IX. Public Comment

Any Commission related item – 3 min. limit

X. Adjournment

Next meeting: **Wednesday, March 19, 2025 at 5:30 pm**

Planning Commission Meeting Minutes
Hillsdale City Hall
Council Chambers
February 19, 2025
5:30 pm

I. Call to Order

Meeting opened at 5:30 pm followed by the Pledge of Allegiance, and Roll Call.

II. Members Present

- A. Members Present: Vice Chair Kerry Laycock, Chairman Eric Moore, Commissioner William Morrissey, Commissioner Christian Winter, Commissioner Jack Shelley
- B. Public Present: Zoning Administrator Alan Beeker, Matt Taylor, Jack McLain
- C. Members Absent: Commissioner Roma Rogers, Commissioner Matt Kniffen

III. Public Comment

No public comment.

IV. Consent Agenda and Minutes

Motion to approve the Consent agenda as presented made by Vice Chair Laycock, seconded by Commissioner Morrissey motion approved unanimously.

V. Site Plan Review

- A. 58 Park St – Hillsdale College Mail Building
Hillsdale College is proposing the construction of a new building located at 58 Park. The building will be used as a mail sorting and distribution center for the college as well as overflow office space. The project has been reviewed by the City Department Heads, the report is included.
Vice Chair Laycock moved to approve the plans for the new building to be located at 58 Park St., Commissioner Morrissey supported, motion passed.

VI. Old Business

- A. Ordinance Review
 - 1. Sec. 36-411 & 412 – The zoning administrator made the revisions requested from the December and January meetings. The revisions were submitted for review. Commissioner Winter moved to approve the submitted ordinance, Commissioner Morrissey supported, motion passed.

VII. New Business

No new business

VIII. Zoning Administrator Report

Aldi opens in Spring of 2025.
KFC is submitting plans for the March meeting

IX. Commissioners' Comments

Commissioner Morrisey updated the Commission on the Keefer project.

X. Public Comment

Jack McLain once again voiced his concerns with fire escape from buildings in the downtown that are over three stories. His concerns are that the city is not amending the zoning ordinance to address the potential risks. He also would like to see new traffic lights that address pedestrian safety if the road diet is implemented. He also called for better police enforcement of existing traffic rules.

XI. Adjournment

Vice Chair Laycock moved to adjourn the meeting, Commissioner Winter seconded. Motion passed unanimously. Meeting adjourned at 6:02 pm.

XII. Next meeting: March 19, 2025 at 5:30 pm.



TO: Planning Commission

FROM: Zoning Administrator

DATE: March 19, 2025

RE: Site Plan Review – 3335 W Carleton

Background: KFC is proposing a new restaurant to be located at 3335 W Carleton. The proposed building is to be 1680 s.f. restaurant with a drive through. The project has been reviewed by the city department heads, the report is included. Planning Commission members shall visit the site for field review. Zoning Administrator is requesting approval of the site plan.

CONSTRUCTION PLANS

KFC HILLSDALE

3335 W. CARLETON HWY
CITY OF HILLSDALE, HILLSDALE COUNTY, MI 49242



PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
2/19/2025		CITY OF HILLSDALE ZONING PERMIT
2/26/2025		HILLSDALE COUNTY EROSION CONTROL PERMIT
3/7/2025		MDOT RIGHT OF WAY PERMIT



INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	DEMOLITION PLAN
C-3.0	DIMENSION AND PAVING PLAN
C-4.0	GRADING AND EROSION CONTROL PLAN
C-5.0	UTILITY AND DRAINAGE PLAN
C-6.1	NOTES AND DETAILS - SHEET 1
C-6.2	DETAILS - SHEET 2
C-6.3	DETAILS - SHEET 3
C-6.4	KFC TRASH ENCLOSURE DETAILS
C-6.5	DETAILED MENU BOARD DIMENSION PLAN
	LANDSCAPE PLAN AND SPECIFICATION
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
L-2.1	LANDSCAPE SPECIFICATIONS
L-2.2	LANDSCAPE SPECIFICATIONS
	ARCHITECTURAL PLANS AND ELEVATIONS
A1.0	FLOOR PLAN DIMENSIONS & WALL TYPES
A2.0	FLOOR PLAN EQUIPMENT AND SEATING
A2.1	EQUIPMENT SCHEDULE
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR COLORED ELEVATIONS
	PHOTOMETRIC PLANS

DESIGN TEAM

OWNER/DEVELOPER	CIVIL ENGINEER
KBP BRANDS 11141 OVERBROOK ROAD, SUITE 400 LEAWOOD, KS 66211 CONTACT: KEN SHAW PHONE: 610.212.1045 EMAIL: KSHAW@KBPBRANDS.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: LUCAS DRIESENKA, PE PHONE: 844.813.2949 EMAIL: LDRIESENKA@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
DESIGN+ INC. 1449 BARDSTOWN ROAD, SUITE 200 LOUISVILLE, KY 40204 CONTACT: DALE RYAN PHONE: 502.454.5011 EXT. 117 EMAIL: DALER@DESIGNPLUSINC.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	2/19/2025
PLANNING COMMISSION MEETING SET	3/7/2025

NOT FOR CONSTRUCTION

LEGAL DESCRIPTION:
(PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT #301245878NTS)

Land in the Southeast Quarter of Section 16, Town 6 South, Range 3 West, City of Hillsdale, Hillsdale County, Michigan, described as follows:

PARCEL 1:

Commencing at the Northeast corner of Lot 1, Jacob Beck Subdivision, being a part of the Southeast Quarter of Section 16, Town 6 South, Range 3 West, City of Hillsdale, Hillsdale County, Michigan, as recorded in Liber 6 of Plats, page 8, Hillsdale County Records; thence North 89 degrees 13 minutes 34 seconds West 85.62 feet to the northerly right of way line of Highway M-99; thence North 39 degrees 17 minutes 41 seconds West along said Northerly line 271.55 feet to the point of beginning of this description; thence continuing North 39 degrees 17 minutes 41 seconds West along said right of way line 170.17 feet; thence North 48 degrees 47 minutes 47 seconds East 250.97 feet to the Southerly right of way line of the N.Y.C.R.R.; thence South 49 degrees 43 minutes 08 seconds East along said Southerly line 175.82 feet; thence South 48 degrees 34 minutes 02 seconds West 282.69 feet to the point of beginning.

PARCEL ID: 30-006-016-400-34

PARCEL 2:

Commencing at the Northeast corner of Lot 1, Jacob Beck Subdivision being a part of the Southeast Quarter of Section 16, Town 6 South, Range 3 West, Fayette Township (now City of Hillsdale), Hillsdale County, Michigan, as recorded in Liber 6 of Plats, page 8; thence North 69 degrees 13 minutes 34 seconds West 85.62 feet to the Northerly right of way line of Highway M-99; thence North 39 degrees 17 minutes 41 seconds West along the Northerly line, 77.00 feet; thence continuing North 39 degrees 17 minutes 41 seconds West along the right of way line 384.72 feet to the point of beginning; thence continuing North 39 degrees 17 minutes 41 seconds West 130 feet; thence North 49 degrees 08 minutes 21 seconds East 227.40 feet to the Southerly right of way line of railroad; thence South 49 degrees 43 minutes 08 seconds East 130 feet; thence South to the point of beginning.

PARCEL ID: 30-006-016-400-33

BENCHMARKS:

(NAVD 88 - GPS DERIVED)
BM #300
ELEV. - 1083.65'
THE NORTHEAST FLANGE BOLT ON A FIRE HYDRANT, LOCATED 35' EASTERLY OF CENTERLINE W CARLETON RD AND 255' NORTHWEST OF THE NORTHWEST CORNER OF A 1-STORY SERVICE GARAGE.
BM #301
ELEV. - 1086.65'
FOUND RAILROAD SPIKE IN THE SOUTHWEST FACE OF A POWER POLE, LOCATED 40' WESTERLY OF A RAILROAD TRACK AND 75' SOUTHEAST OF THE EAST BUILDING CORNER OF HAWKINS MOTOR SALES.

SURVEYOR'S NOTES:

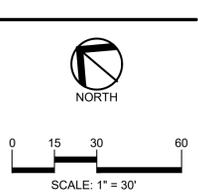
A. BEARINGS WERE ESTABLISHED VIA GNSS OBSERVATIONS AND LINKED TO CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) WITHIN THE MICHIGAN SPATIAL REFERENCE NETWORK (MSRN).

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26059C01590, EFFECTIVE DATE: FEBRUARY 19, 2014

LEGEND:

- OH-ELEC-W-O EX. OH. ELEC. POLE & GUY WIRE
 - UG-CATV EX. U.G. CABLE TV & PEDESTAL
 - UG-COMM EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
 - UG-ELEC EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
 - EX GAS LINE
 - EX GAS VALVE & GAS LINE MARKER
 - EX TRANSFORMER & IRRIGATION VALVE
 - EX WATER MAIN
 - EX HYDRANT, GATE VALVE & POST INDICATOR VALVE
 - EX WATER VALVE BOX & SHUTOFF
 - EX SANITARY SEWER
 - EX SANITARY CLEANOUT & MANHOLE
 - EX COMBINED SEWER MANHOLE
 - EX STORM SEWER
 - EX CLEANOUT & MANHOLE
 - EX SQUARE, ROUND & BEEHIVE CATCH BASIN
 - EX YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
 - EX UNIDENTIFIED STRUCTURE
 - EX MAILBOX, SIGN, LIGHTPOLE & GUARD POST
 - EX FENCE
 - EX GUARD RAIL
 - EX DEC. TREE, CONIFEROUS TREE & SHRUB
 - EX TREE TAG & TREE LINE
 - EX SPOT ELEVATION
 - EX CONTOUR
 - EX WETLAND
 - IRON FOUND / SET
 - NAIL FOUND / NAIL & CAP SET
 - BRASS PLUG SET
 - MONUMENT FOUND / SET
 - SECTION CORNER FOUND
 - RECORDED / MEASURED / CALCULATED
 - GNSS GLOBAL NAVIGATION SATELLITE SYSTEM
- REFERENCE DRAWINGS:**
- WATER MAIN CITY OF HILLSDALE, EMAIL RECEIVED 1/10/2025
 - SANITARY SEWER CITY OF HILLSDALE, EMAIL RECEIVED 1/10/2025
 - ELECTRIC CITY OF HILLSDALE, EMAIL RECEIVED 1/10/2025
 - GAS MICHIGAN GAS UTILITIES, EMAIL RECEIVED 1/10/2025
 - FLOOD PLAIN FEMA FIRM #26059C01590, 02/19/2014



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEARNWOOD, KS 66211

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 49242

REVISIONS

PLANNING COMMISSION SET	3/7/2025
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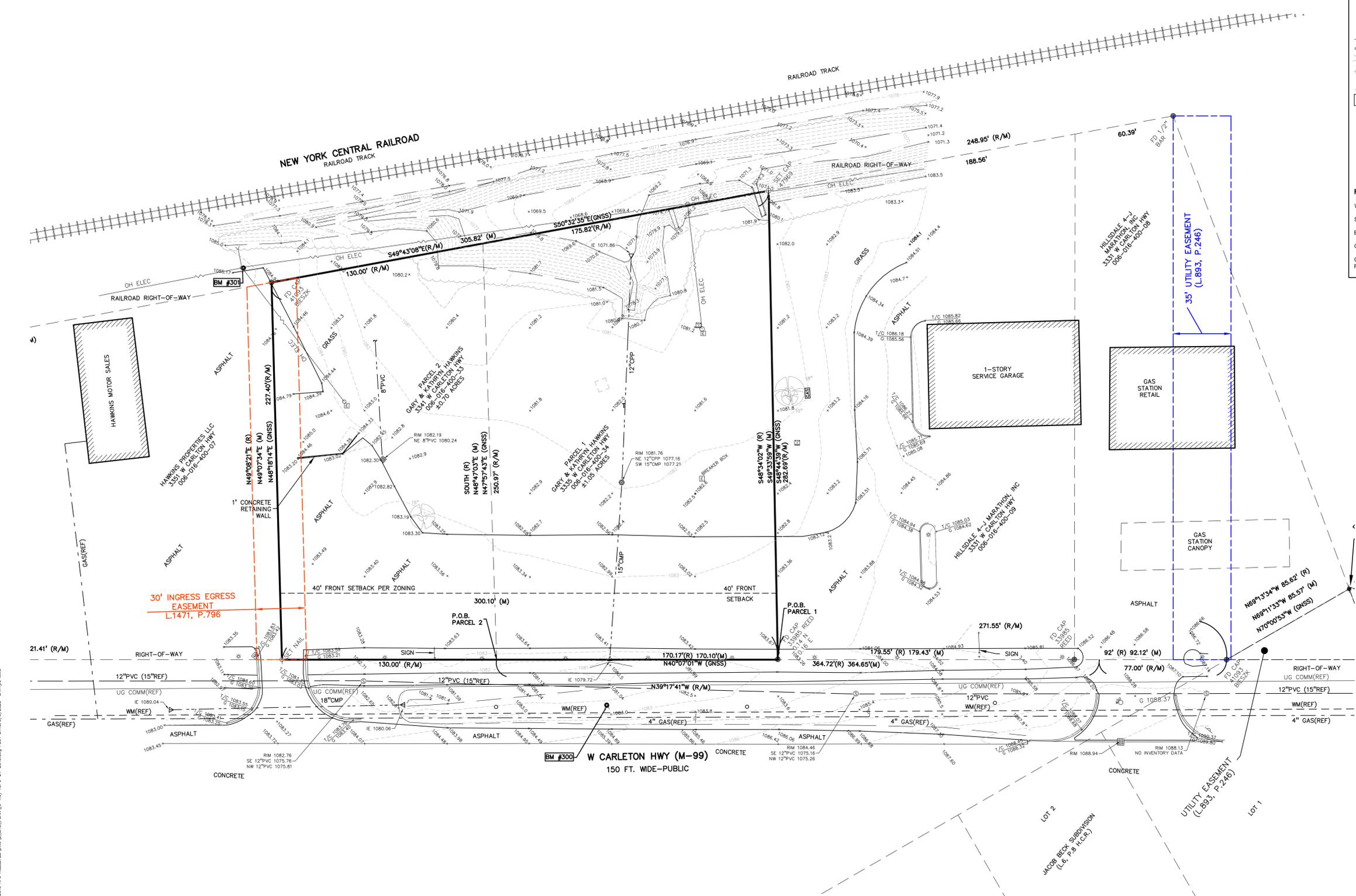
ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO. 24-2013
P.M. LGD
DN. KM
DES. KM

DRAWING NUMBER:
C-1.0

NOT FOR CONSTRUCTION



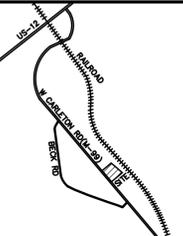
S:\PROJECTS\2024\24-2013_KFC_HILLSDALE\COMPO_2_SITE_PLAN(C-1.0).DWG PLOT DATE: 3/7/2025 8:15:54 AM



0 10 20 40
SCALE: 1" = 20'



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CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEANSWOOD, MI 48021

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 48042

REVISIONS
PLANNING COMMISSION SET 3/7/2025

ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

DRAWING TITLE
DEMOLITION PLAN

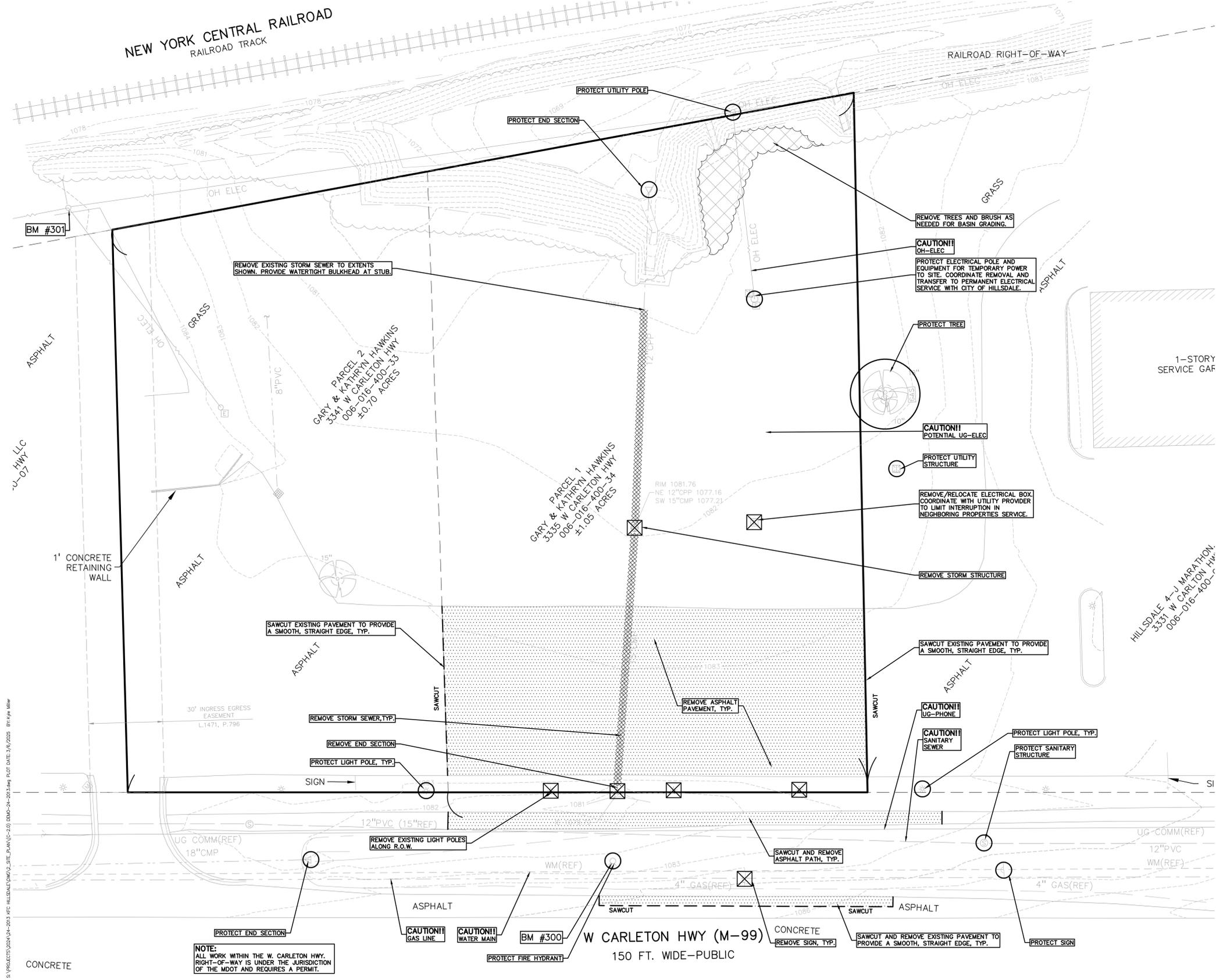
PEA JOB NO. 24-2013
P.M. LGD
DN. KM
DES. KM
DRAWING NUMBER:

C-2.0

DEMOLITION LEGEND:

ITEM TO BE PROTECTED	
ITEM TO BE REMOVED	
TREELINE TO BE REMOVED	
UTILITY REMOVAL	
ASPHALT REMOVAL	
SAWCUT LINE	

- GENERAL DEMOLITION NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE. AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.



NOTE:
ALL WORK WITHIN THE W. CARLETON HWY. RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE MDOT AND REQUIRES A PERMIT.

S:\PROJECTS\2024\24-2013_KFC_HILLSDALE\DEMOLITION_PLAN(C-2.0).DWG PLOT DATE: 3/6/2025 8:11:46 AM

NOT FOR CONSTRUCTION

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(PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT #301245878NTS)

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PARCEL ID: 30-006-016-400-34

PARCEL 2:

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PARCEL ID: 30-006-016-400-33

BENCHMARKS:

(NAVD 88 - GPS DERIVED)
BM #300
ELEV. - 1083.65'
THE NORTHEAST FLANGE BOLT ON A FIRE HYDRANT, LOCATED 35' EASTERLY OF CENTERLINE W CARLETON RD AND 255' NORTHWEST OF THE NORTHWEST CORNER OF A 1-STORY SERVICE GARAGE.
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SURVEYOR'S NOTES:

A. BEARINGS WERE ESTABLISHED VIA GNSS OBSERVATIONS AND LINKED TO CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) WITHIN THE MICHIGAN SPATIAL REFERENCE NETWORK (MSRN).

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 260599D01590, EFFECTIVE DATE: FEBRUARY 19, 2014

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- NO PARKING-FIRE LANE SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- REFER TO SHEET C-6.2 FOR ON-SITE PAVING DETAILS.
- REFER TO SHEET C-6.1 FOR ON-SITE SIDEWALK RAMP DETAILS

SITE DATA TABLE:

SITE AREA: 1.05 ACRES (45,855 SF.) NET AND GROSS
ZONING: B-3 GENERAL BUSINESS DISTRICT
PROPOSED USE: RESTAURANT (45,855 SF)

BUILDING INFORMATION:

- MAXIMUM ALLOWABLE BUILDING HEIGHT = 35 FEET (2.5 STORIES)
- PROPOSED BUILDING HEIGHT = 1 STORY
- BUILDING FOOTPRINT AREA = 1,680 SF.
- BUILDING LOT COVERAGE = 1,680 / 45,855 = 3.7%

SETBACK REQUIREMENTS:

REQUIRED	REQUIRED	PROPOSED
FRONT (SOUTH)	40'	65.00'
SIDE (EAST)	10'	91.99'
SIDE (WEST)	10'	50.00'
REAR (NORTH)	20'	128.41'

PARKING CALCULATIONS:

- RESTAURANT = 1 SPACE PER 100 SF USEABLE FLOOR AREA.
- TOTAL PARKING REQUIRED = 1,600/100 = 16 SPACES

PROPOSED

- TOTAL PROPOSED PARKING SPACES = 16 SPACES INC. 2 H/C SPACES

LOADING CALCULATIONS:

- REQUIRED LOADING REQUIRED = 1 SPACE FOR 1,401 SF TO 20,000 SF
- PROPOSED LOADING PROVIDED = 1 SPACE (60 FT BY 10 FT)

OPEN SPACE:

- REQUIRED MINIMUM OPEN SPACE REQUIRED = 15%

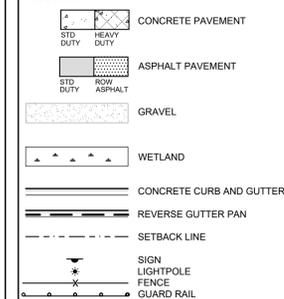
PROPOSED

- PROVIDED OPEN SPACE = 55%

SITE SOILS INFORMATION:

ACCORDING TO THE GEOTECHNICAL INVESTIGATION PERFORMED BY PEA GROUP IN JANUARY OF 2025, ON SITE SOILS CONSIST OF SANDY, SANDY CLAY, SILTY CLAY FILL SOILS LOOSE TO COMPACT SAND

LEGEND:

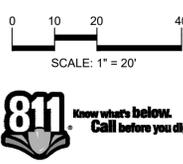


SIGN LEGEND:

- 'NO PARKING FIRE LANE' SIGN [1]
 - 'BARRIER FREE PARKING' SIGN [2]
 - 'VAN ACCESSIBLE' SIGN [3]
 - 'CROSSWALK' SIGN [4]
- REFER TO SHEET C-6.1 FOR SIGN DETAILS

SIDEWALK RAMP LEGEND:

- SIDEWALK RAMP 'TYPE R' [R]
 - SIDEWALK RAMP 'TYPE P' [P]
 - CURB DROP ONLY [X]
- REFER TO SHEET C-6.1 FOR RAMP DETAILS



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CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEANSIDE, MI 48041

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 49042

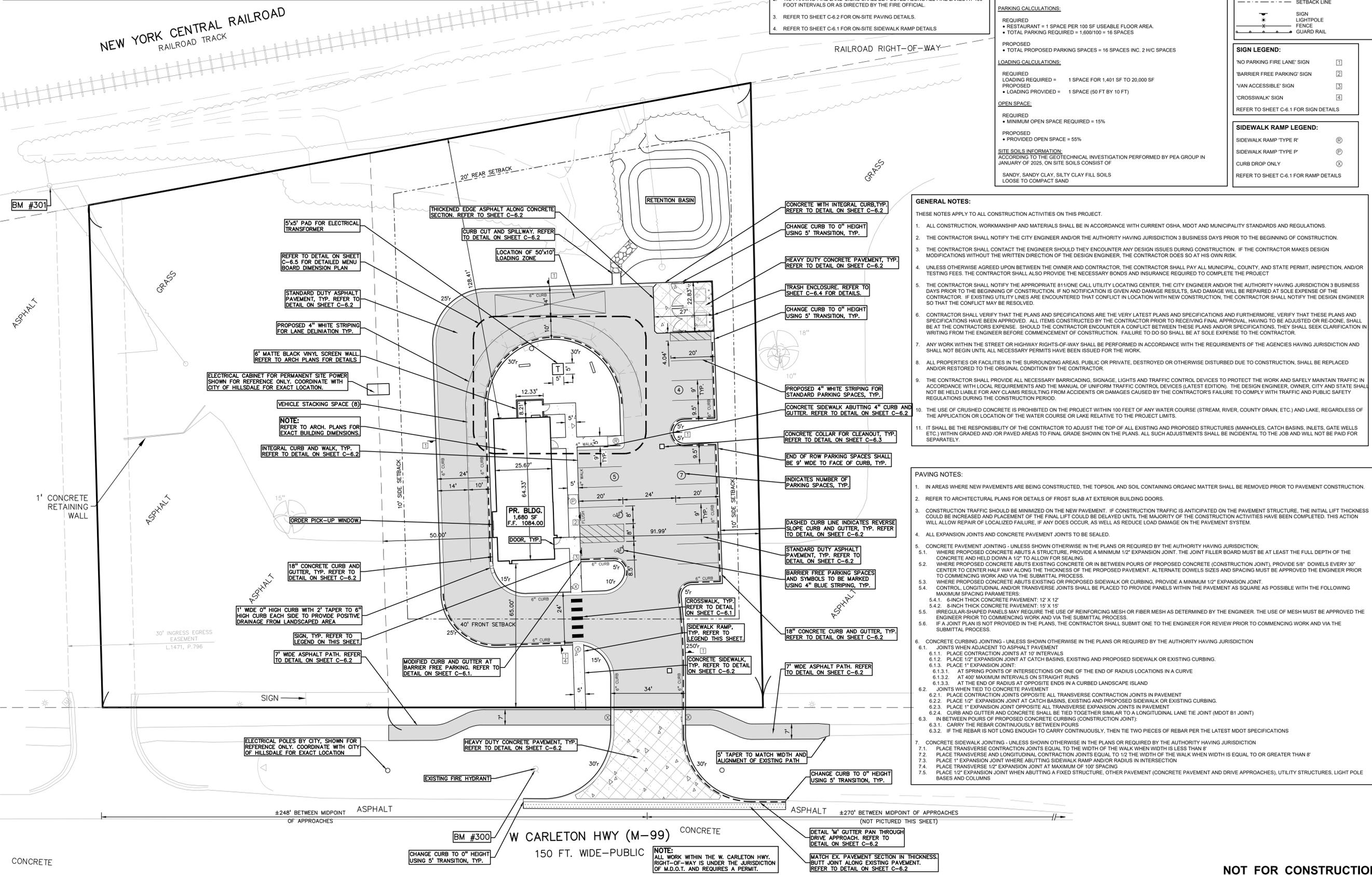
REVISIONS
PLANNING COMMISSION SET 3/7/2025

ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

DRAWING TITLE
DIMENSION AND PAVING PLAN

PEA JOB NO. 24-2013
P.M. LGD
DN. KM
DES. KM
DRAWING NUMBER:

C-3.0



GENERAL NOTES:

- ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, MDOT AND MUNICIPALITY STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
- UNLESS OTHERWISE AGREED UPON BETWEEN THE OWNER AND CONTRACTOR, THE CONTRACTOR SHALL PAY ALL MUNICIPAL, COUNTY, AND STATE PERMIT, INSPECTION, AND/OR TESTING FEES. THE CONTRACTOR SHALL ALSO PROVIDE THE NECESSARY BONDS AND INSURANCE REQUIRED TO COMPLETE THE PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/CONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTOR'S EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, CITY AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- THE USE OF CRUSHED CONCRETE IS PROHIBITED ON THE PROJECT WITHIN 100 FEET OF ANY WATER COURSE (STREAM, RIVER, COUNTY DRAIN, ETC.) AND LAKE, REGARDLESS OF THE APPLICATION OR LOCATION OF THE WATER COURSE OR LAKE RELATIVE TO THE PROJECT LIMITS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

PAVING NOTES:

- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
- CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
- ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
- CONCRETE PAVEMENT JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - WHERE PROPOSED CONCRETE ABUTS A STRUCTURE, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. THE JOINT FILL BOARD MUST BE AT LEAST THE FULL DEPTH OF THE CONCRETE AND HELD DOWN A 1/2" TO ALLOW FOR SEALING.
 - WHERE PROPOSED CONCRETE ABUTS EXISTING CONCRETE OR IN BETWEEN POURS OF PROPOSED CONCRETE (CONSTRUCTION JOINT), PROVIDE 5/8" DOWELS EVERY 30" CENTER TO CENTER HALF WAY ALONG THE THICKNESS OF THE PROPOSED PAVEMENT. ALTERNATE DOWELS SIZES AND SPACING MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
 - WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED SIDEWALK OR CURBING, PROVIDE A MINIMUM 1/2" EXPANSION JOINT.
 - CONTROL, LONGITUDINAL AND/OR TRANSVERSE JOINTS SHALL BE PLACED TO PROVIDE PANELS WITHIN THE PAVEMENT AS SQUARE AS POSSIBLE WITH THE FOLLOWING MAXIMUM SPACING PARAMETERS:
 - 6-INCH THICK CONCRETE PAVEMENT: 12 X 12'
 - 8-INCH THICK CONCRETE PAVEMENT: 15 X 15'
 - IRREGULAR-SHAPED PANELS MAY REQUIRE THE USE OF REINFORCING MESH OR FIBER MESH AS DETERMINED BY THE ENGINEER. THE USE OF MESH MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
 - IF A JOINT PLAN IS NOT PROVIDED IN THE PLANS, THE CONTRACTOR SHALL SUBMIT ONE TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
- CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - JOINTS WHEN ADJACENT TO ASPHALT PAVEMENT:
 - PLACE CONTRACTION JOINTS AT 10' INTERVALS
 - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING
 - PLACE 1" EXPANSION JOINT:
 - AT SPRING POINTS OF INTERSECTIONS OR ONE OF THE END OF RADIUS LOCATIONS IN A CURVE
 - AT 600' MAXIMUM INTERVALS ON STRAIGHT RUNS
 - AT THE END OF RADIUS AT OPPOSITE ENDS IN A CURBED LANDSCAPE ISLAND
 - JOINTS WHEN TIED TO CONCRETE PAVEMENT:
 - PLACE CONTRACTION JOINTS OPPOSITE ALL TRANSVERSE CONTRACTION JOINTS IN PAVEMENT
 - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING
 - PLACE 1" EXPANSION JOINT OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT
 - CURB AND GUTTER AND CONCRETE SHALL BE TIED TOGETHER SIMILAR TO A LONGITUDINAL LANE TIE JOINT (MDOT B1 JOINT)
 - IN BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT):
 - CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
 - IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY, THEN TIE TWO PIECES OF REBAR PER THE LATEST MDOT SPECIFICATIONS
- CONCRETE SIDEWALK JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - PLACE TRANSVERSE CONTRACTION JOINTS EQUAL TO THE WIDTH OF THE WALK WHEN WIDTH IS LESS THAN 8'
 - PLACE TRANSVERSE AND LONGITUDINAL CONTRACTION JOINTS EQUAL TO 1/2 THE WIDTH OF THE WALK WHEN WIDTH IS EQUAL TO OR GREATER THAN 8'
 - PLACE 1" EXPANSION JOINT WHERE ABUTTING SIDEWALK RAMP AND/OR RADIUS IN INTERSECTION
 - PLACE TRANSVERSE 1/2" EXPANSION JOINT AT MAXIMUM OF 100' SPACING
 - PLACE 1/2" EXPANSION JOINT WHEN ABUTTING A FIXED STRUCTURE, OTHER PAVEMENT (CONCRETE PAVEMENT AND DRIVE APPROACHES), UTILITY STRUCTURES, LIGHT POLE BASES AND COLUMNS

S:\PROJECTS\2024\24-2013_KFC_HILLSDALE\KFC_HILLSDALE\3.0_DIMS-PAVING PLAN (C-3.0).DWG PLOT DATE: 3/6/2025 BY: KJM

NOT FOR CONSTRUCTION

LEGAL DESCRIPTION:
(PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT #301245878NTS)

Land in the Southeast Quarter of Section 16, Town 6 South, Range 3 West, City of Hillsdale, Hillsdale County, Michigan, described as follows:

PARCEL 1:

Commencing at the Northeast corner of Lot 1, Jacob Beck Subdivision, being a part of the Southeast Quarter of Section 16, Town 6 South, Range 3 West, City of Hillsdale, Hillsdale County, Michigan, as recorded in Liber 6 of Plats, page 8; thence North 69 degrees 13 minutes 34 seconds West 85.62 feet to the Northern right of way line of Highway M-99; thence North 39 degrees 17 minutes 41 seconds West along the Northern line, 77.00 feet; thence continuing North 39 degrees 17 minutes 41 seconds West along said Northern line 271.55 feet to the point of beginning of this description; thence continuing North 39 degrees 17 minutes 41 seconds West along said right of way line 170.17 feet; thence North 48 degrees 47 minutes 47 seconds East 250.97 feet to the Southern right of way line of the N.Y.C.R.R.; thence South 49 degrees 43 minutes 08 seconds East along said Southern line 175.82 feet; thence South 48 degrees 34 minutes 02 seconds West 282.69 feet to the point of beginning.

PARCEL ID: 30-006-016-400-34

PARCEL 2:

Commencing at the Northeast corner of Lot 1, Jacob Beck Subdivision being a part of the Southeast Quarter of Section 16, Town 6 South, Range 3 West, Fayette Township (now City of Hillsdale), Hillsdale County, Michigan, as recorded in Liber 6 of Plats, page 8; thence North 69 degrees 13 minutes 34 seconds West 85.62 feet to the Northern right of way line of Highway M-99; thence North 39 degrees 17 minutes 41 seconds West along the Northern line, 77.00 feet; thence continuing North 39 degrees 17 minutes 41 seconds West along said Northern line 271.55 feet to the point of beginning of this description; thence continuing North 39 degrees 17 minutes 41 seconds West along said right of way line 170.17 feet; thence North 48 degrees 47 minutes 47 seconds East 250.97 feet to the Southern right of way line of the N.Y.C.R.R.; thence South 49 degrees 43 minutes 08 seconds East along said Southern line 175.82 feet; thence South 48 degrees 34 minutes 02 seconds West 282.69 feet to the point of beginning.

PARCEL ID: 30-006-016-400-33

BENCHMARKS:

(NAVD 88 - GPS DERIVED)
BM #300
ELEV. - 1083.65'
THE NORTHEAST FLANGE BOLT ON A FIRE HYDRANT, LOCATED 35' EASTERLY OF CENTERLINE W CARLETON RD AND 255' NORTHWEST OF THE NORTHWEST CORNER OF A 1-STORY SERVICE GARAGE.
BM #301
ELEV. - 1086.65'
FOUND RAILROAD SPIKE IN THE SOUTHWEST FACE OF A POWER POLE, LOCATED 40' WESTERLY OF A RAILROAD TRACK AND 75' SOUTHEAST OF THE EAST BUILDING CORNER OF HARVINS MOTOR SALES.

SURVEYOR'S NOTES:

A. BEARINGS WERE ESTABLISHED VIA GNSS OBSERVATIONS AND LINKED TO CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) WITHIN THE MICHIGAN SPATIAL REFERENCE NETWORK (MSRN).

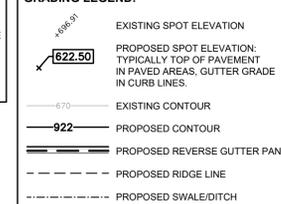
FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26059001990, EFFECTIVE DATE: FEBRUARY 19, 2014

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

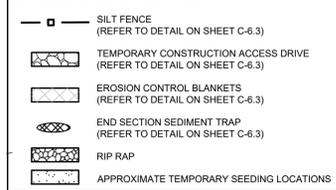
GRADING LEGEND:



ABBREVIATIONS

T/C = TOP OF CURB
T/P = TOP OF PAVEMENT
T/W = TOP OF SIDEWALK
BW = BOTTOM OF WALL
F = FLUSH WALK
G = GUTTER GRADE
FG = FINISH GRADE
RIM = RIM ELEVATION

SYMBOLS: EROSION CONTROL



EROSION CONTROL QUANTITIES:

SILT FENCE	740 LF
TEMPORARY CONSTRUCTION ACCESS DRIVE	1 EA
EROSION CONTROL BLANKETS	700 S.Y.
SEDIMENT TRAP	1 EA

SIDEWALK RAMP LEGEND:



SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION
(CONSTRUCTION SCHEDULE JUNE 2025-NOVEMBER 2025)

- SEE SHEET C-6.3 FOR ALL SOIL EROSION CONTROL RELATED DETAILS.
- PLACE SILT FENCE ACCORDING TO PLANS.
- INSTALL TEMPORARY CRUSHED CONCRETE ACCESS DRIVE AT ALL CONSTRUCTION ENTRANCES.
- REMOVE CURB, PAVEMENT, TREES, ETC. AS DIRECTED ON THE DEMOLITION PLAN.
- STRIP AND STOCKPILE TOPSOIL FOR RESTORATION REQUIREMENTS.
- DISPOSE OF ALL EXCESS, UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO BURN OR BURY PITS ALLOWED.
- UNUSABLE MATERIALS CONSIST OF, BUT ARE NOT NECESSARILY LIMITED TO THE FOLLOWING: CONCRETE, ASPHALT, TREES, BRUSH, STUMPS, ROOTS, OR OTHER MISCELLANEOUS DEBRIS OR TRASH.
- MASS GRADE THE SITE IN ACCORDANCE WITH THE PLANS.
- INSTALL SEED, MULCH AND EROSION CONTROL BLANKETS AS SHOWN ON THE PLAN WITHIN 5 DAYS OF COMPLETION OF MASS GRADING OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
- FINISH GRADE AND PAVE SITE AS PROPOSED TO DRAIN TO STORM SEWER SYSTEM. REPAIR INLET FILTERS AS REQUIRED.
- APPLY TOPSOIL, SEED AND MULCH TO ALL DISTURBED AREAS UPON COMPLETION OF GRADING. THE CONTRACTOR SHALL STAGE CONSTRUCTION ACTIVITIES IN ORDER TO MINIMIZE THE EXPOSURE OF UNSTABILIZED AREAS.
- CLEAN PAVEMENT AND STORM SEWERS. REMOVE SILT FENCE, AND INLET FILTERS ONCE VEGETATION HAS BEEN ESTABLISHED.
- CLEAN DETENTION BASIN AND OVERFLOW SPILLWAYS AND REPAIR RIPRAP AS NECESSARY.
- ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY.
- STREET CATCH BASINS TO BE PERIODICALLY CLEANED AND FILTER CLOTH CHANGED AND MAINTAINED.

SOIL EROSION MAINTENANCE SCHEDULE AND NOTES:

- THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY:
CONTRACTOR: BUILDING TECHNOLOGY SERVICES, LLC
CONTACT: BRIAN SPEER
PHONE: 248.840.7499
EMAIL: BRIAN@BTS-CONTRACTOR.COM
- IF ANY DAMAGE HAS OCCURRED AS A RESULT OF STORM WATER DISCHARGE FROM THE SITE, THE FOLLOWING STEPS SHALL BE IMPLEMENTED.
- ANY DEBRIS OR DIRT ON ANY PAVED AREA RESULTING FROM CONSTRUCTION TRAFFIC SHALL BE CLEANED IN A PROMPT MANNER BY THE CONTRACTOR. THE CONSTRUCTION DRIVE SHALL BE CLEANED AT THE END OF EACH DAY.
- ALL DIRT AND MUD TRACKED ONTO PAVED AREAS SHALL BE REMOVED BY THE CONTRACTOR DAILY BY SCRAPING. STREET SWEEPING IS REQUIRED WEEKLY.
- SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR REBACKFILL THE SILTATION FENCE SHOULD IT FALL OR BE DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE WATER TRUCK TO WATER DOWN THE SITE ON A DAILY BASIS AS REQUIRED TO MAINTAIN DUST CONTROL.
- IF HIGH GROUNDWATER IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE CITY ENGINEERING DIVISION FOR REVIEW.

GENERAL SITE CONDITIONS:

- ACCORDING TO THE GEOTECHNICAL INVESTIGATION PERFORMED BY PEA GROUP IN JANUARY OF 2025, ON SITE SOILS CONSIST OF:
SANDY, SANDY CLAY, SILTY CLAY FILL SOILS
LOOSE TO COMPACT SAND
- TOTAL DISTURBED AREA = ±1.15 ACRES
- DISTANCE TO NEAREST WATERWAY = ±870 FEET TO ST. JOSEPH RIVER
- N.P.D.E.S. NOTICE OF COVERAGE IS NOT REQUIRED

GENERAL GRADING AND EARTHWORK NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
 - ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE AUTHORIZED PUBLIC AGENCY OF JURISDICTION. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
 - ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
 - THE DETENTION BASIN SIDE SLOPES AND ALL SLOPE EXCEEDING 1:6 MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PEGGED IN PLACE OVER SEED.
 - ALL DISTURBED AREAS SHALL BE SEED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE THIRD PARTY TESTING COMPANY, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
 - ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
 - THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOCAL WELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEOGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
 - SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL AREAS OR BELOW SUBGRADE IN CUT AREAS WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
 - SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
 - ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.



CAUTION!!
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEANSWORTH, KS 66211

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 49042

REVISIONS
PLANNING COMMISSION SET 3/7/2025

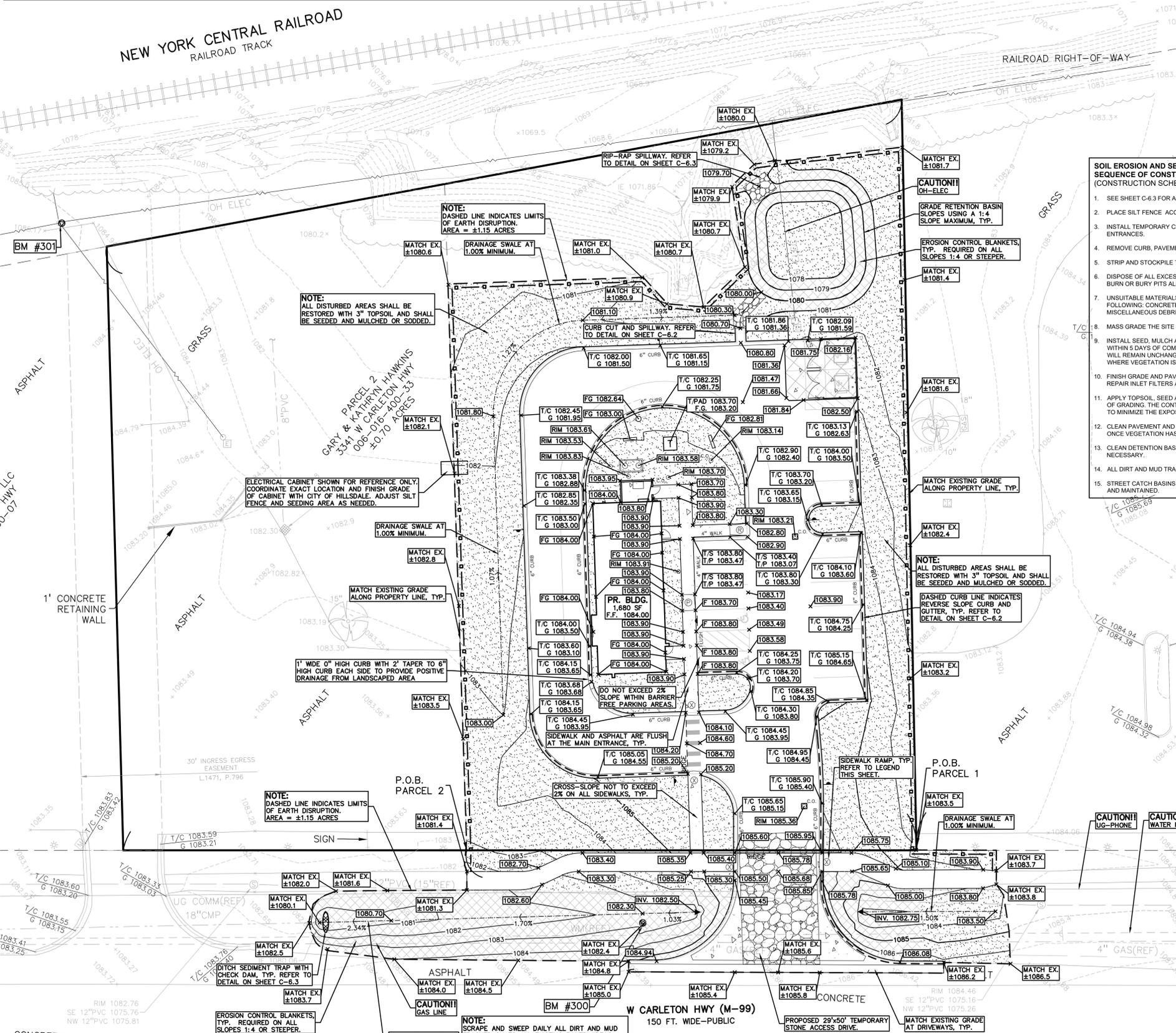
ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

DRAWING TITLE
GRADING AND EROSION CONTROL PLAN

PEA JOB NO. 24-2013
P.M. LGD
DN. KM
DES. KM
DRAWING NUMBER:

C-4.0

NOT FOR CONSTRUCTION



CONCRETE, ASPHALT, GRASS, RIP-RAP SPILLWAY, REFER TO DETAIL ON SHEET C-6.3, DRAINAGE SWALE AT 1.00% MINIMUM, MATCH EX. ±1080.0, MATCH EX. ±1079.2, MATCH EX. ±1079.9, MATCH EX. ±1080.7, MATCH EX. ±1080.9, MATCH EX. ±1081.4, MATCH EX. ±1081.6, MATCH EX. ±1081.7, MATCH EX. ±1081.8, MATCH EX. ±1082.4, MATCH EX. ±1082.8, MATCH EX. ±1083.2, MATCH EX. ±1083.3, MATCH EX. ±1083.5, MATCH EX. ±1083.6, MATCH EX. ±1083.7, MATCH EX. ±1083.8, MATCH EX. ±1083.9, MATCH EX. ±1084.0, MATCH EX. ±1084.1, MATCH EX. ±1084.2, MATCH EX. ±1084.3, MATCH EX. ±1084.4, MATCH EX. ±1084.5, MATCH EX. ±1084.6, MATCH EX. ±1084.7, MATCH EX. ±1084.8, MATCH EX. ±1084.9, MATCH EX. ±1085.0, MATCH EX. ±1085.1, MATCH EX. ±1085.2, MATCH EX. ±1085.3, MATCH EX. ±1085.4, MATCH EX. ±1085.5, MATCH EX. ±1085.6, MATCH EX. ±1085.7, MATCH EX. ±1085.8, MATCH EX. ±1085.9, MATCH EX. ±1086.0, MATCH EX. ±1086.1, MATCH EX. ±1086.2, MATCH EX. ±1086.3, MATCH EX. ±1086.4, MATCH EX. ±1086.5, MATCH EX. ±1086.6, MATCH EX. ±1086.7, MATCH EX. ±1086.8, MATCH EX. ±1086.9, MATCH EX. ±1087.0, MATCH EX. ±1087.1, MATCH EX. ±1087.2, MATCH EX. ±1087.3, MATCH EX. ±1087.4, MATCH EX. ±1087.5, MATCH EX. ±1087.6, MATCH EX. ±1087.7, MATCH EX. ±1087.8, MATCH EX. ±1087.9, MATCH EX. ±1088.0, MATCH EX. ±1088.1, MATCH EX. ±1088.2, MATCH EX. ±1088.3, MATCH EX. ±1088.4, MATCH EX. ±1088.5, MATCH EX. ±1088.6, MATCH EX. ±1088.7, MATCH EX. ±1088.8, MATCH EX. ±1088.9, MATCH EX. ±1089.0, MATCH EX. ±1089.1, MATCH EX. ±1089.2, MATCH EX. ±1089.3, MATCH EX. ±1089.4, MATCH EX. ±1089.5, MATCH EX. ±1089.6, MATCH EX. ±1089.7, MATCH EX. ±1089.8, MATCH EX. ±1089.9, MATCH EX. ±1090.0, MATCH EX. ±1090.1, MATCH EX. ±1090.2, MATCH EX. ±1090.3, MATCH EX. ±1090.4, MATCH EX. ±1090.5, MATCH EX. ±1090.6, MATCH EX. ±1090.7, MATCH EX. ±1090.8, MATCH EX. ±1090.9, MATCH EX. ±1091.0, MATCH EX. ±1091.1, MATCH EX. ±1091.2, MATCH EX. ±1091.3, MATCH EX. ±1091.4, MATCH EX. ±1091.5, MATCH EX. ±1091.6, MATCH EX. ±1091.7, MATCH EX. ±1091.8, MATCH EX. ±1091.9, MATCH EX. ±1092.0, MATCH EX. ±1092.1, MATCH EX. ±1092.2, MATCH EX. ±1092.3, MATCH EX. ±1092.4, MATCH EX. ±1092.5, MATCH EX. ±1092.6, MATCH EX. ±1092.7, MATCH EX. ±1092.8, MATCH EX. ±1092.9, MATCH EX. ±1093.0, MATCH EX. ±1093.1, MATCH EX. ±1093.2, MATCH EX. ±1093.3, MATCH EX. ±1093.4, MATCH EX. ±1093.5, MATCH EX. ±1093.6, MATCH EX. ±1093.7, MATCH EX. ±1093.8, MATCH EX. ±1093.9, MATCH EX. ±1094.0, MATCH EX. ±1094.1, MATCH EX. ±1094.2, MATCH EX. ±1094.3, MATCH EX. ±1094.4, MATCH EX. ±1094.5, MATCH EX. ±1094.6, MATCH EX. ±1094.7, MATCH EX. ±1094.8, MATCH EX. ±1094.9, MATCH EX. ±1095.0, MATCH EX. ±1095.1, MATCH EX. ±1095.2, MATCH EX. ±1095.3, MATCH EX. ±1095.4, MATCH EX. ±1095.5, MATCH EX. ±1095.6, MATCH EX. ±1095.7, MATCH EX. ±1095.8, MATCH EX. ±1095.9, MATCH EX. ±1096.0, MATCH EX. ±1096.1, MATCH EX. ±1096.2, MATCH EX. ±1096.3, MATCH EX. ±1096.4, MATCH EX. ±1096.5, MATCH EX. ±1096.6, MATCH EX. ±1096.7, MATCH EX. ±1096.8, MATCH EX. ±1096.9, MATCH EX. ±1097.0, MATCH EX. ±1097.1, MATCH EX. ±1097.2, MATCH EX. ±1097.3, MATCH EX. ±1097.4, MATCH EX. ±1097.5, MATCH EX. ±1097.6, MATCH EX. ±1097.7, MATCH EX. ±1097.8, MATCH EX. ±1097.9, MATCH EX. ±1098.0, MATCH EX. ±1098.1, MATCH EX. ±1098.2, MATCH EX. ±1098.3, MATCH EX. ±1098.4, MATCH EX. ±1098.5, MATCH EX. ±1098.6, MATCH EX. ±1098.7, MATCH EX. ±1098.8, MATCH EX. ±1098.9, MATCH EX. ±1099.0, MATCH EX. ±1099.1, MATCH EX. ±1099.2, MATCH EX. ±1099.3, MATCH EX. ±1099.4, MATCH EX. ±1099.5, MATCH EX. ±1099.6, MATCH EX. ±1099.7, MATCH EX. ±1099.8, MATCH EX. ±1099.9, MATCH EX. ±1100.0



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEARNED, MI 48621

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 48042

REVISIONS
PLANNING COMMISSION SET 3/7/2025

ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

DRAWING TITLE
UTILITY AND DRAINAGE PLAN

PEA JOB NO. 24-2013

P.M. LGD
DN. KM
DES. KM

DRAWING NUMBER:

C-5.0

UTILITY CROSSING INFORMATION:

- CAUTION!! EX. COMM CROSSING TOP OF 6" SANITARY = 1077.58
- CAUTION!! EX. COMM CROSSING TOP OF 2" WATER = 1079.55 WATER COVER = 6.0'
- BOTTOM OF 2" WATER = 1079.38 TOP OF 12" SANITARY = ±1076.60 WATER COVER = 6.0' 2.78' CLEAR
- BOTTOM OF 15" STORM = 1082.35 TOP OF 2" WATER = 1079.55 WATER COVER = 6.0' 2.80' CLEAR
- CAUTION!! EX. COMM AND SANITARY CROSSING TOP OF PR. GAS = 1079.50 TOP OF 12" SANITARY = 1076.73 GAS COVER = 3.00' MIN. 1.5' CLEAR FIELD VERIFY LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION
- TOP OF PR. GAS = 1079.80 TOP OF EX. WATER = ±1076.8 WATER COVER = ±6.0' MIN. 1.5' CLEAR
- CAUTION!! PR. ELEC CROSSING TOP OF 8" SAN. = ±1080.25 LOW CLEARANCE

WATER MAIN BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)
Quick Service Restaurant w/ Dining & Restrooms

INITIAL DESIGN

Number of Fixtures	18.0
REU (0.49 Per Fixture)	8.8
People / REU	3.5
Population (P)	31 People
Average Flow (100 GPCPD)	3,100 G.P.D.
	0.005 C.F.S.
P (1000s)	0.031
Peaking Factor (PF)	4.35
PF = (18+sqrt(P))/(4+sqrt(P))	
Peak Flow (G.P.D.)	13,493 G.P.D.
Peak Flow (C.F.S.)	0.021 C.F.S.

ULTIMATE DESIGN

Number of Fixtures	18.0
REU (0.49 Per Fixture)	8.8
People / REU	3.5
Population (P)	31 People
Average Flow (100 GPCPD)	3,100 G.P.D.
	0.005 C.F.S.
P (1000s)	0.031
Peaking Factor (PF)	4.35
PF = (18+sqrt(P))/(4+sqrt(P))	
Peak Flow (G.P.D.)	13,493 G.P.D.
Peak Flow (C.F.S.)	0.021 C.F.S.

6" Pipe Capacity Provided: 0.689 C.F.S.

SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)
Quick Service Restaurant w/ Dining & Restrooms

INITIAL DESIGN

Number of Fixtures	18.0
REU (0.49 Per Fixture)	8.8
People / REU	3.5
Population (P)	31 People
Average Flow (100 GPCPD)	3,100 G.P.D.
	0.005 C.F.S.
P (1000s)	0.031
Peaking Factor (PF)	4.35
PF = (18+sqrt(P))/(4+sqrt(P))	
Peak Flow (G.P.D.)	13,493 G.P.D.
Peak Flow (C.F.S.)	0.021 C.F.S.

ULTIMATE DESIGN

Number of Fixtures	18.0
REU (0.49 Per Fixture)	8.8
People / REU	3.5
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PF = (18+sqrt(P))/(4+sqrt(P))	
Peak Flow (G.P.D.)	13,493 G.P.D.
Peak Flow (C.F.S.)	0.021 C.F.S.

6" Pipe Capacity Provided: 0.689 C.F.S.

STORM SEWER QUANTITIES:

15" CLASS IV RCP
15" CONC. END SECTION 64 LF
2 EA.

SANITARY SEWER QUANTITIES:

6" PVC SDR 23.5 PIPE
CLEANOUT AND BOX 6 EA
1500 GALLON GREASE INTERCEPTOR 1 EA
TAP EX. SEWER 1 EA.

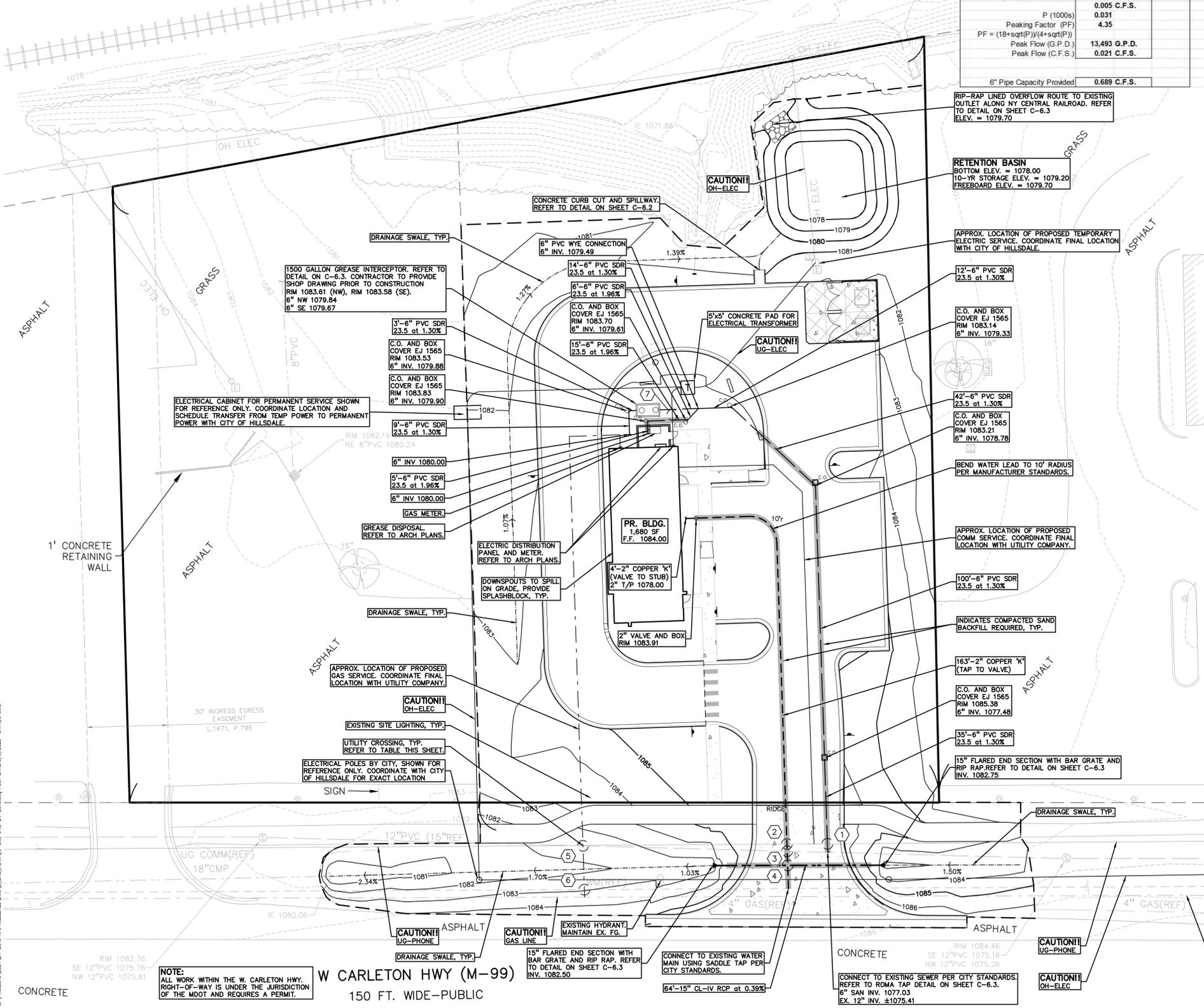
WATER MAIN QUANTITIES:

2" COPPER K' WATER LEAD 167 LF
2" VALVE AND BOX 1 EA
TAP EX. MAIN 1 EA.

UTILITY CROSSING INFORMATION:

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- CAUTION!! EX. COMM CROSSING TOP OF 2" WATER = 1079.55 WATER COVER = 6.0'
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- TOP OF PR. GAS = 1079.80 TOP OF EX. WATER = ±1076.8 WATER COVER = ±6.0' MIN. 1.5' CLEAR
- CAUTION!! PR. ELEC CROSSING TOP OF 8" SAN. = ±1080.25 LOW CLEARANCE

NEW YORK CENTRAL RAILROAD
RAILROAD TRACK



- GENERAL UTILITY NOTES:**
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY
 - ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
 - WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
 - THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
 - THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
 - PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

- STORM SEWER NOTES:**
- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).

- WATER MAIN NOTES:**
- ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5) DEGREE BENDS, PROPERLY ANCHORED.
 - ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
 - PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL REQUIRED TESTING IS SATISFACTORILY COMPLETED.
 - MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY/STORM SEWER OR STRUCTURE.
 - NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
 - WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
 - ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY.
 - UNLESS NOTED SPECIFICALLY OTHERWISE ON THE PLANS, THE DESIGN INTENT IS TO HAVE THE WATER MAIN CONSTRUCTED WITH THIS PROJECT BE INSTALLED VIA OPEN CUT TRENCH BY THE CONTRACTOR. IF THE CONTRACTOR CHOOSES A DIFFERENT METHOD OF CONSTRUCTION, OTHER THAN WHAT IS SHOWN ON THE APPROVED PLANS UPON WHICH THE PERMIT WAS GRANTED, THE CONTRACTOR WILL BE RESPONSIBLE TO CONTACT THE REGULATORY AGENCIES TO REVISE THE APPROVED PERMIT.
 - THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION DEPARTMENT OF THE DEPARTMENT OF PUBLIC SERVICES AT 517-437-6490 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.

- SANITARY SEWER NOTES:**
- DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
 - ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
 - ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
 - SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.W. #1565 BOX OR EQUAL.

DRAINAGE DESIGN NARRATIVE:

ON-SITE STORMWATER RUNOFF IS TO BE DIRECTED THROUGH ROOF DOWNSPOUT CONDUITORS TO SPLASH ON-GRADE AND BE CARRIED OVER PAVEMENT THROUGH A CURB-CUT SPILLWAY ALONG THE NORTH END OF THE PARKING LOT. STORMWATER WILL THEN BE IMPOUNDED IN A DRY-BOTTOM RETENTION POND SIZED TO HOLD THE DIFFERENCE IN PRE-DEVELOPMENT VS POST DEVELOPMENT RUNOFF VOLUME GENERATED BY A 10-YEAR, 24-HOUR STORM WITH A 10 MINUTE TIME OF CONCENTRATION.

ANY RUNOFF OVERTOPPING THE POND WILL BE DIRECTED TO THE EXISTING LOW POINT ALONG THE NEW YORK CENTRAL RAILROAD TO MAINTAIN EXISTING DRAINAGE PATTERNS.

RIGHT OF WAY IMPROVEMENTS INCLUDE A 15" CULVERT UNDER THE PROPOSED DRIVE APPROACH AT W. CARLETON HIGHWAY AND A REGRADED SWALE TO DIRECT RUNOFF COMING FROM THE EAST TO THE EXISTING 18" CULVERT ALONG THE WEST SIDE OF THE SITE.

THE STORAGE VOLUME WAS DETERMINED THROUGH AN SCS METHOD HYDROFLOW ANALYSIS OF THE DEVELOPMENT, WITH RAINFALL INTENSITY DATA ENTERED FROM THE NOAA NATIONAL WEATHER SERVICE - PRECIPITATION FREQUENCY DATA SERVER (PFDS) FOR THE STATE OF MICHIGAN.

SITE CHARACTERIZATION	IMPERVIOUS AREA, Ac (CN=0.98)	PERVIOUS AREA, Ac (CN=0.74)	TOTAL AREA, Ac (CN=0.88)
PRE DEVELOPMENT	0.27 ACRES (CN=0.98)	0.78 ACRES (CN=0.74)	1.05 ACRES (CN=0.80)
POST DEVELOPMENT	0.42 ACRES (CN=0.98)	0.63 ACRES (CN=0.74)	1.05 ACRES (CN=0.84)

PRE DEVELOPMENT RUNOFF VOLUME: 8,844 CF
POST DEVELOPMENT RUNOFF VOLUME: 10,191 CF
STORAGE VOLUME: POST - PRE = 10,191-8,844 = 1,347 CF
STORAGE ELEVATION: 1079.20
STORAGE DEPTH: 1.20'

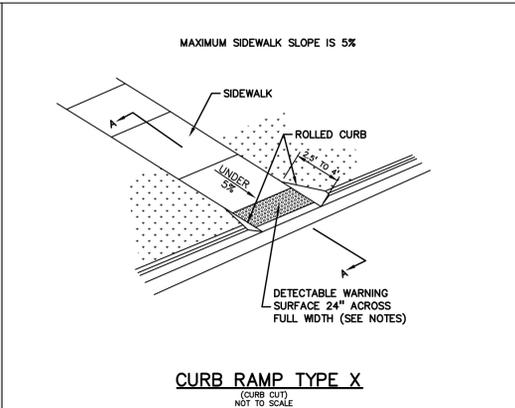
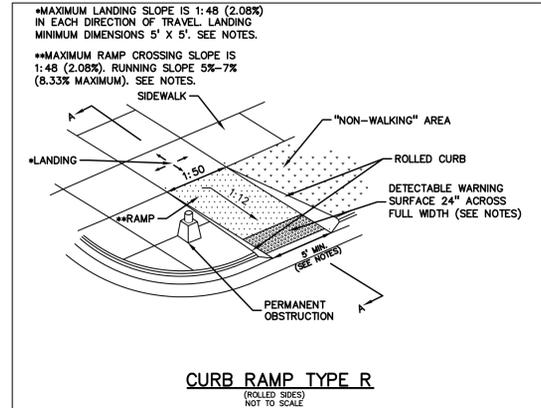
NOTE:
ALL WORK WITHIN THE W. CARLETON HWY. RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE MDOT AND REQUIRES A PERMIT.

NOT FOR CONSTRUCTION

CONSTRUCTION MATERIAL SUBMITTALS

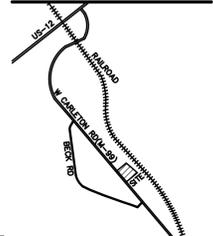
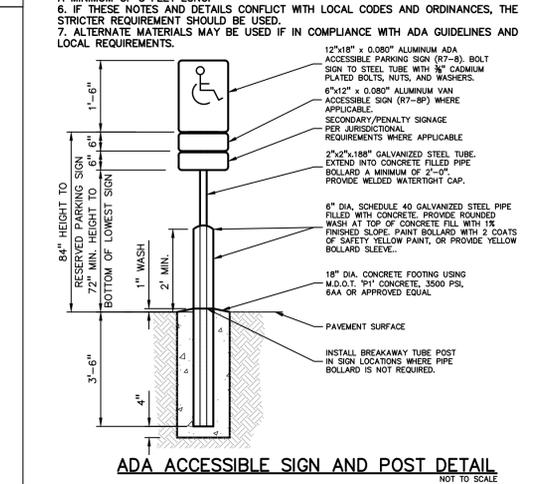
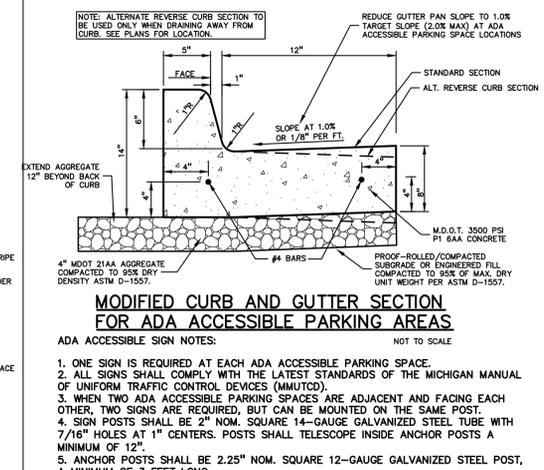
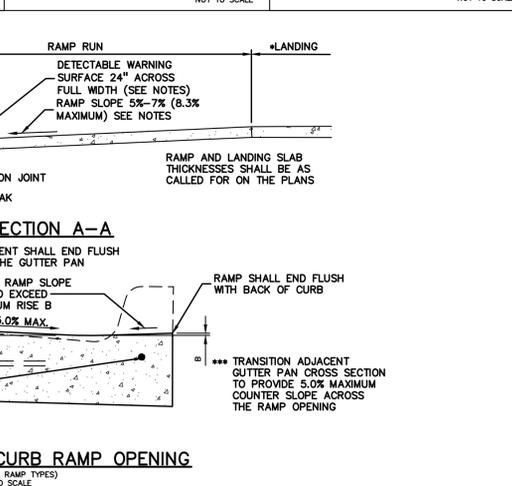
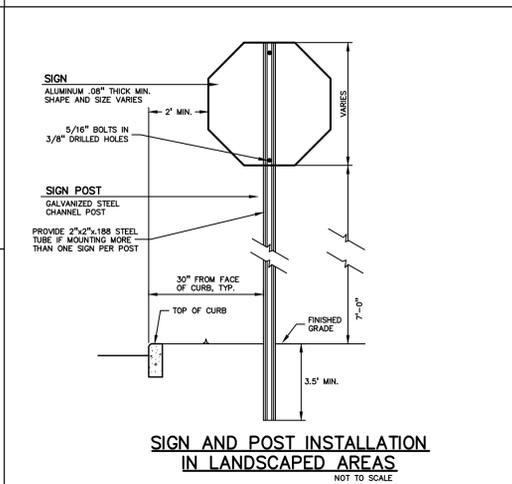
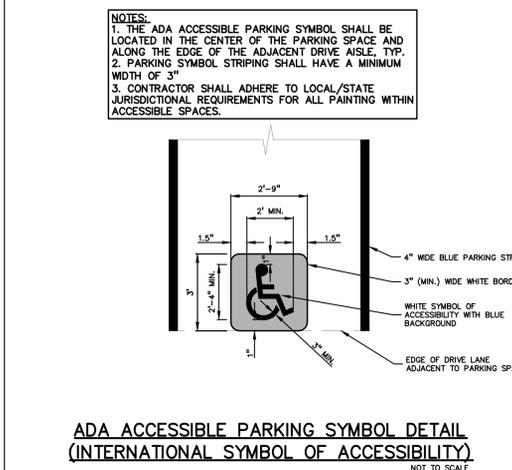
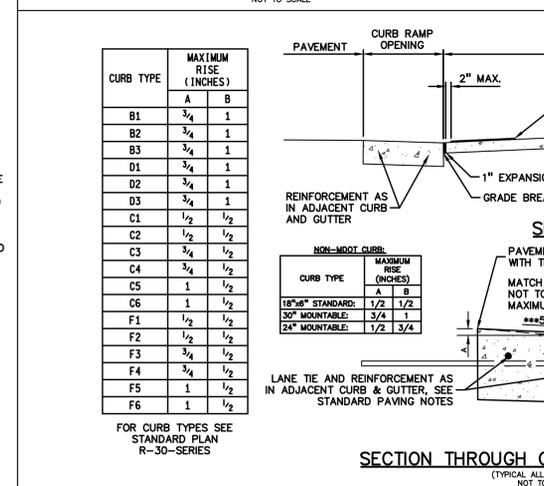
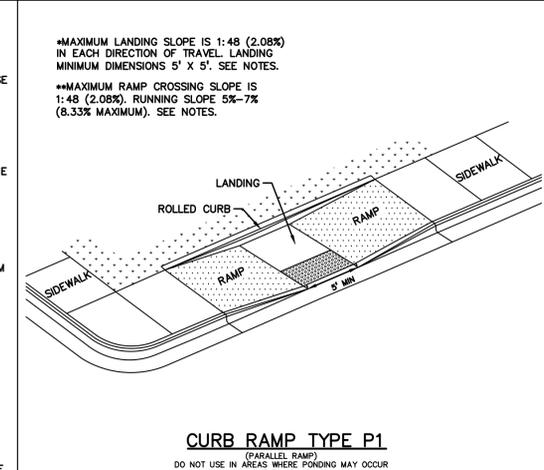
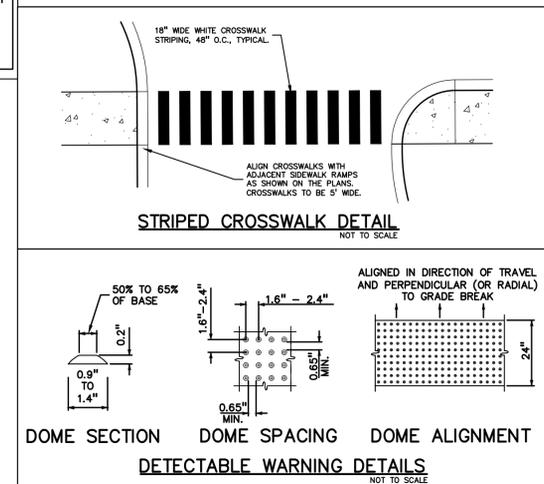
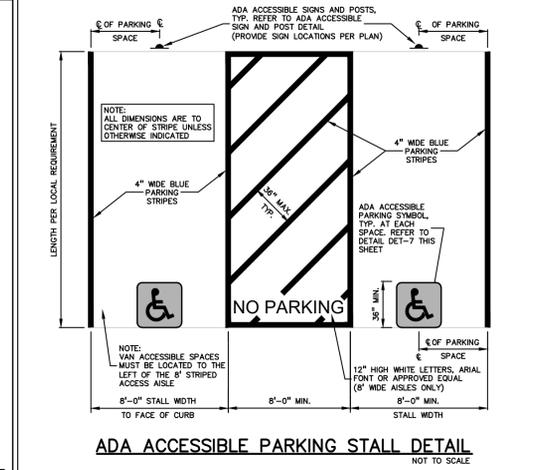
UNLESS REQUIRED OTHERWISE IN THE PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL ONLY SUBMIT THE FOLLOWING CONSTRUCTION MATERIAL SUBMITTALS, AS APPLICABLE TO THE PLANS, FOR REVIEW BY THE ENGINEER. UNLESS APPROVED IN ADVANCE AND IN WRITING BY THE ENGINEER, ANY MATERIAL SUBMITTALS PROVIDED TO THE ENGINEER FOR REVIEW IN ADDITION TO THIS LIST SHALL BE RETURNED TO THE CONTRACTOR WITHOUT A REVIEW BEING PERFORMED.

- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
- UTILITY TRENCH BACKFILL MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- RIP RAP MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- STORM AND SANITARY SEWER PIPING INCLUDING JOINTS
- STORM AND SANITARY SEWER STRUCTURES
- STORM AND SANITARY SEWER STRUCTURE FRAME AND COVERS INCLUDING CLEAN OUTS
- WATER DISTRIBUTION SYSTEM PIPING INCLUDING JOINTS
- WATER DISTRIBUTION SYSTEM STRUCTURES
- WATER DISTRIBUTION SYSTEM STRUCTURE FRAME AND COVERS
- WATER DISTRIBUTION SYSTEM SHUT OFF BOXES
- STORM WATER MANAGEMENT OIL/GREASE SEPARATORS
- PAVEMENT AGGREGATE BASE MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- PAVEMENT UNDERDRAIN MATERIAL AND BACKFILL WITH ALL BACKFILL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW BY THE ENGINEER MUST FOLLOW THE CURRENT MDT REVIEW CHECKLISTS AS SUMMARIZED BELOW AND ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER:
 - B.1. CONCRETE MIX DESIGN REVIEW CHECKLIST (FORM 2000)
 - B.2. SUPERPAVE MIX DESIGN CHECKLIST (FORM 1862)
 - B.3. MARSHALL MIX DESIGN CHECKLIST (FORM 1849)
- ANY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:
 - ANY SPECIALTY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY DO NOT STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW BUT THE CONTRACTOR REQUESTS TO BE REVIEWED. THE CONTRACTOR'S REQUEST FOR REVIEW MUST BE IN WRITING AND APPROVED BY THE ENGINEER PRIOR TO SUBMITTING THE INFORMATION.



- RAMP NOTES**
- SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.
 - SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.
 - CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP. WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.
 - RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.
 - WHEN 5' MINIMUM WIDTHS ARE NOT PRACTICABLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND LANDINGS TO NOT LESS THAN 4' X 4'.
 - CURB RAMPS WITH A RUNNING SLOPE LESS THAN 5% DO NOT REQUIRE A TOP LANDING. HOWEVER, ANY CONTINUOUS SIDEWALK OR PEDESTRIAN ROUTE CROSSING THROUGH OR INTERSECTING THE CURB RAMP MUST INDEPENDENTLY MAINTAIN A CROSS SLOPE NOT GREATER THAN 2% PERPENDICULAR TO ITS OWN DIRECTION(S) OF TRAVEL.
 - DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AREAS. A BORDER OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE. FOR RADIAL CURB THE OFFSET IS MEASURED FROM THE ENDS OF THE RADIUS.
 - FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2.0% FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.
 - DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMPS. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURER'S ADA COMPLIANT GRATE. OPENINGS SHALL NOT BE GREATER THAN 1/2" ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
 - THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.
 - CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 - FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE CURB RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS. WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE CONSIDERED IN ORDER TO AVOID SHARP CURB RETURNS AT RAMP OPENINGS.
 - DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT UNITS CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

- GENERAL ADA ACCESSIBILITY NOTES:**
- THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST.
- AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES, ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE BUILDING OR FACILITY ENTRANCE THEY SERVE.
 - THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48).
 - WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL NOT TO EXCEED 1/4", OR BEVELED CHANGES IN LEVEL NOT TO EXCEED 1/2". REFER TO DETAIL DET-8 THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN 1/2" MUST BE RAMPED.
 - TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2% (1:48) IN ANY DIRECTION.
 - ACCESSIBLE ROUTES WILL BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE. THE MINIMUM CLEAR WIDTH IS 3 FEET.
 - RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND LESS THAN 8.3% (1:12).
 - CURB RAMPS SHALL NOT EXCEED 2% (1:48).
 - THE MINIMUM CLEAR WIDTH OF ANY RAMP IS 36 INCHES.
 - THE MAXIMUM RISE FOR ANY RAMP (NOT INCLUDING CURB RAMPS) SHALL NOT EXCEED 30 INCHES. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH RAMP. LANDINGS SHALL HAVE A CROSS-SLOPE NOT EXCEEDING 2% (1:48), SHALL BE 5 FEET LONG AND AT LEAST AS WIDE AS THE RAMP CLEAR WIDTH. IF THERE IS A CHANGE OF DIRECTION AT A LANDING, THEN THE LANDING MUST BE AT LEAST 5 FEET WIDE AND 5 FEET LONG.
 - CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 10% (1:10).
 - LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE A MINIMUM OF 36" AND WILL BE AS WIDE AS THE CURB RAMP.
 - CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
 - HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
 - WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.
 - ACCESSIBLE PARKING SPACES ON SITE SHALL BE PROVIDED AS REQUIRED IN SECTION 502 OF THE ADA IF THE SITE HAS MORE THAN ONE PARKING FACILITY. EACH FACILITY IS REQUIRED TO MEET THESE REQUIREMENTS SEPARATELY. THE REQUIRED NUMBER OF SPACES SHALL BE BASED ON THE TOTAL NUMBER OF PARKING SPACES IN EACH PARKING FACILITY ON SITE.
 - FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED.
 - ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE. IF THERE IS MORE THAN ONE ACCESSIBLE ENTRANCE, PARKING SHALL BE DISPERSED ALONG THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES.
 - ADA ACCESSIBLE CAR PARKING SPACES SHALL BE A MINIMUM OF 8 FEET WIDE WITH AN ACCESS AISLE 5 FEET WIDE MINIMUM. VAN ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 11 FEET WIDE WITH A 5' WIDE ACCESS AISLE. VAN ACCESSIBLE SPACES ARE ALSO ACCEPTABLE WITH AN 8 FOOT WIDTH AND 8 FOOT WIDE ACCESS AISLE. THE ACCESS AISLE IN ALL CASES MUST EXTEND THE FULL LENGTH OF THE PARKING SPACE.
 - SURFACE SLOPES WITHIN THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48).
 - ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM VERTICAL CLEARANCE OF 98 INCHES.
 - ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBLE". REFER TO DETAILS ON THIS SHEET.
 - REFER TO DETAILS THIS SHEET REGARDING TREAD SURFACE.



CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEANSWEE, KS 66211

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 48242

REVISIONS

PLANNING COMMISSION SET	3/7/2025
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ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

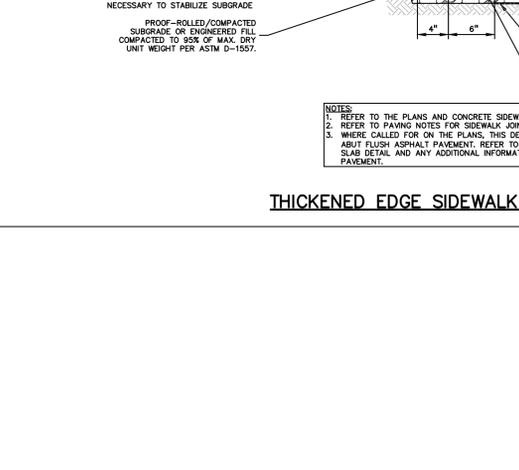
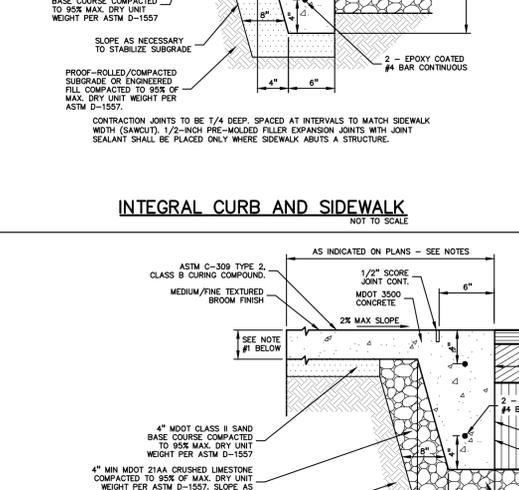
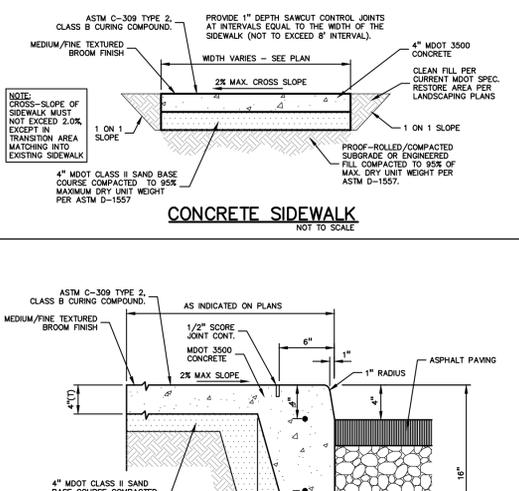
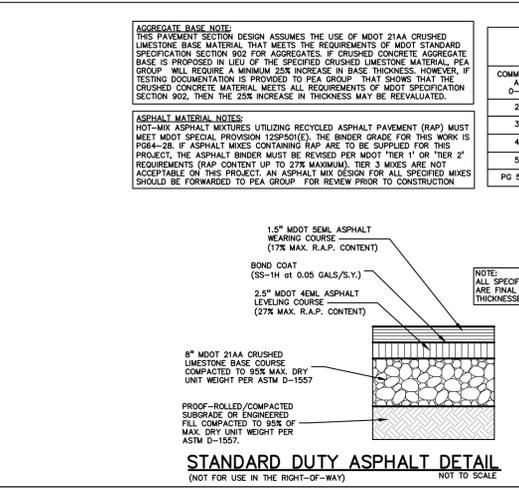
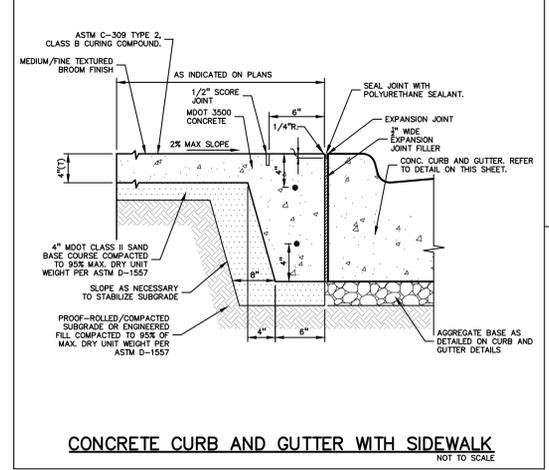
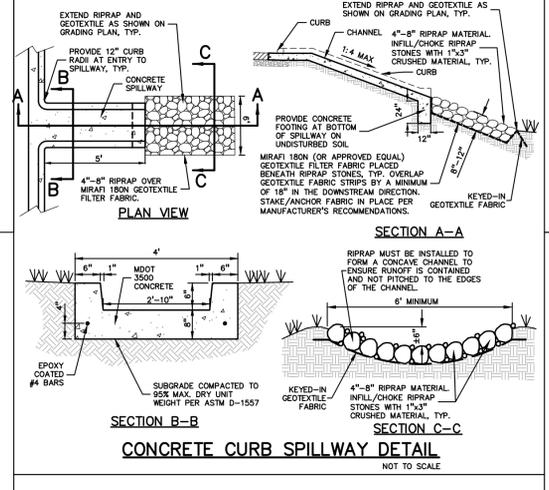
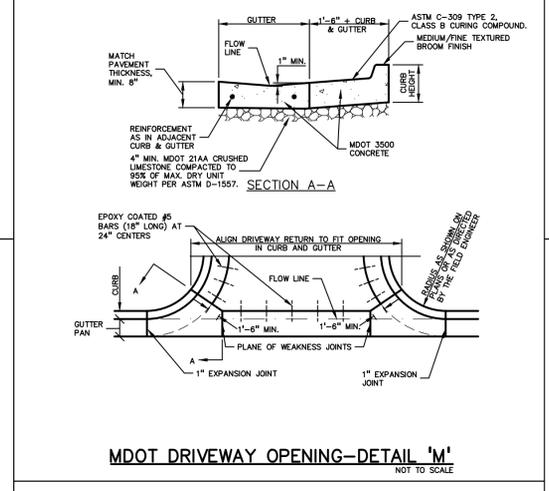
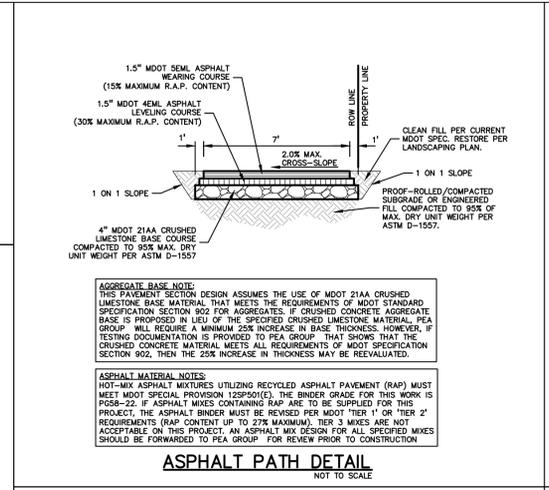
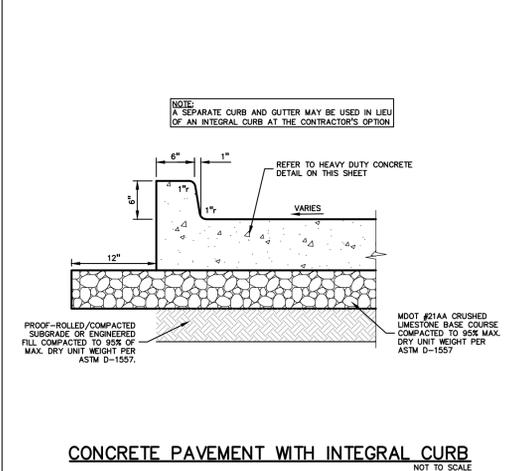
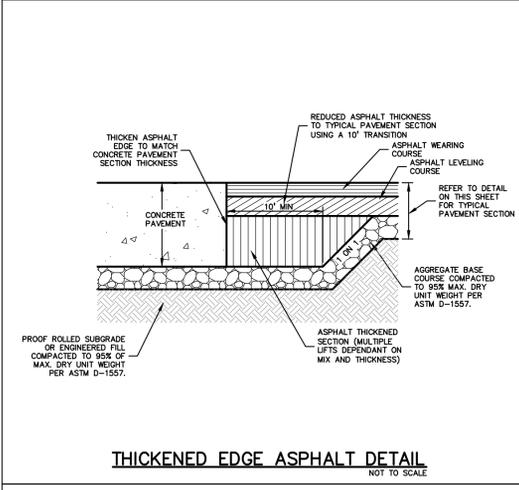
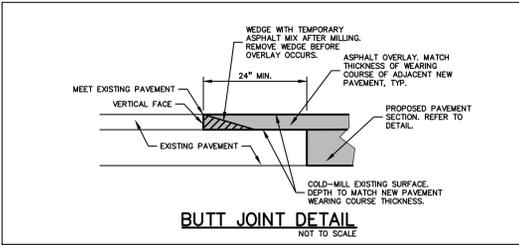
DRAWING TITLE
NOTES AND DETAILS - SHEET 1

PEA JOB NO. 24-2013

P.M.	LGD
DN	KM
DES.	KM

DRAWING NUMBER:

C-6.1



ASPHALT MIX DESIGN CHART

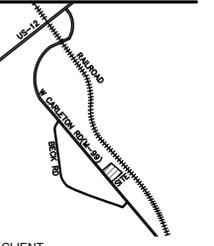
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2EL	2EML	2EMH	2EH	435-550	BASE
3EL	3EML	3EMH	3EH	330-410	BASE AND/OR LEVELING
4EL	4EML	4EMH	4EH	220-275	LEVELING AND/OR TOP
5EL	5EML	5EMH	5EH	165-220	TOP
PG 58-28	PG 64-28	PG 64-28	PG 70-28P		

PEA GROUP
t: 844.813.2949
www.peagroup.com



811 Know what's below. Call before you dig.

CAUTION!!
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CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEAWOOD, KS 66211

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 48042

REVISIONS

NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION SET	3/7/2025

ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

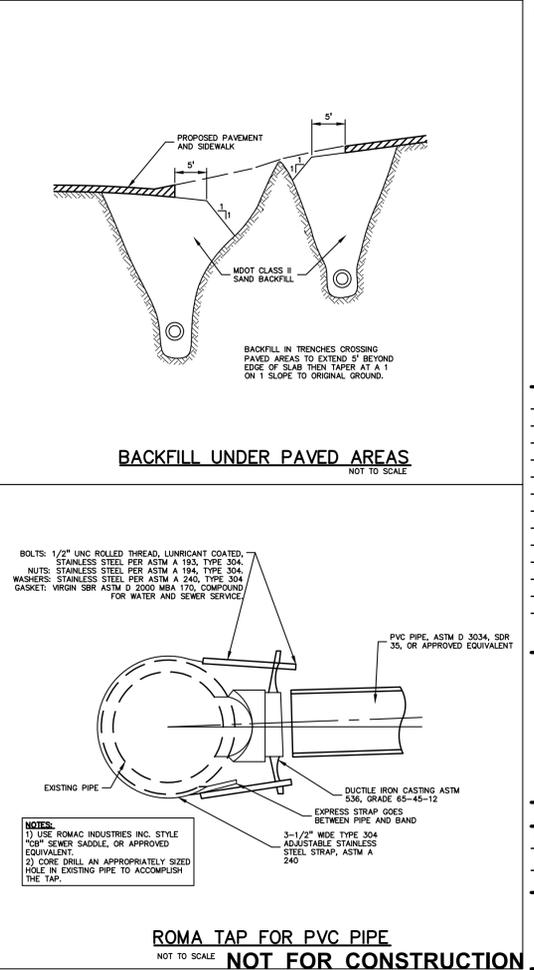
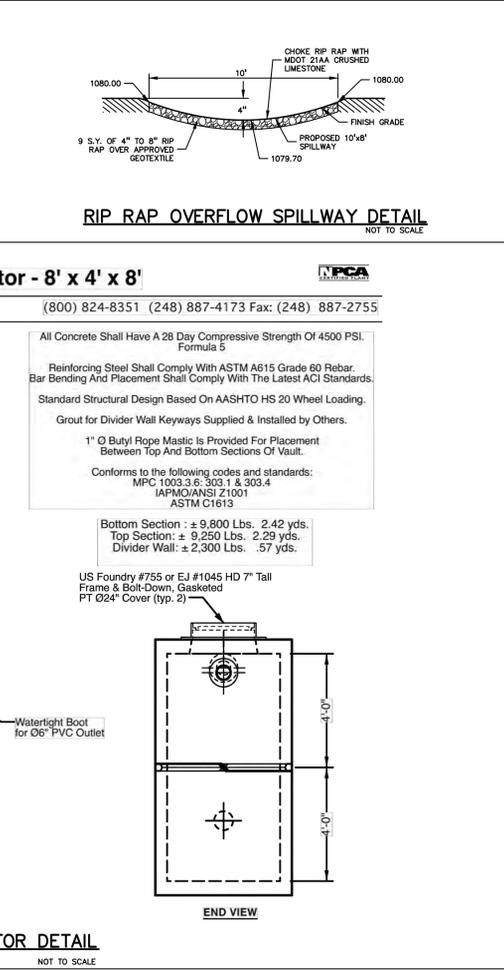
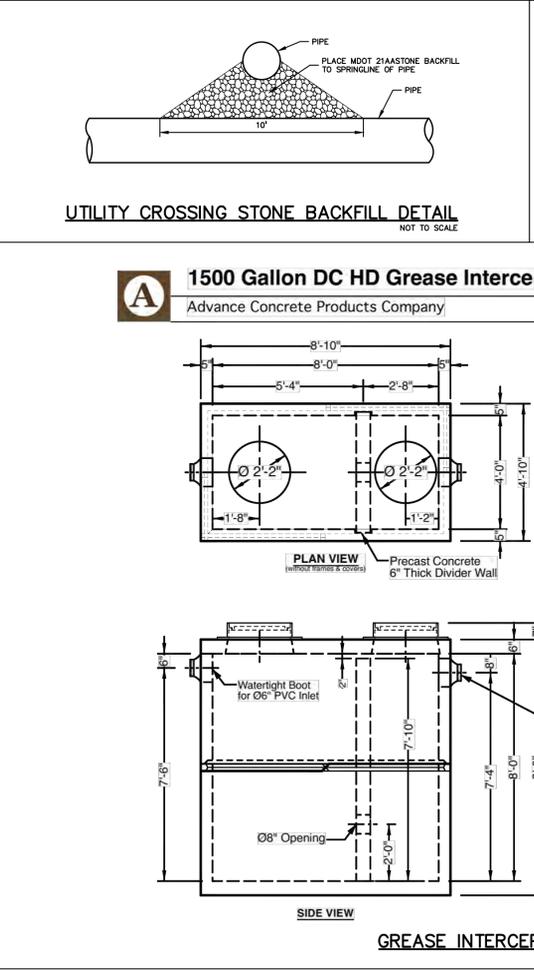
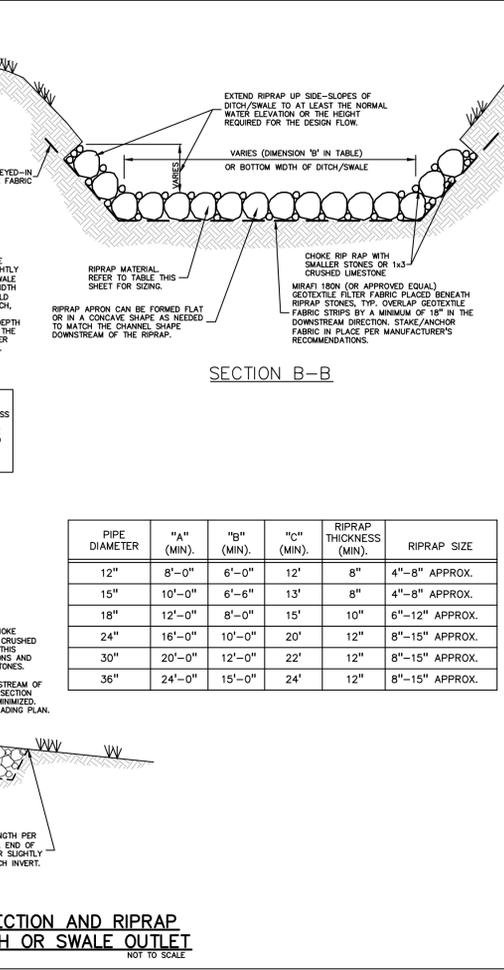
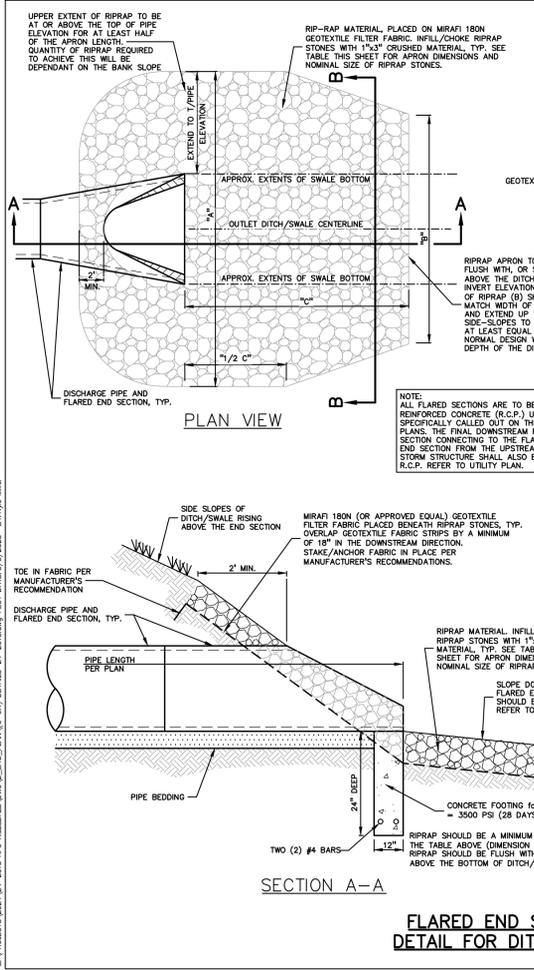
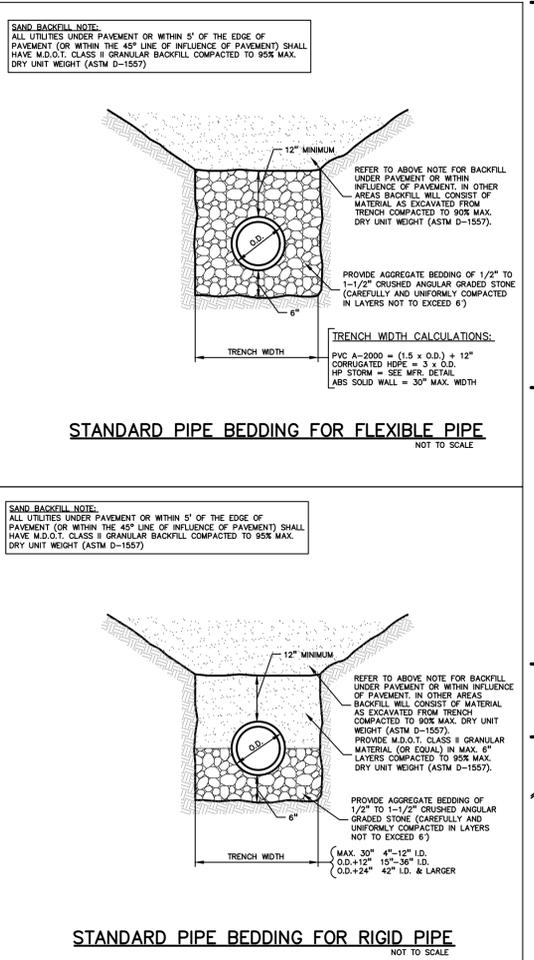
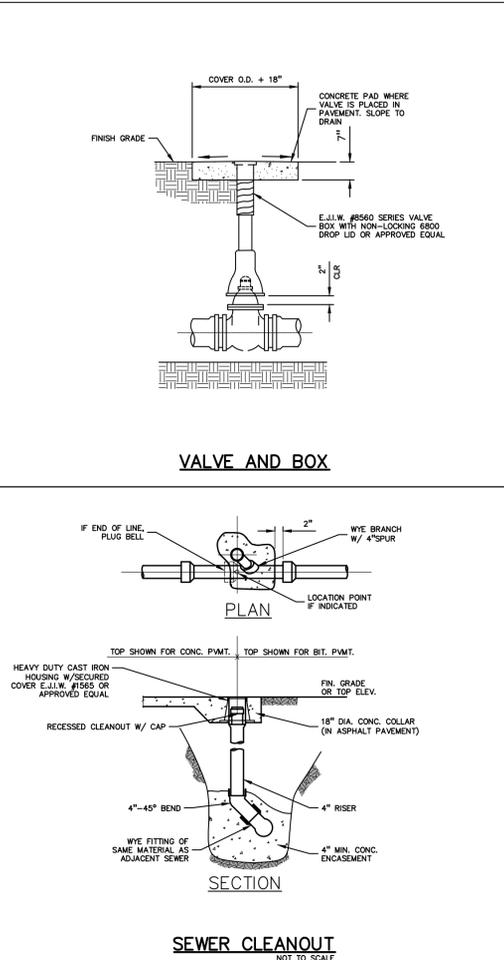
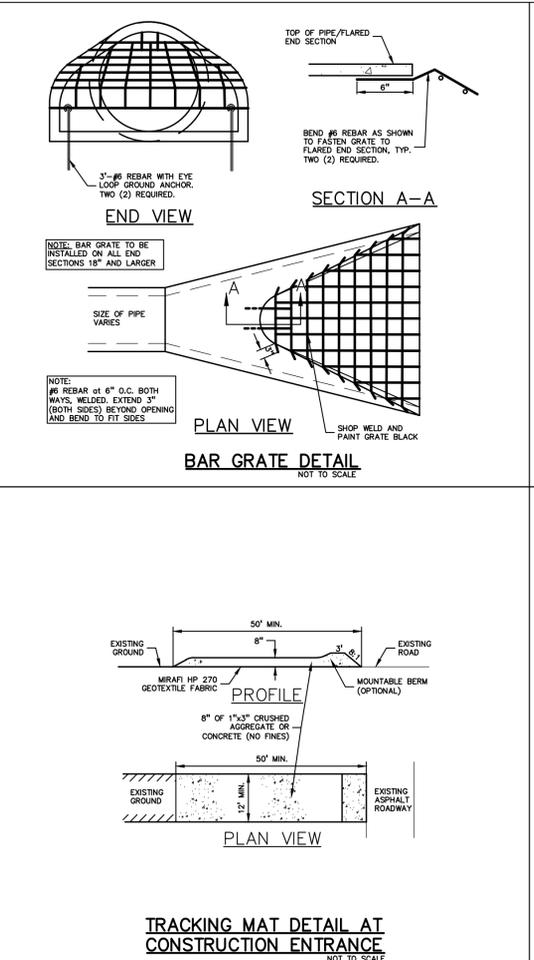
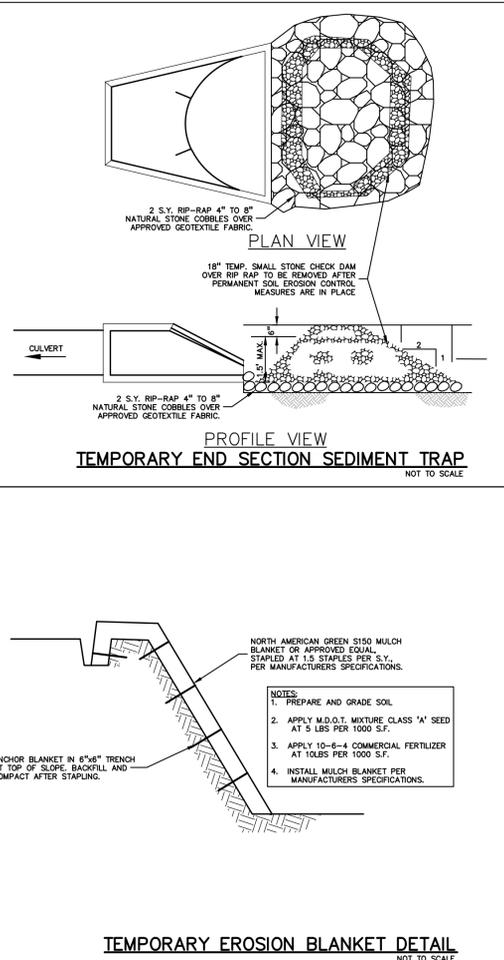
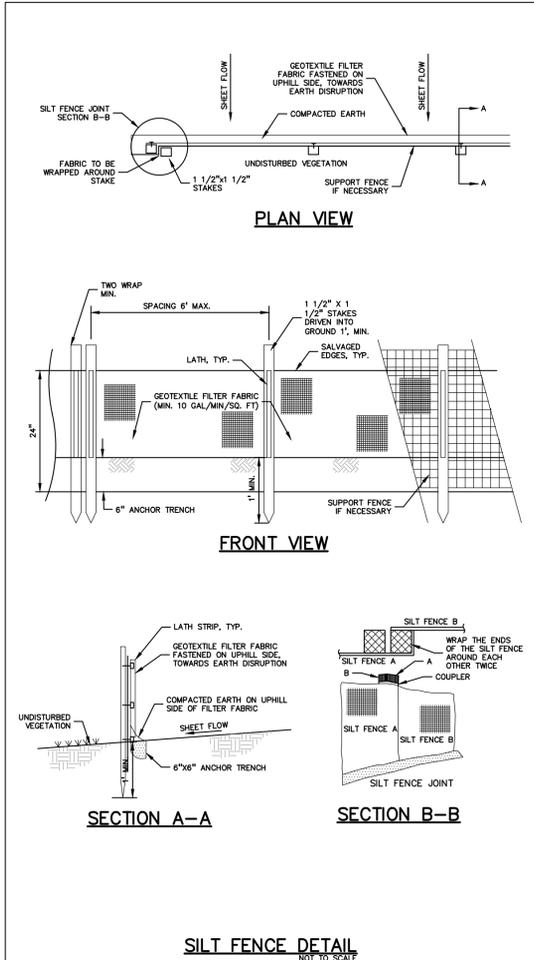
DRAWING TITLE
DETAILS - SHEET 2

PEA JOB NO.	24-2013
P.M.	LGD
DN	KM
DES.	KM
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

C-6.2

S:\PROJECTS\2024\24-04-2013 KFC - HILLSDALE\COMPO_2BTE_BPLAN(C-6.1).DETAILS-24-2013.dwg PLOT DATE:3/7/2025 BY:VAP:MBR



UPPER EXTENT OF RIPRAP TO BE AT OR ABOVE THE TOP OF PIPE ELEVATION FOR AT LEAST HALF OF THE APRON LENGTH. QUANTITY OF RIPRAP REQUIRED TO ACHIEVE THIS WILL BE DEPENDANT ON THE BANK SLOPE.

EXTEND TO 1/2\"/>

APPROX. EXTENTS OF SWALE BOTTOM

OUTLET DITCH/SWALE CENTERLINE

APPROX. EXTENTS OF SWALE BOTTOM

DISCHARGE PIPE AND FLARED END SECTION, TYP.

NOTE: ALL FLARED SECTIONS ARE TO BE REINFORCED CONCRETE (R.C.P.) UNLESS SPECIFICALLY CALLED OUT ON THE PLANS. THE FINAL DOWNSTREAM PIPE SECTION CONNECTING TO THE FLARED END SECTION FROM THE UPSTREAM STORM STRUCTURE SHALL ALSO BE R.C.P. REFER TO UTILITY PLAN.

PIPE DIAMETER

"A" (MIN.)

"B" (MIN.)

"C" (MIN.)

RIPRAP THICKNESS (MIN.)

RIPRAP SIZE

12" 8'-0" 6'-0" 12' 8" 4"-8" APPROX.

15" 10'-0" 6'-6" 13' 8" 4"-8" APPROX.

18" 12'-0" 8'-0" 15' 10" 6"-12" APPROX.

24" 16'-0" 10'-0" 20' 12" 8"-15" APPROX.

30" 20'-0" 12'-0" 22' 12" 8"-15" APPROX.

36" 24'-0" 15'-0" 24' 12" 8"-15" APPROX.

CONCRETE FOOTING f_c = 3500 PSI (28 DAYS)

RIPRAP SHOULD BE A MINIMUM LENGTH PER THE TABLE ABOVE (DIMENSION "C"). END OF RIPRAP SHOULD BE FLUSH WITH OR SLIGHTLY ABOVE THE BOTTOM OF DITCH/DITCH INVERT.

1. PREPARE AND GRADE SOIL.

2. APPLY M.D.O.T. MIXTURE CLASS 'A' SEED AT 5 LBS PER 1000 S.F.

3. APPLY 10-6-4 COMMERCIAL FERTILIZER AT 10LBS PER 1000 S.F.

4. INSTALL MULCH BLANKET PER MANUFACTURER'S SPECIFICATIONS.

1500 Gallon DC HD Grease Interceptor - 8' x 4' x 8'

Advance Concrete Products Company

(800) 824-8351 (248) 887-4173 Fax: (248) 887-2755

All Concrete Shall Have A 28 Day Compressive Strength Of 4500 PSI. Formula 5

Reinforcing Steel Shall Comply With ASTM A615 Grade 60 Rebar. Bar Bending And Placement Shall Comply With The Latest ACI Standards.

Standard Structural Design Based On AASHTO HS 20 Wheel Loading.

Grout for Divider Wall Keyways Supplied & Installed by Others.

1" Ø Butyl Rope Mastic Is Provided For Placement Between Top And Bottom Sections Of Vault.

Conforms to the following codes and standards:

MPC 1003.3.6: 303.1 & 303.4

IAPMO/ANSI Z1001

ASTM C1619

Bottom Section: ± 9,800 Lbs. 2.42 yds.

Top Section: ± 9,250 Lbs. 2.29 yds.

Divider Wall: ± 2,300 Lbs. .57 yds.

US Foundry #755 or EJ #1045 HD 7" Tall Frame & Bolt-Down Gasketed PT Ø24" Cover (typ. 2)

BACKFILL IN TRENCHES CROSSING PAVED AREAS TO EXTEND 5' BEYOND EDGE OF SLAB THEN TAPER AT A 1:1 ON 1 SLOPE TO ORIGINAL GROUND.

1) USE ROMAC INDUSTRIES INC. STYLE "HOT" SEWER SADDLE OR APPROVED EQUIVALENT.

2) CORE DRILL AN APPROPRIATELY SIZED HOLE IN EXISTING PIPE TO ACCOMPLISH THE TAP.

CLIENT

KBP BRANDS

1141 OVERBROOK ROAD SUITE 400
LEARNWOOD, NJ 08021

PROJECT TITLE

KFC - HILLSDALE

3335 W. CARLETON HWY.
HILLSDALE, MI 48042

REVISIONS

PLANNING COMMISSION SET 3/7/2025

ORIGINAL ISSUE DATE:

FEBRUARY 19, 2025

DRAWING TITLE

DETAILS - SHEET 3

PEA JOB NO. 24-2013

P.M. LGD

D.N. KM

DES. KM

DRAWING NUMBER:

C-6.3

PEA GROUP

t: 844.813.2949
www.peagroup.com

STATE OF MICHIGAN
LUCAS DRIESSEN
Professional Engineer
License No. 6201309300

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LEARNWOOD, NJ 08021

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HILLSDALE, MI 48042

REVISIONS

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ORIGINAL ISSUE DATE:

FEBRUARY 19, 2025

DRAWING TITLE

DETAILS - SHEET 3

PEA JOB NO. 24-2013

P.M. LGD

D.N. KM

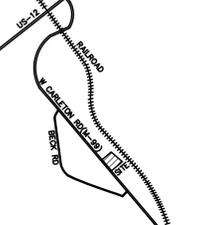
DES. KM

DRAWING NUMBER:

C-6.3



CAUTION!!
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CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEAWOOD, KS 66211

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 49242

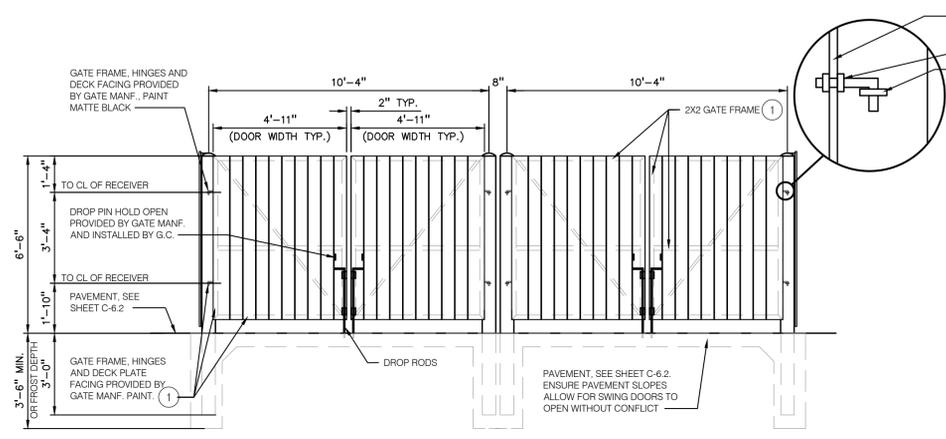
REVISIONS
PLANNING COMMISSION SET 3/7/2025

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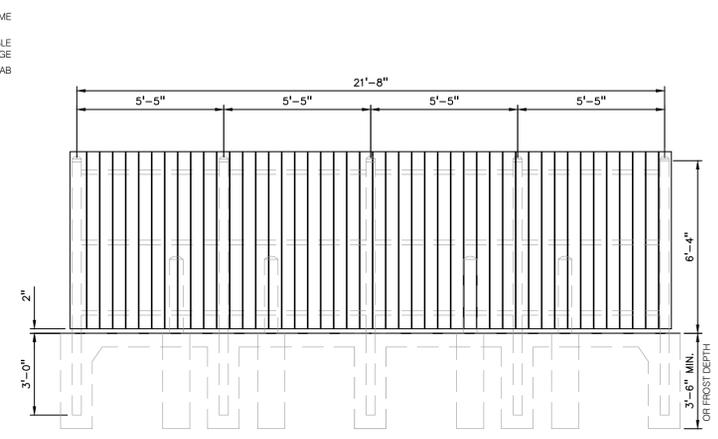
DRAWING TITLE
KFC TRASH ENCLOSURE DETAILS

PEA JOB NO. 24-2013
P.M. LGD
DN. KM
DES. KM
DRAWING NUMBER:

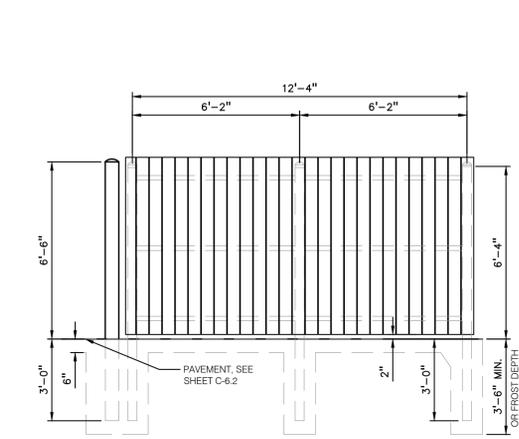
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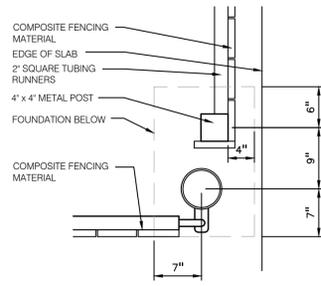
TRASH ENCLOSURE FRONT ELEVATION 8
NOT TO SCALE



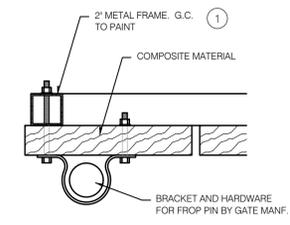
TRASH ENCLOSURE REAR ELEVATION 4
NOT TO SCALE



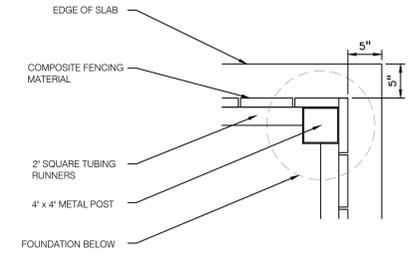
TRASH ENCLOSURE SIDE ELEVATION 1
NOT TO SCALE



PLAN DETAIL 11
NOT TO SCALE



DROP PIN DETAIL 9
NOT TO SCALE



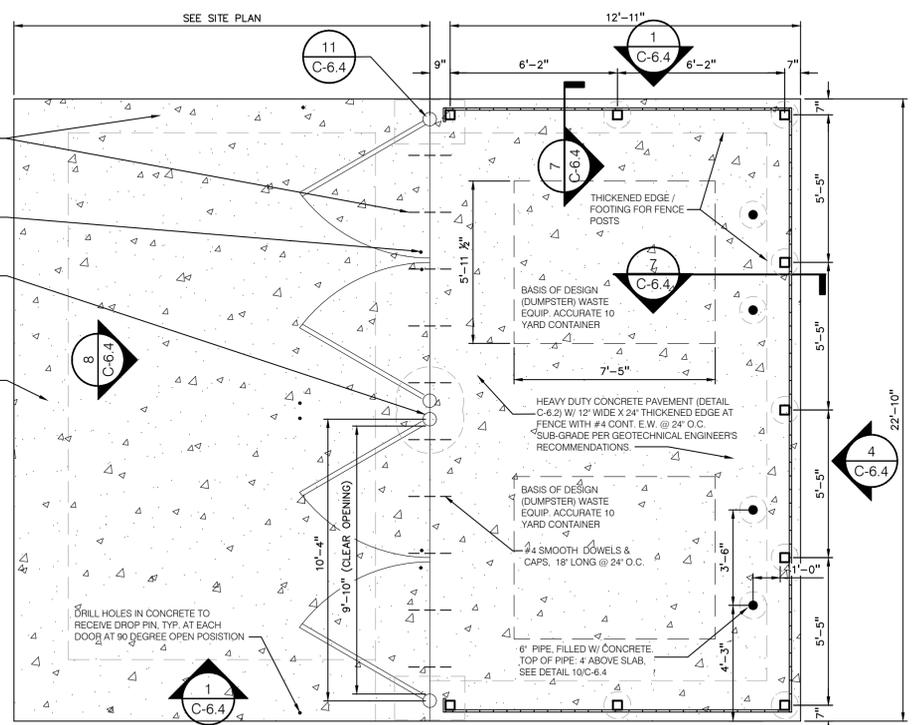
PLAN DETAIL 6
NOT TO SCALE

GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.
GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.
GATE NOTES: (4) EQUAL WIDE X 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 220A, W/ T.S. 1 X 1875 BAR CROSS BRACING WELD AND GRIND SMOOTH. ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

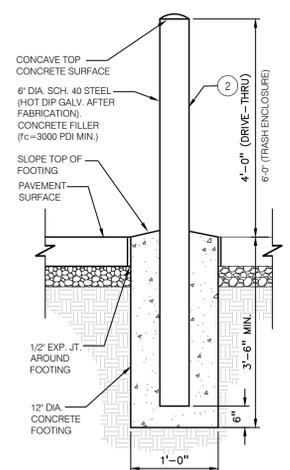
SYMBOL	AREA	MANUFACTURER	COLOR
1	GATE FRAME PAINT	BENJAMIN MOORE	p-9 (BM BLACK JACK)
2	PIPE BOLLARD PAINT	BENJAMIN MOORE	CAUTION YELLOW
3	DUMPSTER FENCE	SOLID CELLULAR PVC	MATTE BLACK/ P9 (BM BLACK JACK)

SCHEDULE

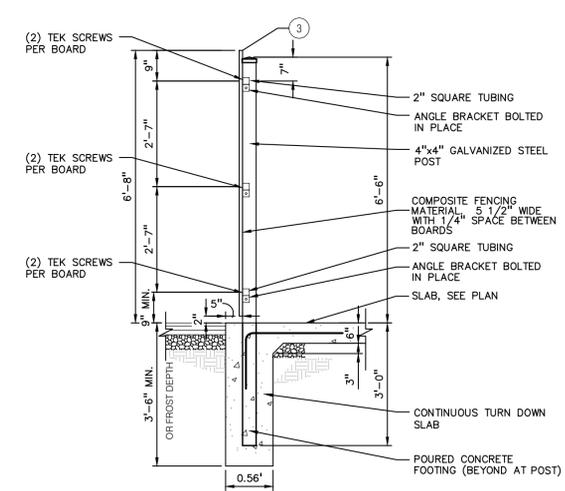
CONCRETE NOTES:
1. INSTALL 1/2" EXP. JT. MATERIAL AND SEALANT BETWEEN CONCRETE SLABS
2. INSTALL CONTROL JTS AT MAX. 10' O.C. IN SLABS



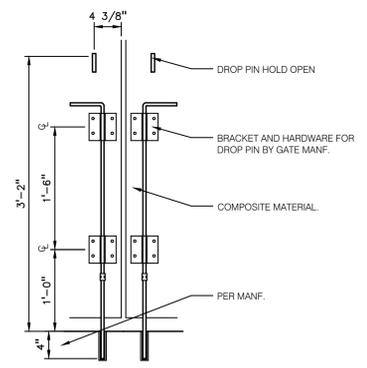
DUMPSTER PLAN
NOT TO SCALE



BOLLARD DETAIL 10
NOT TO SCALE

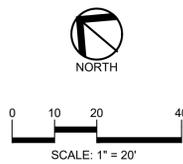


ENCLOSURE WALL SECTION 7
NOT TO SCALE

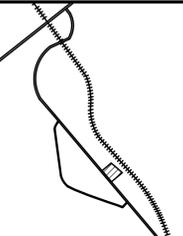


DROP PIN DETAIL 12
NOT TO SCALE

NOT FOR CONSTRUCTION



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEAWOOD, KS 66211

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MI 49242

REVISIONS
PLANNING COMMISSION SET 3/7/2025

ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

DRAWING TITLE
LANDSCAPE PLAN

PEA JOB NO. 24-2013
P.M. LGD
DN. TC
DES. JLE
DRAWING NUMBER:

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DESIGNATION	REMARKS
DECIDUOUS TREES								
AC2.5	2	AMELANCHIER CANADENSIS 'SPRIZAM'	SPRING GLORY® CANADIAN SERVICEBERRY	2.5" CAL.	B&B	PER PLAN	NATIVE	
AT2.5	2	ASIMINA TRILOBA	PAWPAW	2.5" CAL.	B&B	PER PLAN	NATIVE	
CO2.5	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5" CAL.	B&B	PER PLAN	NATIVE	
NS2.5	5	NYSSA SYLVATICA	TUPELO	2.5" CAL.	B&B	PER PLAN	NATIVE	
	12	SUBTOTAL:						
SHRUBS								
DK30	15	DIERVILLA X 'G2X88544'	KODIAK® ORANGE DIERVILLA	30" HT.	B&B OR CONT.	PER PLAN	NON-NATIVE	
JX30	6	JUNIPERUS X 'GREY OWL'	GREY OWL JUNIPER	30" HT.	CONT.	PER PLAN	NON-NATIVE	
TH36	14	'TAXUS X MEDIA 'WICKSI'	HICKS ANGLO-JAPANESE YEW	3' HT.	B&B OR CONT.	PER PLAN	NON-NATIVE	
TB30	10	THUJA OCCIDENTALIS 'BOBOZAM'	MR. BOWLING BALL® ARBORVITAE	30" HT.	CONT.	PER PLAN	NATIVE	
TT30	3	THUJA OCCIDENTALIS 'GOLDEN TUFFET'	GOLDEN TUFFET ARBORVITAE	30" HT.	CONT.	PER PLAN	NATIVE	
	48	SUBTOTAL:						
PERENNIALS								
CK2	10	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL.	POT	PER PLAN	NON-NATIVE	
EP	17	ECHINACEA PURPUREA 'PAS702918'	POWOW® WHITE CONEFLOWER	1 GAL.	POT	PER PLAN	NATIVE	
RC	25	RUBECKIA HIRTA 'CHERRY BRANDY'	CHERRY BRANDY BLACK-EYED SUSAN	1 GAL.	POT	PER PLAN	NATIVE	
	52	SUBTOTAL:						

KEY:

- = PROPOSED DECIDUOUS TREES
- = PROPOSED EVERGREEN SHRUBS
- = PROPOSED PERENNIALS AND ORNAMENTAL GRASSES
- = TREE PROTECTION FENCE
- = IRRIGATED SEED LAWN
- = RESTORE WITH NON IRRIGATED LAWN
- = ROCK, SEE DETAIL SHT. L-1.1
- = STORMWATER SEED MIX SEE DETAIL SHT. L-1.1
- Letter Designation for Ordinance Required Material:
 - S = OPEN SPACE TREE
 - P = PARKING LOT TREES

SEE SHEET L-1.1 FOR GENERAL NOTES AND LANDSCAPE DETAILS
IRRIGATION PLAN BY OTHERS, ALL LAWN AND PLANT BED AREAS

LANDSCAPE CALCULATIONS:

PER CITY OF HILLSDALE ZONING ORDINANCE, ZONED B-3 (GENERAL BUSINESS)
ADJACENT ZONING:
NORTH: B-3 (GENERAL BUSINESS) - RAILROAD R.O.W.
EAST: B-3 (GENERAL BUSINESS)
SOUTH: B-3 (GENERAL BUSINESS)
WEST: B-3 (GENERAL BUSINESS)

LANDSCAPED OPEN SPACE (SEC. 36-150 (a)(2)) = S
REQUIRED:
15% OF THE SITE SHALL BE LANDSCAPED OPEN SPACE
45,855 X (0.15) = 6,878 SF
1 EVERGREEN TREE OR SHRUB PER 1,000 SF
18,036 (PROJECT LIMITS) / 1,000 = 19 EVERGREEN TREES OR SHRUBS
1 SMALL OR LARGE DECIDUOUS TREE PER 2,000 SF
18,036 / 2,000 = 9.018 = 10 DECIDUOUS TREES
30% OF LANDSCAPING BETWEEN ROADWAY AND BUILDING

PROVIDED:
45,855 X 0.39 = 18,036 SF LANDSCAPED OPEN SPACE
19 EVERGREEN SHRUBS, ADJ. TO BUILDING
10 DECIDUOUS TREES

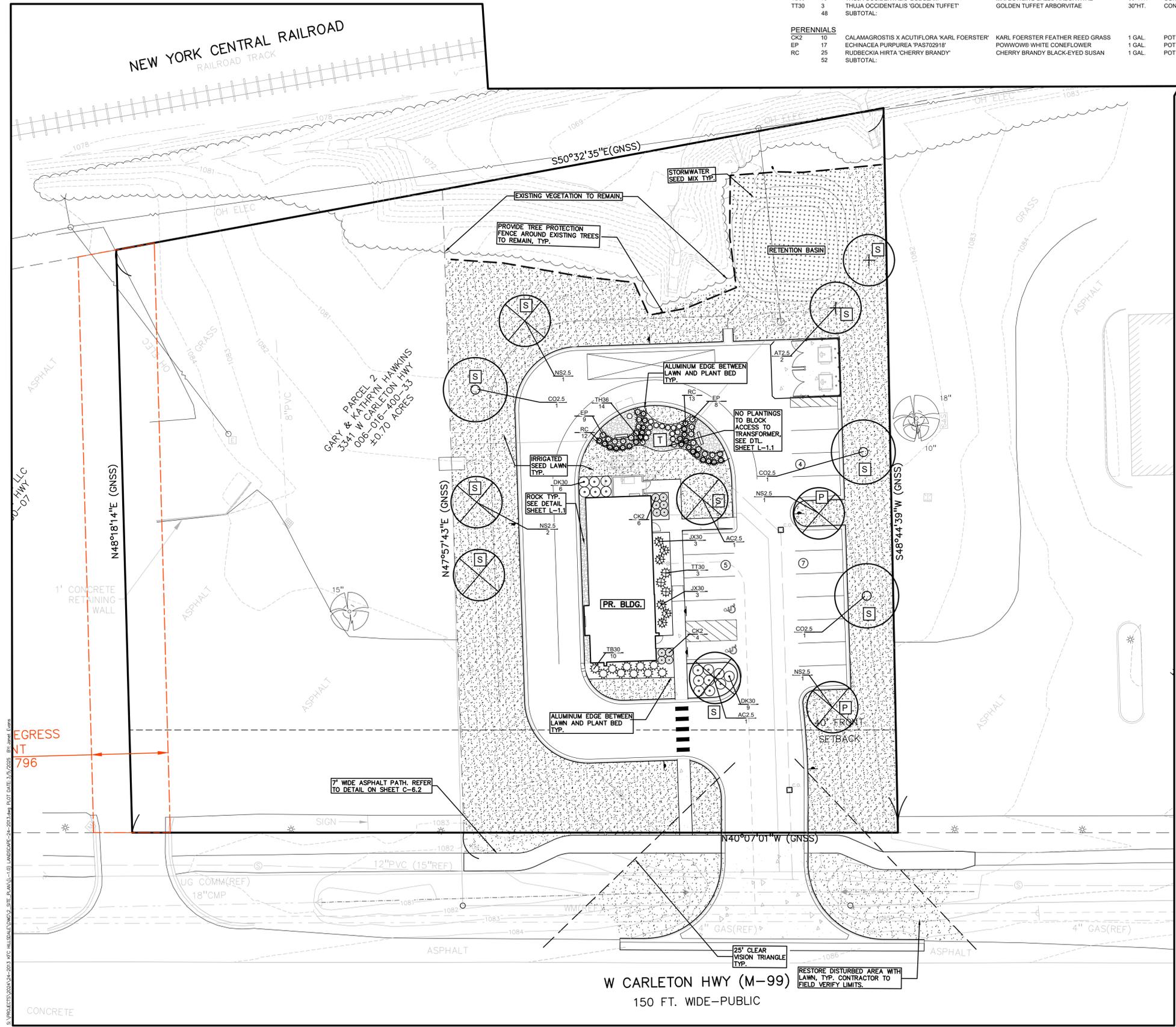
PARKING LOT LANDSCAPING (SEC. 36-150 (c)) = P
REQUIRED:
IF 18+ SPACES, PERIMETER LANDSCAPING REQUIRED.
1 TREE FOR EVERY 10 PARKING SPACES
16 / 10 = 1.6 = 2 PARKING LOT TREES

MINIMUM 3-FOOT WIDE LANDSCAPE STRIPS BETWEEN PAVED PARKING SURFACES AND BUILDINGS AND PROPERTY LINES WHERE POSSIBLE.
PROVIDED: 2 PARKING LOT TREES

FRONT YARD LANDSCAPING (SEC. 36-150 (d))
REQUIRED:
GREENBELT WITH A MINIMUM WIDTH OF THE REQUIRED ZONING FRONT YARD SETBACK (40 FEET) REQUIRED.

SITE LANDSCAPING:
IN ADDITION TO GREENBELT AND PARKING LOT LANDSCAPING - 10% OF SITE AREA (EXCLUDING R.O.W.) SHALL BE LANDSCAPED. STORM DRAINAGE AREAS MAY BE INCLUDED BUT NOT COUNT FOR MORE THAN 5% OF SITE AREA.

ARTICLE X - PLANT MATERIAL SEC. 36-712
(a) PLANT MATERIAL NO CLOSER THAN 4 FEET FROM PROPERTY LINE
(b) ROWS OF PLANTS SHALL BE STAGGERED



EGRESS
NT
796

CONCRETE

W CARLETON HWY (M-99)
150 FT. WIDE-PUBLIC

NOT FOR CONSTRUCTION **L-1.0**

GENERAL LANDSCAPING REQUIREMENTS

- 1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1. General procedures and requirements for Site Work.
2.0 PRODUCTS - Not Used
3.0 EXECUTION
3.1 PREPARATION
3.1.1 Protection
1. Spillage:
A. Avoid spillage by covering and securing loads when hauling on or adjacent to public streets or highways.
B. Remove spillage and sweep, wash, or otherwise clean project, streets, and highways.
2. Erosion Control:
A. Take precautions necessary to prevent erosion and transportation of soil downstream, to adjacent properties, and into on-site or off-site drainage systems.
B. Develop, install, and maintain an erosion control plan if required by law.
C. Repair and correct damage caused by erosion.
3. Existing Plants And Features:
A. Do not damage tops, trunks, and roots of existing trees and shrubs on site which are intended to remain.
B. Do not use heavy equipment within branch spread. Interfering branches may be removed only with permission of Landscape Architect.
C. Do not damage other plants and features which are to remain.

3.1.2 If specified precautions are not taken or corrections and repairs made promptly, Owner may take such steps as may be deemed necessary and deduct costs of such from monies due to Contractor. Such action or lack of action on Owner's part does not relieve Contractor from responsibility for proper protection of the Work.

END OF SECTION

LANDSCAPING PREPARATION

- 1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1. General landscape work requirements.
1.2 QUALITY ASSURANCE
1.2.1 Comply with all applicable local, state and federal requirements, regarding materials, methods of work, and disposal of excess and waste materials.
1.2.2 Obtain and pay for all required inspections, permits, and fees.
1.2.3 Provide notices required by governmental authorities.
1.3 PROJECT CONDITIONS
1.3.1 Locate and identify existing underground and overhead services and utilities within contract limit work areas. (Call Miss Dig: 1-800-482-7171 in Michigan).
1.3.2 Provide adequate means to protect utilities and services designated to remain.
1.3.3 Repair utilities damaged during site work operations at Subcontractor's expense.
1.3.4 When uncharted or incorrectly charted underground piping or other utilities and services are encountered during site work operations, notify the applicable utility company immediately to obtain procedure directions. Cooperate with the applicable utility company in maintaining active services in operation.
1.3.5 Locate, protect, and maintain benchmarks, monuments, control points and project engineering reference points. Re-establish disturbed or destroyed items at Subcontractor's expense.
1.3.6 Perform landscape work operations and the removal of debris and materials to assure minimum interference with streets, walks, and other adjacent facilities.
1.3.7 Obtain governing authorities' written permission when required to close or obstruct streets, walks and adjacent facilities. Provide alternate routes around closed or obstructed traffic ways when required by governing authorities.
1.3.8 Protect and maintain street lights, utility poles and services, traffic signal control boxes, curb boxes, valves and other services, except items designated for removal.
1.3.9 The General Contractor will occupy the premises and adjacent facilities during the entire period of construction. Perform landscape work operations to minimize conflicts and to facilitate General Contractor's use of the premises and conduct of his normal operations.
1.3.10 Perform landscape preparation work before commencing landscape construction.
1.3.11 Provide necessary barricades, coverings and protection to prevent damage to existing improvements indicated to remain.
1.3.12 Protect existing trees scheduled to remain against injury or damage including cutting, breaking or skinning of roots, trunks or branches, smothering by stockpiled construction materials, excavated materials or vehicular traffic within branch spread.

2.0 PRODUCTS

- 2.1 MATERIALS/EQUIPMENT
2.1.1 As selected by the General Contractor, except as indicated.
1. Tree protection:
A. Wood fencing - Snow fencing 4' height.
B. Posts - Steel fence post.
C. Herbicide for lawn restoration - "Round-up" by Monsanto.

3.0 EXECUTION

- 3.1 EXISTING UTILITIES
3.1.1 Call "MISS DIG" 811 before construction begins. Information on the drawings related to existing utility lines and services is from the best sources presently available. All such information is furnished only for information and is not guaranteed. Excavate test pits as required to determine exact locations of existing utilities.
3.2 CLEARING
3.2.1 Locate and suitably identify trees and improvements indicated to remain.
3.2.2 Fencing/soil erosion fence is to be installed.
3.2.3 Any equipment that compacts the soil in the areas of existing trees is not allowed.
3.2.4 Protect trees scheduled to remain with 4' high snow fence per plans.
3.2.5 No vehicular traffic is permitted beneath drip line at any time. All lawn areas are to be worked by hand.
3.2.6 Clear and grub areas within contract limits as required for site access and execution of the work.
3.2.7 Remove trees, plants, undergrowth, other vegetation and debris, except items indicated to remain.
3.2.8 Treat planting and lawn areas as required with herbicide per manufacturer recommendations to kill existing vegetation prior to planting, seeding and sodding.
3.2.9 Remove stumps and roots to a clear depth of 36" below subgrades. Remove stumps and roots to their full depth within 50" of underground structures, utility lines, footings, and paved areas.
3.3 DISPOSAL OF WASTE MATERIALS
3.3.1 Stockpile, haul from site and legally dispose of waste materials and debris. Accumulation is not permitted.

- 3.3.2 Maintain disposal routes, clear, clean and free of debris.
3.3.3 On site burning of combustible cleared materials is not permitted.
3.3.4 Upon completion of landscape preparation work, clean areas within contract limits, remove tools and equipment. Site to be clear, clean and free of materials and debris and suitable for site work operations.
3.3.5 Materials, items and equipment not scheduled for reinstallation or salvaged for the General Contractor are the property of the Landscape Contractor. Remove cleared materials from the site as the work progresses. Storage and sale of Landscape Contractors salvage items on site is not permitted.

END OF SECTION

FINISH GRADING AND TOPSOIL PLACEMENT

- 1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1. Perform finish grading and topsoil placement required to prepare site for installation of landscaping as described in Contract Documents.
1.2 SUBMITTALS
1.2.1 Quality Assurance
1. Submit test on imported topsoil and on site stockpiled topsoil by independent licensed testing laboratory prior to use. Imported topsoil shall meet minimum specified requirements and be approved by Landscape Architect prior to use.
2. Provide and pay for testing and inspection during topsoil operations. Laboratory, inspection services, and Soils Engineer shall be acceptable to the Landscape Architect.
3. Submit report stating location of source of imported topsoil and account of recent use.
4. Test for pH factor, mechanical analysis, and percentage of organic content.
5. Submit test reports to General Contractor.
6. Sub-Contractor, or testing agency to make recommendations on type of quantity of additives required to establish satisfactory pH factor and supply of nutrients to bring nutrients to satisfactory level for planting.
1.3 QUALITY ASSURANCE
1.3.1 Participate in pre-installation meeting with Landscape Architect.
1.4 PROJECT CONDITIONS
1.4.1 Also see Landscape Preparation Section.
1.4.2 Protect existing trees, plants, lawns, and other features designated to remain as part of the landscaping work.
1.4.3 Promptly repair damage to adjacent facilities caused by topsoil operations. Cost of repair at Subcontractor's expense.
1.4.4 Promptly notify the General Contractor and Landscape Architect of unexpected subsurface conditions.
2.0 PRODUCTS
2.1 MATERIALS
2.1.1 Topsoil: supplied and stockpiled topsoil proposed for use must meet the testing criteria results specified. Topsoil must conform to adjustments and recommendations from the soil test and by the Landscape Architect.
2.1.2 Existing topsoil: existing topsoil from on-site stockpile shall be utilized. All processing, cleaning, and preparation of this stored topsoil to render it acceptable for use is the responsibility of the Subcontractor.
2.1.3 Provide additional topsoil as required to complete the job. Topsoil must meet testing criteria results specified.
2.1.4 All processing, cleaning, and preparation of this supplied topsoil to render it acceptable for use is the responsibility of the Subcontractor.
2.1.5 Supplied and stockpiled topsoil, shall be fertile, friable, dark in color and representative of local productive soil, capable of sustaining vigorous plant growth and free of clay lumps, subsoil, noxious weeds or other foreign matter such as stones of 1" in any dimension, roots, sticks, and other extraneous material: not frozen or muddy. PH of soil range between 5.0 and 7.5
2.1.6 Soil shall not contain more than 2 percent of particles measuring over 2.0 mm in largest size
2.1.7 Prepared topsoil shall be used in planting mixtures as specified in Trees, Plants, and Ground Cover; all beds prepared as specified.

3.0 EXECUTION

- 3.1 EXAMINATION
3.1.1 Do not commence work of this Section until grading tolerances specified are met.
3.2 PREPARATION
3.2.2 Prior to grading, dig out weeds from planting areas by their roots and remove from site. Before placing top soil in landscape areas, remove rocks larger than 1 inch in any dimension and foreign matter such as building rubble, wire, cans, sticks, concrete, etc.
3.2.3 Prior to placing topsoil, remove any imported base material present in planting areas down to natural subgrade or other material acceptable to Landscape Architect.

3.3 PERFORMANCE

- 3.3.1 Site Tolerances
1. Total Topsoil Depth -
A. Lawn And Groundcover Planting Areas - 3 inches minimum compacted.
B. Shrub Planting Areas - 12 inches minimum throughout entire shrub bed area.
2. Elevation of topsoil relative to walks or curbs -
A. Seeded Lawn Areas - 1/4 inch below
B. Sodded Lawn Areas - 1 1/2 inches below
C. Shrub And Ground Cover Areas - 3 inches below
3.3.2 Do not expose or damage existing shrub or tree roots.

- 3.3.3 Redistribute approved existing top soil stored on site as a result of rough grading. Remove organic material, rocks and clods greater than 1 inch in any dimension, and other objectionable materials. Provide additional approved imported topsoil required for specified topsoil depth and bring surface to specified elevation relative to walk or curb.
3.3.4 For trees, shrubs, ground cover beds and plant mix for beds see Exterior Plants section.
3.3.5 Provide earth berming where indicated on Plans.
3.3.6 Berming to be free flowing in shape and design, as indicated, and to blend into existing grades gradually so that the toe of slope is not readily visible. Landscape Architect or General Contractor's representative to verify final contouring before planting.
3.3.7 Regardless of finish grading elevations indicated, it is intended that grading be such that proper drainage of surface water away from buildings will occur and that no low areas are created to allow ponding. Subcontractor to consult the General Contractor and Landscape Architect regarding variations in grade elevations before rough grading is completed.

- 3.3.8 Slope grade away from building for 12 feet minimum from walls at slope of 1/2 inch per ft minimum unless otherwise noted. High point of finish grade at building foundation shall be 6 inches minimum below finish floor level. Direct surface drainage in manner indicated on Drawings by mowing surface to facilitate natural run-off of water. Fill low spots and pockets with top soil and grade to drain properly.

- 3.3.9 Rake all topsoil to remove clods, rocks, weeds, and debris.
3.3.10 Grade and shape area to bring surface to true uniform planes free from irregularities and to provide proper drainage and slopes per plans.

3.4 CLEANING

- 3.4.1 Upon completion of topsoil operations, clean areas within contract limits, remove tools, equipment, and haul all excess topsoil off-site. Site shall be clear, clean, free of debris, and suitable for site work operations.

END OF SECTION

LAWN SEEDING

1.0 GENERAL

- 1.1 SUMMARY
1.1.1 Includes But Not Limited To
1. Furnish and install seeded lawn as described in Contract Documents.
1.2 SUBMITTALS
1.2.1 Submit seed vendor's certification for required grass seed mixture, indicating percentage by weight, and percentage of purity, germination, and weed seed for each grass species.
1.3 DELIVERY AND STORAGE
1.3.1 Deliver seed and fertilizer materials in original unopened containers, showing weight, analysis, and name of manufacturer. Store in a manner to prevent wetting and deterioration.
1.4 PROJECT CONDITIONS
1.4.1 See landscape preparation section.
1.4.2 Work notification: Notify Landscape Architect of General Contractor's representative at least seven (7) working days prior to start of seeding operation.
1.4.3 Protect existing utilities, paving, and other facilities from damage caused by seeding operations.
1.4.4 Perform seeding work only after planting and other work affecting ground surface has been completed.
1.4.5 Provide hose and lawn watering equipment as required.

- 1.4.6 The irrigation system will be installed prior to seeding. Locate, protect, and maintain the irrigation system during seeding operations. Repair irrigation system components damaged during seeding operations at the Sub-Contractor's expense.

1.5 WARRANTY

- 1.5.1 See Landscape Maintenance and Warranty Section

2.0 PRODUCTS

- 2.1 MATERIALS
2.1.1 Topsoil for Seeded Areas: See Topsoil Placement and Drawings.
2.1.2 Lawn seeded areas: Fresh, clean and new crop seed mixture. Mixed by approved methods.
2.1.3 Seed mixture composed of the following varieties, mixed to the specified proportions by weight and tested to minimum percentages of purity and germination.
2.1.4 Irrigated Lawn Seed Mixture proportioned by volume as indicated below:
SEED TYPE PROPORTION PURITY GERMINATION
Kentucky Bluegrass 50% 90% 75%
Penn Lawn Fescue 30% 95% 80%
Annual Ryegrass 20% 95% 80%

- 2.1.5 Non-Irrigated Seed Mixture proportioned by volume as indicated below:
SEED TYPE PROPORTION PURITY GERMINATION
Penn Lawn Fescue 60% 90% 85%
Kentucky 28# Common Bluegrass 20% 90% 90%
Perennial Ryegrass 20% 90% 90%

- 2.1.6 Fertilizer: granular, non burning product composed of not less than 50% organic slow acting, guaranteed analysis professional fertilizer.
2.1.7 Ground Limestone: Used if required by soil test report: Containing not less than 85% of total carbonates and ground to such fineness that 50% will pass through a 100 mesh sieve and 90% will pass through a 20% mesh sieve.

- 2.1.8 Straw Mulch: Used in crimping process only. Clean oat or wheat straw well seasoned before baling, free from mature seed-bearing status, or roots of prohibited or noxious weeds.
2.1.9 Water: Free of substance harmful to seed growth. Hoses or other methods to transpiration furnished by Sub Contractor.

3.0 EXECUTION

- 3.1 INSPECTION
3.1.1 Landscape Architect or General Contractor's representative must approve finish surfaces, grades, topsoil quality and depth. Do not start seeding work until unsatisfactory conditions are corrected.
3.2 PREPARATION
3.2.1 SURFACE PREPARATION
1. Seven days maximum prior to seeding, -
A. Treat Lawn areas if required with "Round-Up" by Monsanto, per label direction to kill existing vegetation prior to seeding.
B. Loosen topsoil areas to minimum depth of 4", dampen thoroughly, and cultivate to properly break up clods and lumps.
C. Rake area to remove clods, rocks, weeds, roots, debris, and stones over 1" in any dimension.
D. Grade lawn areas to smooth, free draining even surface with a loose, moderately coarse texture. Roll and rake, remove ridges, and fill depressions as required to drain.
E. Apply limestone to supplied topsoil if required by soil test report at rate determined by the soil test, to adjust pH of topsoil to not less than 6.0 no more than 6.8. Distribute evenly by machine and incorporate thoroughly into topsoil.
F. Apply fertilizers to indicated turf areas at a rate equal to 1 lb. of actual nitrogen 1,000 sq. ft. (43 lbs / acre).
G. Apply fertilizers by mechanical rotary or drop type distributor, thoroughly and evenly incorporated with soil to a depth of 1" by approved method. Fertilize areas inaccessible to power equipment with hand tools and incorporate into soil.
H. After lawn areas have been prepared, take no heavy objects over them except lawn rollers.
I. After preparation of lawn areas and with topsoil in semi-dry condition, roll lawn planting areas in two directions at approximately right angles with water ballast roller weighing 100 to 300 lbs according to soil type.
J. Rake or scarify and cut or fill irregularities that develop as required until area is true and uniform, free from lumps, depressions, and irregularities.
K. Restore prepared areas to specified condition if eroded, settled or otherwise disturbed after fine grading and prior to seeding.

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G. Apply fertilizers by mechanical rotary or drop type distributor, thoroughly and evenly incorporated with soil to a depth of 1" by approved method. Fertilize areas inaccessible to power equipment with hand tools and incorporate into soil.
H. After lawn areas have been prepared, take no heavy objects over them except lawn rollers.
I. After preparation of lawn areas and with topsoil in semi-dry condition, roll lawn planting areas in two directions at approximately right angles with water ballast roller weighing 100 to 300 lbs according to soil type.
J. Rake or scarify and cut or fill irregularities that develop as required until area is true and uniform, free from lumps, depressions, and irregularities.
K. Restore prepared areas to specified condition if eroded, settled or otherwise disturbed after fine grading and prior to seeding.

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1. Seven days maximum prior to seeding, -
A. Treat Lawn areas if required with "Round-Up" by Monsanto, per label direction to kill existing vegetation prior to seeding.
B. Loosen topsoil areas to minimum depth of 4", dampen thoroughly, and cultivate to properly break up clods and lumps.
C. Rake area to remove clods, rocks, weeds, roots, debris, and stones over 1" in any dimension.
D. Grade lawn areas to smooth, free draining even surface with a loose, moderately coarse texture. Roll and rake, remove ridges, and fill depressions as required to drain.
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K. Restore prepared areas to specified condition if eroded, settled

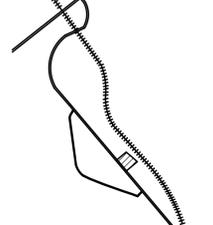
EXTERIOR PLANTS

1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1.2 QUALITY ASSURANCE
1.2.1 Plant names indicated, comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature.
1.2.2 Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock".
1.2.3 All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of two years.
1.2.4 Stock furnished shall be at least the minimum size indicated.
1.2.5 Provide "specimen" plants with a special height, shape, or character of growth.
1.2.6 Plants may be inspected and approved at the place of growth for compliance with specification requirements for quality, size, and variety.
1.2.7 Approval of plant selection at the place of growth shall not impair the right of inspection and rejection upon delivery at the site or during progress of the work.
1.2.8 Provide percolation testing by filling plant pits with water and monitoring length of time for water to completely percolate into soil.
1.2.9 Before proceeding with work, check and verify dimensions and quantities.
1.2.10 Plant totals are for convenience only and are not guaranteed.
1.3 SUBMITTALS
1.3.1 Provide and pay for material testing.
1.3.2 Submit the following material samples to Landscape Architect:
1.3.3 Submit the following materials certification to Landscape Architect:
1.4 DELIVERY, STORAGE, AND HANDLING
1.4.1 Deliver fertilizer materials in original, unopened and undamaged containers showing weight, analysis, and name of manufacturer.
1.4.2 Take all precautions customary in good trade practice in preparing plants for moving.
1.4.3 Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration.
1.4.4 Dig, pack, transport, and handle plants with care to ensure protection against injury.
1.4.5 Inspection certificates required by law shall accompany each shipment invoice or order to stock on arrival.
1.4.6 Protect all plants from drying out.
1.4.7 Water heeled in plantings daily.
1.4.8 No plant shall be bound with rope or wire in a manner that could damage or break the branches.
1.4.9 Cover plants transported on open vehicles with a protective covering to prevent wind burn.
1.4.10 Frozen or muddy topsoil is not acceptable.
1.5 PROJECT CONDITIONS
1.5.1 See Landscape Preparation Section.
1.5.2 Work notification: notify Landscape Architect at least seven working days prior to installation of plant material.
1.5.3 Protect existing utilities, paving, and other facilities from damage caused by landscaping operations.
1.5.4 A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the proposal form.
1.5.5 An irrigation system will be installed prior to planting.
1.5.6 The Landscape Subcontractor shall inspect existing soil conditions in all areas of the site where his operations will take place.
1.6 WARRANTY
1.6.1 See Landscape Maintenance and Warranty Standards.
2.0 PRODUCTS
2.1 MATERIALS
2.1.1 Plants: Provide plants typical of their species or variety, with normal, densely developed branches and vigorous, fibrous root systems.
2.1.2 All trees shall have day or clay loam balls.
2.1.3 Provide tree species that mature at heights over 25'-0" with a single, main trunk.
2.1.4 Plants planted in rows shall be matched in form.
2.1.5 Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.
2.1.6 No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
2.1.7 Evergreen trees shall be unsharred and branched to the ground.
2.1.8 Shrubs and small plants shall meet the requirements for spread and height indicated on the drawings.
2.1.9 Plant materials shall be subject to approval by the Landscape Architect as to size, health, quality, and character.
2.1.10 Bare root trees are not acceptable.
2.1.11 Provide plant materials from licensed nursery or grower.
2.1.12 Bare root plants: dug with adequate fibrous roots, to be covered with a uniformly thick coating of mud by being puddled immediately after they are dug or packed in moist straw or peat moss.
2.1.3 Container grown stock: grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm, and whole.

1. No plants shall be loose in the container.
2. Container stock shall not be root bound.
3. Single stemmed or thin plants will not be accepted.
4. Side branches shall be generous, well twigged, and the plant as a whole well bushed to the ground.
5. Plants shall be in a moist, vigorous condition, free from dead wood, bruises or other root or branch injuries.
2.1.4 Collected stock consists of plants growing under natural conditions in soils and climate as exist at location to be planted, in locations lending themselves to proper collecting practices.
2.1.5 Specimen stock: all specimen designated plantings are to be nursery grown, fully developed, excellent quality, and typical example of the species.
2.1.6 Topsoil for planting mix: fertile, friable, natural topsoil of loamy character, without admixture of subsoil material.
2.1.7 Peat moss: brown to black in color, weed and seed free granulated peat peat.
2.1.8 Planting mixture Type A: trees: standard planting backfill shall be a mixture of 1/2 native soil (excavated from plant pits), 1/4 topsoil, and 1/4 sand.
2.1.9 Planting mixture Type B for perennial flowers, groundcover beds, and ericaceous plants: planting backfill shall be a mixture of 1/3 screened topsoil, 1/3 sand and 1/3 peat.
2.1.10 Planting mixture Type C for annual flower beds: same as Type "B".
2.1.11 Planting mixture Type D for Bioretention Soil Mix, for use with shrubs and perennials in a bioswale, rain garden or bioretention area.
2.1.12 Planting mixture Type E for Planter Soil Mix, Metro Mix 900 in 3 cubic foot bags or approved equal.
2.1.13 Plant fertilizer Type A to be "Drimanure" applied per manufacturer recommendations.
2.1.14 Plant fertilizer Type B to be "14-14-14".
2.1.15 Bone Meal - 5 lbs. per cubic yard of soil mixes.
2.1.16 Lime to be ground dolomitic limestone, ninety-five percent (95%) passing through #100 mesh screen.
2.1.17 Sand to be clean, coarse, ungraded conforming to ASTM-C-3 for fine aggregates.
2.1.18 Anti-Desiccant: protective film emulsion providing a protective film over plant surfaces; permeable to permit transpiration.
2.1.19 Shredded bark mulch shall be double processed, dark shredded hardwood bark that is clean, free of debris and sticks.
2.1.20 Water: free of substances harmful to plant growth.
2.1.21 Stakes for staking (3) Three Hardwood, 2" x 2" x 8'-0" long.
2.1.22 Guying/staking material With 2"-3" wide fabric straps, connect from tree to stake.
2.1.23 Tree wrap: standard waterprooled tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe kraft paper weighing not less than 30 lbs. per ream, cemented together with asphalt.
2.1.21 Twine: two-ply jute material.
2.2 MEASUREMENTS
2.2.1 Measure height and spread of specimen plant materials with branches in their normal positions as indicated on Drawings or Plant List.
2.2.2 The measurements for height shall be taken from the ground level to the average height of the top of the plant and not the longest branch.
2.2.3 Measurement should be average of plant, not greatest diameter.
2.2.4 Plants properly trimmed and transplanted should measure same in every direction.
2.2.5 Measure caliper of trees 6 inches above surface of ground.
2.2.6 Where caliper or other dimensions of plant materials are omitted from Plant List, plant materials shall be normal stock for type listed.
2.2.7 Plant materials larger than those specified may be supplied, with prior written approval of Landscape Architect, and:
3.0 EXECUTION
3.1 INSPECTION
3.1.1 Landscape Architect or General Contractor's representative must approve proposed planting areas and conditions of installation.
3.1.2 Individual plant locations shall be staked on the project site by the Landscape Contractor and approved by the Landscape Architect before any planting pits are dug.
3.1.3 Accurately stake plant material according to the Drawings.
3.2 TIME OF PLANTING
3.2.1 Evergreen material: Plant Evergreen materials between September 1 and October 15 or in spring before new growth begins.
3.2.2 Deciduous material: Plant deciduous materials in a dormant condition.
3.2.3 Planting times other than those indicated must be acceptable to the Landscape Architect.
3.3 PREPARATION
3.3.1 General: See Landscape Preparation Section
3.3.2 Vegetation Removal
3.3.3 Strip existing grass and weeds, including roots from all bed areas leaving the soil surface one (1") inch below finish grade.
3.3.4 Herbicide: as required to prepare area for new planting applied to all ground cover, evergreen and shrubby beds and all mulch areas before application of preemergence herbicide, per manufacturer's recommendations.

2.0 PRODUCTS - Not Used
3.0 EXECUTION
3.1 PERFORMANCE
3.1.1 Acceptance of Installation
3.1.2 Project Warranty
3.1.3 Maintenance During One (1) Year Project Warranty
3.4 INSTALLATION
3.4.1 Planting shall be performed only by experienced workman familiar with planting procedures under the supervision of a qualified supervisor.
3.4.2 Planting pits shall be round, with vertical sides and flat bottoms, and sized in accordance with outlines and dimensions shown on the planting details.
3.4.3 See drawings for planting details.
3.4.4 If obstructions are encountered that are not indicated, do not proceed with planting operations until alternative plant locations have been selected and approved in writing by the Landscape Architect.
3.4.5 Set plant material in the planting pit to proper grade and alignment.
3.4.6 After balled and burlapped plants are set, tamp planting mixture around of balls and fill all voids and remove air pockets.
3.4.7 Remove all burlap, ropes, and wires from top 1/3 of balls.
3.4.8 Space ground cover plants in accordance with indicated dimensions.
3.4.9 Spread and arrange roots of bare rooted plants in their natural position.
3.4.10 Water immediately after planting.
3.4.11 Apply pre-emergent herbicide to bed areas per manufacturer's recommendations before mulching.
3.5 MULCHING
3.5.1 Mulch trees and shrub planting pits and shrub beds with shredded hardwood bark mulch 3" deep to drip-line immediately after planting.
3.5.2 Mulch shall not be placed in contact with trunks or stems.
3.5.3 Mulch ground cover beds with shredded bark mulch 2" to 3" deep prior to planting.
3.5.4 Plant ground cover through mulch.
3.6 WRAPPING, GUYING, AND STAKING
3.6.1 Inspect trees for injury to trunks, evidence of insect infestation and improper pruning before wrapping.
3.6.2 Wrap trunks of all trees spirally from bottom to top with specified tree wrap and secure in place.
3.6.3 Stake deciduous trees under 4" caliper.
3.6.4 Stake/guy all trees immediately after installation.
3.6.5 Guy deciduous trees 4" caliper and over.
3.6.6 All work shall be acceptable to the Landscape Architect/Owner's representative.
3.7 PRUNING
3.7.1 Remove or cut back broken, damaged, and unsymmetrical growth of new wood.
3.7.2 Multiple leader plants: preserve the leader which will best promote the symmetry of the plant.
3.7.3 Prune evergreens only to remove broken or damaged branches.
3.8 MAINTENANCE
3.8.1 See Landscape Maintenance and Warranty Standards.
3.9 CLEANING
3.9.1 Perform cleaning during installation of the work and upon completion of the work.
END OF SECTION
LANDSCAPE MAINTENANCE AND WARRANTY STANDARDS
1.0 GENERAL
1.1 SUMMARY
1.1.1 Includes But Not Limited To
1.1.2 Bare root plants: dug with adequate fibrous roots, to be covered with a uniformly thick coating of mud by being puddled immediately after they are dug or packed in moist straw or peat moss.
1.1.3 Container grown stock: grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm, and whole.

6. At conclusion of Project Warranty Period and after receiving Written Final Acceptance by General Contractor's representative and Landscape Architect, the Owner shall assume all sodded lawn maintenance responsibilities.
Final Acceptance Upon Conclusion of the Warranty Period
At the conclusion of the Project Warranty Period the Landscape Subcontractor shall request a project inspection for final acceptance in which the Landscape Contractor, Landscape Architect and Owner's Representative shall be present.
After the inspection for final acceptance, a punch list will be issued by the Landscape Architect. Upon completion of all punch list items, the Landscape Architect and the Owner's Representative shall reinspect the project and issue a Written Statement of Final Acceptance.
END OF SECTION
NOTE: The Owners may at their option elect to utilize a Construction Manager in lieu of a General Contractor for all matters pertaining to these specifications and the site work.
Landscape work may be inspected for acceptance in parts agreeable to the General Contractor's Representative and Landscape Architect provided work offered for inspection is complete, including maintenance as required.
For work to be inspected for partial acceptance, the Landscape Subcontractor shall provide a drawing outlining work completed and supply a written statement requesting acceptance of this work completed to date.
Project Warranty
The Project Warranty Period begins upon written preliminary acceptance of the project installation by the Landscape Architect and General Contractor's representative.
The Landscape Subcontractor shall guarantee trees, shrubs, ground cover beds and seeded or sodded areas through construction and for a period of one (1) year after date of Acceptance of Installation against defects including death and unsatisfactory growth, except for defects resulting from neglect, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Subcontractor's control.
Maintenance During One (1) Year Project Warranty
To insure guarantee standards, the following maintenance procedures for trees, shrubs, and ground covers shall be executed during construction and for the full Project Warranty Periods.
Landscape Subcontractor shall be responsible for only one (1) replacement of any plant materials during the one (1) year Project Warranty Period.
Prior to any replacements, Landscape Subcontractor shall review individual plants in question with Landscape Architect to determine reason for plant demise.
Maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring planting saucers, adjusting and repairing tree-stabilization devices, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings.
Fill in, as necessary, soil subsidence that may occur because of settling or other processes.
Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease.
The contractor will be responsible for irrigation system operation, watering schedules, watering amounts and general monitoring of irrigation system throughout construction, maintenance, and warranty period.
Replacements must meet the standards specified on the Landscape plans and in the specifications.
Costs for replacements are assumed part of bid quotations and therefore will not result in an additional cost to General Contractor or Landscape Architect.
Areas damaged as a result of replacement operation are to be restored by Landscape Subcontractor at no cost to the General Contractor or Landscape Architect.
The Landscape Subcontractor shall be responsible for watering all plantings through the warranty period and shall keep guy wires taut, raise tree balls which settle, furnish and apply sprays as necessary to keep the plantings free of disease and insects until the end of the warranty period.
The Landscape Subcontractor shall remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition.
Rejected plants and materials shall be removed promptly.
Replacements shall be made during the following normal planting schedule.
Trees and shrubs which are in doubt shall be replaced, unless, in the opinion of the Landscape Architect, it is advisable to extend Project Warranty Period for full growing Season.
The Landscape Contractor shall apply anti-desiccants on evergreen trees and evergreen shrub beds within 150' of major streets and driveways, no later than December 1, during the one (1) year project warranty.
The first spring after plant installation the contractor shall check all trees to insure twine has rotted from around the trunk.
All stakes, guy wires, tree wrap paper, dead twigs and branches shall be removed from tree and plant materials at the end of this warranty period.
Maintenance of Seeded Lawn Areas
The Landscape Subcontractor shall maintain seeded lawn areas.
Water, fertilize, weed, and apply chemicals until a dense lawn of permanent grasses, free from lumps and depressions or any bare spots, none of which is larger than one (1) foot of area up to a maximum of 3% of the total seeded lawn area is established.
Seeded lawn that fails to show a uniform growth and/or germination shall be reseeded until a dense cover is established, regardless of what season the seed was installed.
The Landscape Subcontractor shall maintain and mow all lawn areas for until acceptance of installation (typically 3 mows).
When lawn reaches 3" in height it shall be cut to 2" in height.
The Owner assumes cutting responsibilities following the Acceptance of Installation of the seeded lawn.
At conclusion of Project Warranty Period and after receiving Written Final Acceptance by General Contractor's representative and Landscape Architect, the Owner shall assume all seeded lawn maintenance responsibilities.
Maintenance of Sodded Lawn Areas
The Landscape Subcontractor shall maintain sodded lawn areas.
Water, fertilize, spot weed, apply herbicides, fungicides, insecticides and reseed until a full uniform, smooth stand of sod is knitted to topsoil, and accepted by the Landscape Architect or his or her representative.
Water sod thoroughly, as required to establish proper rooting.
Repair, rework, and reseed all areas that have washed out or are eroded.
Mow lawn areas once as soon as sod has rooted sufficiently and knitted to the topsoil.
The Owner assumes mowing responsibilities following the Acceptance of Installation of the sodded lawn.



CLIENT
KBP BRANDS
1141 OVERBROOK ROAD SUITE 400
LEAWOOD, KS 66211

PROJECT TITLE
KFC - HILLSDALE
3335 W. CARLETON HWY.
HILLSDALE, MO 65042

REVISIONS
PLANNING COMMISSION SET 3/7/2025

ORIGINAL ISSUE DATE:
FEBRUARY 19, 2025

DRAWING TITLE
LANDSCAPE SPECIFICATIONS

Table with 2 columns: PEA JOB NO., DATE, P.M., LGD, D.N., CAL, DES., JLE

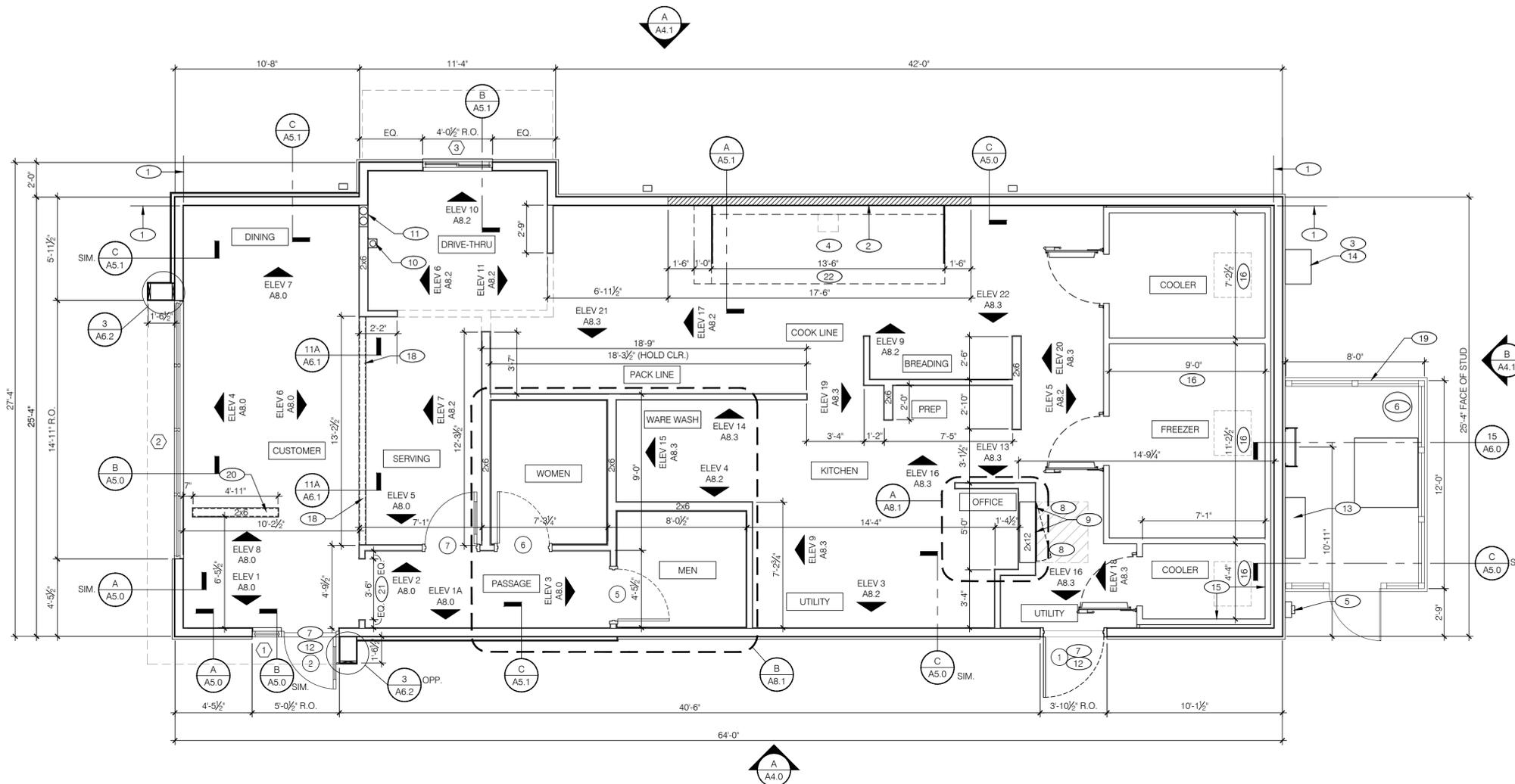
DRAWING NUMBER:

L-2.2

NOT FOR CONSTRUCTION

S:\PROJECTS\2024\24-0013\KFC_HILLSDALE\DWG_2_SITE_PLAN\2-0 LANDSCAPE SPEC-24-0013.dwg PLOT DATE: 3/5/2025 BY: Janet Evans

DIMENSIONS ARE FROM INSIDE FACE OF CONCRETE CURB TO FACE OF STUD



**NOTE:
SEE WALL TYPE SCHED.
E/A1.0. FOR WALL INTERIOR
FINISH TYPES. COORDINATE
WALL LOCATIONS BETWEEN
PLAN & SCHEDULES.**

FLOOR PLAN 1/4"=1'-0" **A**

W-1 INTERIOR WALL:
2x4 (2x6 WHERE NOTED) WOOD STUDS AT 16" O.C., SECURED TO SLAB.
1/2" CEMENT BOARD TO 6" A.F.F., BOTH SIDES.
1/2" GYPSUM BOARD FROM TOP OF CEMENT BOARD TO 2" ABOVE CEILING (DINING ROOM SIDE).
1/2" PLYWOOD FROM TOP OF CEMENT BOARD TO 2" ABOVE CEILING (KITCHEN SIDE).
SEE SHEETS A7.2, A8.0, A8.1, A8.2, A8.3 (INTERIOR FINISHES).

W-2 RESTROOM WALL:
2x4 (2x6 WHERE NOTED) WOOD STUDS AT 16" O.C., SECURED TO SLAB.
3-1/2" UN-FACED SOUND BATT INSULATION, FULL HEIGHT OF FINISHED WALL.
1/2" CEMENT BOARD FULL HEIGHT BEHIND WALL TILE AREA; 1/2" GYPSUM BOARD AT NON-TILED WALL AREAS (RESTROOM SIDE).
1/2" CEMENT BOARD TO 6" A.F.F. (KITCHEN / DINING ROOM SIDE).
1/2" GYPSUM BOARD FROM TOP OF CEMENT BOARD TO 2" ABOVE CEILING (DINING ROOM SIDE).
1/2" PLYWOOD FROM TOP OF CEMENT BOARD TO 2" ABOVE CEILING (KITCHEN SIDE).
SEE SHEETS A7.2, A8.0, A8.1, A8.2, A8.3 (INTERIOR FINISHES).

W-3 ELECTRICAL PANEL WALL:
2x12 WOOD STUDS AT 16" O.C., SECURED TO 6" HIGH x 12" WIDE CONCRETE CURB.
1/2" PLYWOOD FROM TOP OF CURB TO 2" ABOVE CEILING; ONE SIDE.
SEE SHEETS A7.2, A8.0, A8.1, A8.2, A8.3 (INTERIOR FINISHES).

W-4 INTERIOR SHEAR WALL:
REFER TO STRUCTURAL DRAWINGS

W-5 HOOD WALL:
AS APPLICABLE TO EXTERIOR WALLS, SEE WALL SECTIONS, W/ 20 GAGE S.S. PANEL OVER CEMENT BOARD, OVER 5 3/8" METAL STUDS BEHIND HOOD AND EXTENDED 18" BEYOND HOOD EACH SIDE. SEE ALSO HOOD DETAIL SHEETS.

DIMENSIONS:
A. ALL DIMENSIONS ARE FROM INSIDE FACE OF CURB TO FACE OF STUD. REFER TO FOUNDATION PLAN FOR FACE OF CURB DIMENSIONS. SEE KEYNOTE 1, THIS SHEET.
B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL FINISH.
C. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:
A. SEE SHEET A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.
B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

FINISH SUBSTRATES:
A. PROVIDE 1/2" THICK CEMENT BOARD FROM FLOOR SLAB TO 6" A.F.F., U.N.O.
B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.
C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.
D. PROVIDE SOLID BLOCKING FOR WALL SUPPORTED ITEMS.

DECOR:
A. SEE A2.0 FOR SEATING PLAN AND DETAILS.
B. SEE A7.0 FOR FLOOR FINISHES.
C. SEE A8.0, A8.1, A8.2, A8.3 FOR WALL FINISHES.
D. SEE A7.1 FOR CEILING FINISHES.

GENERAL:
A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.
B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
C. COORDINATE FRAMING ABOVE CEILING WITH HVAC DUCT WORK.
D. SEE SHEET A8.1 FOR ENLARGED RESTROOM PLAN.

CRITICAL FINISH OPENINGS:
BUILDING FINISH OPENINGS THAT ARE DESIGNATED AS "CRITICAL", "HOLD" OR "CLEAR" SHALL BE MAINTAINED TO PROVIDE FOR THE STANDARD INSTALLATION OF STANDARD SIGNAGE / BUILDING ELEMENTS. SEE SHEET A7.2 FOR VENDOR PROVIDED / VENDOR INSTALLED ELEMENTS.

- 1 STARTING POINT: ALL SUB-TRADES SHALL USE THIS POINT OF ORIGIN FOR LAY-OUT (INSIDE CORNER OF CONCRETE CURB).
INSIDE FACE OF CURB TO FACE OF CURB DIMENSIONS:
> 24'-4" (SIDE TO SIDE KITCHEN); 24'-4" (SIDE TO SIDE DINING)
> 63'-0" (FRONT TO BACK). FIELD VERIFY.
- 2 G.C. TO INSTALL 20 GA. S.S. PANEL AT HOOD WALL. S.S. PANEL TO HAVE STANDARD J-MOLD TRIM TOP AND BOTTOM WITH MENDING STRIPS BETWEEN PANELS.
- 3 PIPE BOLLARDS; REFER TO SITE DRAWINGS. COORDINATE WITH LOCATION OF GAS METER.
- 4 HOOD WALL, SEE WALL LEGEND. COORDINATE WITH HOOD LOCATION; SEE SHEET M2.0. REFER TO COOK LINE ELEVATION, SHEET A8.2 and HOOD SECTIONS IN MECHANICAL DRAWINGS.
- 5 ELECTRICAL CT CABINET AND METER. REFER TO ELECTRICAL DRAWINGS.
- 6 CO2 FILL LINE RUN UNDERGROUND TO BUILDING.
- 7 METAL THRESHOLD.
- 8 36" MIN. CLEARANCE IN FRONT OF ELECTRICAL PANELS.
- 9 ELECTRICAL PANELS; REFER TO ELECTRICAL DRAWINGS.
- 10 REFRIGERATION LINES IN CHASE WALL (DINING) AND SS WALL-MOUNTED CHASE (DRIVE-THRU).
- 11 8" x 12" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL OPENING WITH DRINK STATION EQUIPMENT SUPPLIER. SEE DETAILS 1 AND 6 / A6.1. REFER TO ELEVATION 7 / A8.0 and 6 / A8.2.
- 12 PROVIDE HORIZONTAL DOOR SWEEPS AT ALL EXTERIOR DOORS. SEE SHEET A1.1.
- 13 ELECTRICAL SWITCHGEAR.
- 14 GAS METER
- 15 COOLER PANELS (MAINTAIN 2" AIR GAP BETWEEN PANELS AND WALL)
- 16 CONFIRM AND COORDINATE WALK-IN DIMENSIONS WITH VENDOR.
- 17 NOT USED.
- 18 LOW WALL BENEATH SERVING COUNTER. SEE INTERIOR ELEVATIONS FOR FINISH INFORMATION. SEE DETAIL 11/A6.1.
- 19 6'-0" HIGH PVC FENCE BY BUFFTECH OR EQUAL. SEE EXTERIOR ELEVATIONS.
- 20 GC-BUILT LOW WALL 5'-0" FINISH HT. WITH WALL CAP AND SUPPORT COLUMN BOLTED INTO SLAB; CLARK DIETRICH LGPW-36 OR EQUAL AT NON-SUPPORTED END(S); SEE INTERIOR ELEVATIONS FOR FINISH INFORMATION. SEE DETAIL 15/A6.1.
- 21 CASED OPENING. SEE INTERIOR ELEVATIONS.
- 22 COORDINATE WITH HOOD INFORMATION ON MECHANICAL SHEETS.

NOT USED **F**

WALL TYPES **E**

FLOOR PLAN NOTES **D**

KEY NOTES **B**

snidesign
ARCHITECTS

Results!

Design +

Bardtown-Eastern Building
1449 Bardtown Rd., Suite 200
Louisville, Kentucky 40204
(502) 454-5011 (502) 454-4511 (fax)

PLAN SET ISSUE / REVISION HISTORY

ORIGINAL POSTED SET	01/??/2025
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ARCH PROJECT #: 25-027
BUILDING TYPE: DT1600 RED
PLAN VERSION: 1.6
SITE NUMBER: xxx-xxx
ENTITY NUMBER: xxx-xxx
STORE NUMBER: xxxxx

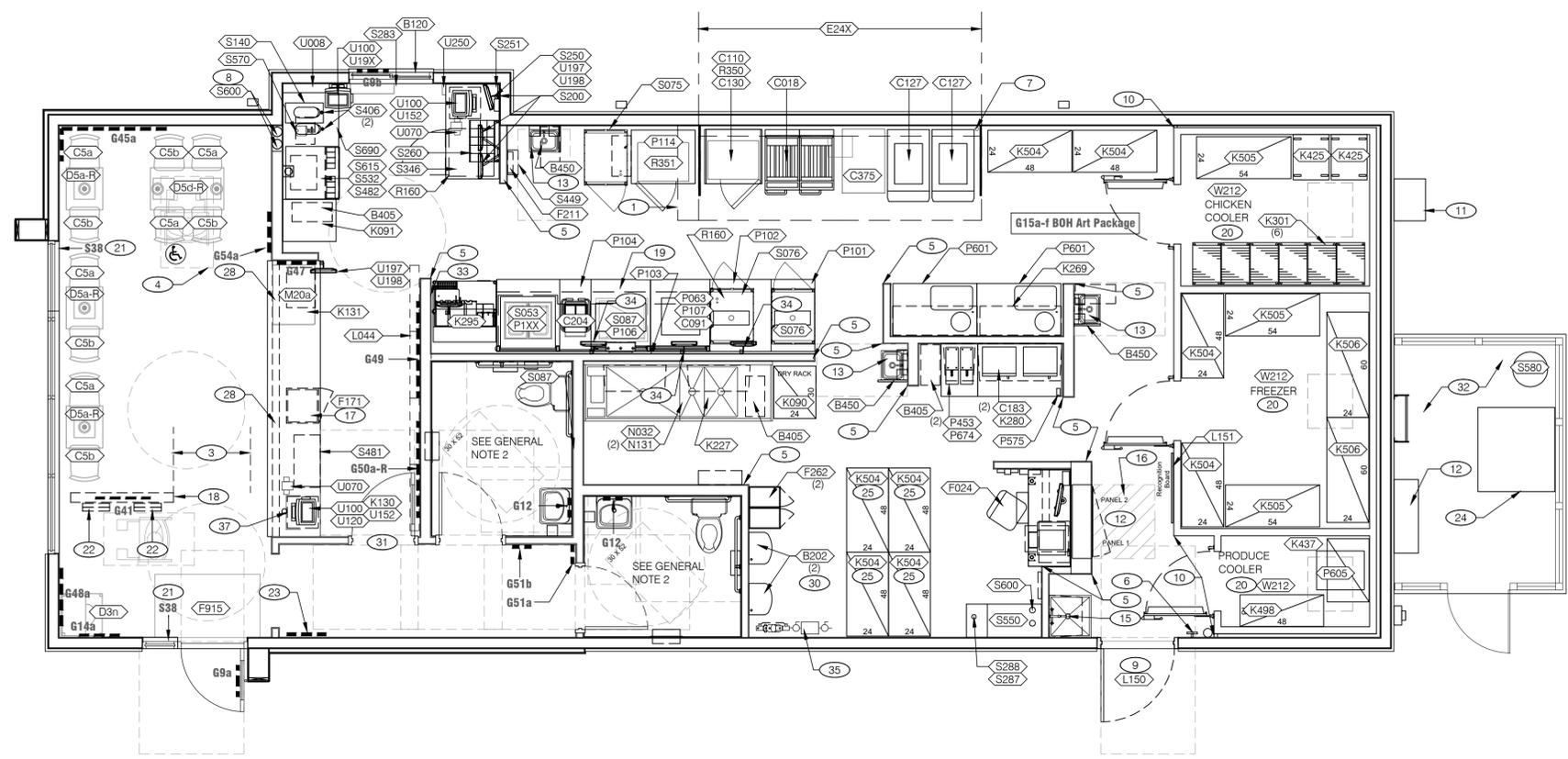
KFC

WEST CARLETON ROAD
HILLSDALE, MI. 48242

**DT1600 RED
FLOOR PLAN
DIMENSIONS
&
WALL TYPES**

A1.0

PLOT DATE: 10.02.2025



EQUIPMENT / SEATING PLAN 1/4"=1'-0" **A**

TAG	QTY.	DESCRIPTION	VENDOR/MANUF.	ITEM/DECOR VENDOR #	REMARKS	IMAGE
C5a	5	DINING CHAIR	ORDER THRU RSCS	DARK WOOD / RED TIE		
C5b	5	DINING CHAIR	ORDER THRU RSCS	LIGHT WOOD / BLACK TIE		
D5a-R	3	2-TOP TABLE 24x21	ORDER THRU RSCS	WOOD TOP / RED BANDING		
D5d-R	1	4-TOP TABLE (ACCESSIBLE) 24x42	ORDER THRU RSCS	WOOD TOP / RED BANDING		
D3n	1	TRASH UNIT - SINGLE 24x24x46	ORDER THRU RSCS			
M20a	1	PICK-UP SHELF, COUNTERTOP	ORDER THRU RSCS	34" X 24" X 36"H	ADJUSTABLE DIVIDERS	

SEATING PACKAGE LEGEND - BY DECOR VENDOR U.O.N. (TOTAL SEATS = 20) **D**

- REFER TO RESPONSIBILITIES SCHEDULE ON SHEETS T1.1 & T1.2.
- SEE SHEET A8.1 FOR ENLARGED RESTROOM PLAN.
- SYMBOL DENOTES AN ACCESSIBLE TABLE.
- SYMBOL INDICATES OPTIONAL CORE DRILL LOCATION (FOR REFERENCE ONLY). COORDINATE WITH KFC. SEE DETAIL 7/A6.1. CORE DRILLS SHALL BE LOCATED FROM APPROVED DECOR VENDOR SHOP DRAWINGS AND FIELD COORDINATION WITH G.C. DO NOT LOCATE PER THESE DRAWINGS.
- REFER TO DESIGN REFERENCE MANUAL (PLANS.YUM.COM) FOR FINISHES, DIMENSIONS and DETAILS OF DECOR VENDOR SUPPLIED ITEMS. SEE SEATING PACKAGE LEGEND, THIS SHEET.
- REFER TO SHEET A2.1 FOR EQUIPMENT TAG REFERENCES.
- PROVIDE 2x4 WOOD BLOCKING FOR SHELVING AND HAND SINKS (TYP.)
- REFER TO SHEET A7.2 FOR INTERIOR GRAPHICS; REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION.

* THE NUTRITION MATERIALS (ACRYLIC HOLDER, NUTRITION POSTER AND BRAND NUTRITION BROCHURES) ARE PART OF A NEW RESTAURANT'S GRAND OPENING KIT AND ARE PROVIDED BY YUM FORMS.

GENERAL NOTES **C**

- HOOD FIRE SUPPRESSION SYSTEM; SEE MECHANICAL DRAWINGS.
- NOT USED.
- MAINTAIN 44" MIN CLEAR AISLE EGRESS PATHS TO EXIT DOORS.
- 30" x 52" CLEAR FLOOR SPACE FOR DISABLED ACCESS. BOUNDARY EXTENDS 2'-9" PAST EDGE OF TABLE.
- S.S. CORNERGUARD / WALL CAP. TYPICAL AT ALL CORNERS FROM REAR WALL TO KITCHEN SIDE OF SERVICE COUNTER. SEE DETAIL 2 / A6.1.
- PULL STATION @ 3'-8" A.F.F.
- GAS LINE DOWN TO EQUIPMENT; SEE PLUMBING DRAWINGS.
- PVC CHASE (QTY. 2) FOR INSULATED SYRUP / FILTERED WATER TUBE BUNDLE. COORDINATE w/ 8" x 12" WALL OPENING IN DINING AND DRIVE-TRU; SEE ELEVATIONS 7 / A8.0 and 6 / A8.2.
- SEE SHEET A1.1 FOR SECURITY DOOR PACKAGE.
- CLOSURES AND CORNER PROTECTION BY WALK-IN VENDOR.
- GAS METER. REFER TO PLUMBING DRAWINGS
- CPI SWITCHGEAR / ELECTRIC PANELS; REFER TO ELECTRICAL DRAWINGS.
- ~~B241~~ ~~B251~~ ~~B290~~ ~~B405~~ ~~N920~~
- NOT USED.
- ~~B599~~ ~~N071~~ ~~N202~~
- CLEAR FLOOR AREA IN FRONT OF ELECTRICAL PANELS; VERIFY MINIMUM ALLOWABLE CLEARANCE WITH LOCAL CODE.
- SAFE ON LOW PLATFORM. SEE DETAIL 3/A6.1.
- GC-BUILT LOW WALL. SEE SHEET A1.0.
- SINGLE-SIDED PACK-LINE (M-LINE). COORDINATE EQUIPMENT ORDER WITH EQUIPMENT VENDOR.
- ONE REFRIGERATED UNIT, DIVIDED TO CREATE THREE UNITS- (1) CHICKEN COOLER, (1) PRODUCE COOLER & (1) FREEZER.
- WINDOW SAFETY DECALS ON ALL STOREFRONT GLAZING IN THE DINING AREA. SEE SHEET A8.0.
- ORDER KIOSK WITH WALL BRACKET. SEE RESPONSIBILITIES SCHEDULE ON SHEETS T1.1 & T1.2.
- KFC FOUNDATION ARTWORK POSTER IN FRAME.
- RTI GREASE DISPOSAL SYSTEM.
- FREESTANDING SHELVING UNITS: PROVIDE SEISMIC POSTS, FOOT PLATES & SWAY BARS IN SEISMIC ZONES

- NOT USED.
- NOT USED.
- GC BUILT KNEE WALL FOR ORDER COUNTER AND PICKUP COUNTER. SEE DETAIL 11/A6.1.
- NOT USED.
- WATER HEATERS ON WALL SURFACE. SEE PLUMBING DRAWINGS.
- OPTIONAL DOOR. PROVIDE CASING OPENING IF DOOR IS NOT USED.
- 4" REINFORCED CONCRETE SLAB PER CIVIL.
- LABEL PRINTER. PROVIDE 1 QUAD OUTLET AND 2 DATA PORTS.
- KDS SCREEN. EACH SCREEN REQUIRES ONE DUPLEX OUTLET AT 60" A.F.F. AND ONE DATA PORT. ALL KDS ELECTRICAL OUTLETS TO BE WITHIN 6' OF THE SCREEN.
- BACKFLOW PREVENTOR - COORDINATE WITH PLUMBING PLANS.
- NOT USED.
- NEW POS SHROUD BY FCI

KEYNOTES **B**

PLAN SET ISSUE / REVISION HISTORY
ORIGINAL POSTED SET 01/??/2025

ARCH PROJECT #:	25-027
BUILDING TYPE:	DT1600 RED
PLAN VERSION:	1.6
SITE NUMBER:	xxx-xxx
ENTITY NUMBER:	xxx-xxx
STORE NUMBER:	xxxxx

KFC
WEST CARLETON ROAD
HILLSDALE, MI. 48242



**FLOOR PLAN
EQUIPMENT
and SEATING**

A2.0

NOTE: To find detailed equipment specifications, search using the A&E number and/or model number at <https://customerportal.rscs.com/>. IF AN A&E NUMBER/DESCRIPTION/OLD MODEL DOESN'T MATCH A SEARCH IN THE RSCS WEBSITE, PLEASE ADVISE: datasupport@rscs.com FOR ANY UPDATES REQ'D.

EQUIPMENT SCHEDULE

A&E	QTY	G.C. INST.	ITEM DESCRIPTION	MFR. & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS	NO.
B CONTRACTOR BUILDING ELEMENTS									
B120	2	X	DRIVE-THRU WINDOW	QUIKSERV #SC4030CRCA				CLEAR ANODIZED	B120
B165	2	X	MIRROR, 18" X 36"	BOBRICK #B-165-1836				SURFACE MOUNTED	B165
B202	2	X	WATER HEATER - TANKLESS	NAVLEN NPE240A2NG TANKLESS-199,900BTU-NG	X	X	X	CONDENSING, NG, 2" PVC VENTING	B202
B241	5	X	SOAP DISPENSER (WALL MOUNT)	BY VENDOR				SURFACE MOUNTED	B241
B251	5	X	SANITIZER DISPENSER	BY VENDOR				SURFACE MOUNTED	B251
B262	3	X	PAPER TOWEL DISPENSER	BOBRICK #B-262				SURFACE MOUNTED	B262
B2890	2	X	TOILET PAPER DISPENSER	BOBRICK #B-2890				SURFACE MOUNTED	B2890
B291	2	X	HAND DRYER	SLIMDRY ELECTRIC HAND DRYER		X		SURFACE MOUNTED, ADA COMPLIANT	B291
B320	0	X	COALA KB301-05SS	BOBRICK #B-320				VERTICAL WALL MOUNTED WITH STAINLESS STEEL VENEER	B320
B400	2	X	WASTE BASKET - 32 GALLON	RUBBERMAID #2632 (GREY)					B400
B405	6	X	WASTE BASKET	RUBBERMAID SLIM JIM #3541 (GREY)					B405
B406	0	X	WASTE BASKET	RUBBERMAID 28 QT #2956 (BLACK)					B406
B412	1	X	SANITARY NAPKIN DISPOSAL, 7.5" X 10" X 3-13/16"	BOBRICK #BOBB270				INCLUDES ACCESSORY KIT & MOUNTING HARDWARE	B412
B450	3	X	SIDE SPLASH GUARD FOR SS HAND SINKS	AERO #S-96-H				9-1/4"x14-3/4", STAINLESS STL, MOUNTS TO SIDE(S) OF SINK.	B450
B599	1	X	MOP SINK STATION	ISS #WST806Y					B599
B620	0	X	CHICKEN SINK STATION	ISS #MOPCHICKMB					B620
B6806x36	2	X	GRAB BAR 1-1/2"DIA X 36" S.S. FIN.	BOBRICK #B6806X36				SURFACE MOUNTED	
B6806x42	2	X	GRAB BAR 1-1/2"DIA X 42" S.S. FIN.	BOBRICK #B6806X42				SURFACE MOUNTED	
B6806X18	2	X	GRAB BAR 1-1/2"DIA X 18" S.S. FIN.	BOBRICK #B6806X18				SURFACE MTD	
C COOKING EQUIPMENT									
C001	0	X	8 HEAD GAS PRESURE FRYER	HENNY PENNY #PFG690		X	X	USE WITH GAS HOSE KIT C503	C001
C005	0	X	6 HEAD FRYER	HENNY PENNY #OFG390		X	X	COMES WITH GAS HOSE KIT	C005
C018	1	X	DUAL OPEN FRYER W/ CONTROLLER	PITCO #KF-SFSSH75-2		X	X	COMES WITH GAS HOSE KIT	C018
C091	1	X	BUN TOASTER 22" x 21" x 17"	AJ ANTUNES & CO - GOLD STANDARD #9211004		X		ADDITIONAL TOASTER IS OPTION FOR TOTAL OF (2)	C091
C110	1	X	CONVECTION OVEN TABLE W/STAND	FALCON #66-962		X			C110
C124	0	X	SINGLE OPEN FRYER W/ CONTROLLER (OPTIONAL)	PITCO #KF-SFSSH75		X	X	COMES WITH GAS HOSE KIT. VERIFY WITH OWNER	C124
C125	0	X	CONVECTION OVEN (KGC) STAND	RATIONALE #60.74.884US					C125
C126	0	X	CONVECTION OVEN (KGC)	RATIONALE #CB1ERKF.0002880		X	X		C126
C127	2	X	8 HEAD ELECTRIC PRESSURE FRYER	HENNY PENNY #PXE-100 (Velocity)		X	X	W/ RACK KIT, ACCESSORY KIT	C127
C130	1	X	CONVECTION OVEN W/ CONTROLLER	BLODGETT #CTBR-AP		X			C130
C183	2	X	MICROWAVE OVEN 2100 W	SHARP #R-25JTF		X			C183
C204	1	X	SPLIT TOP GRILL	STAR 9DPSC14DTBCL		X			C204
C375	1	X	FRYER LANDING TABLE 24.5' X 36.5"	ISS #536FRYACCMBA					C375
C507	0	X	GAS HOSE KIT 3/4"	DORMONT 1675KITBS48KFC				FOR C001	C507
E EXHAUST HOODS/FIRE SUPP.									
E24X	1	X	13-6" WIDE CANOPY HOOD	CAPTIVEAIRE		X		SEE HOOD MFR. DRAWINGS M3.X	E24X
F OFFICE/EMPLOYEE/MUSIC/MISC.									
F006	1	X	FILE CABINET (2 DRAWER HIGH)	LOUISVILLE MILL - HON R512PL					F006
F024	1	X	CHAIR - OFFICE (MANAGER)	PRM-4141					F024
F030	0	X	COAT HOOKS	ISS #HOOK246R2Y					F030
F040	1	X	OFFICE COMPUTER	POS VENDOR PROVIDED		X			F040
F060	1	X	MONITOR-OFFICE	KFC					F060
F080	1	X	OFFICE PRINTER	POS VENDOR PROVIDED		X			F080
F131	1	X	MUSIC SYSTEM	MOOD MEDIA		X			F131
F171	1	X	SAFE WITH AUDIT LOCK	CENNOX SECURITY #BSD2920AAXRTB		X			F171
F211	2	X	CLOCK	B&B SYSTEMS #02060475					F211
F262	2	X	LOCKERS (6 OPENINGS) 12"W x 18"D x 12"H	LYON # 5362 (UN-ASSEMBLED)					F262
F270	1	X	FIRST AID KIT	SWIFT #68-UFPC					F270
F500	1	X	HIGH CHAIR	KOALA KARE #KB103 "CLASSIC" (GREY)					F500
F915	1	X	FLOOR MAT 3' x 5'	ENTRANCE, INC. #41150012				RUBBERIZED	F915
F920	0	X	FLOOR MAT 2' x 7-6"	CREST #249614 ANTISLIP				RUBBERIZED	F920
K WORKSTATIONS/SHELVING/CARTS									
K088	0	X	24" X 48" X 74" 4-TIER CANTILEVER SHELVING UNIT	SPG #FSMS742448E					K088
K090	1	X	DRY RACK SHELVING UNIT 24" x 30" x 74" (6 TIER)	SPG #WST1906E					K090
K091	1	X	24" X 30" OPEN BASE WORKSTATION	SPG #WTO2430Y					K091
K101	0	X	PANEL KIT FOR SHELVING UNIT 36" X 70"	#RPK3670A				2 UPPER AND 2 LOWER PANELS, 1 HANGER RAIL, 1 LEDGE	K101
K102	0	X	PANEL KIT FOR SHELVING UNIT 48" X 70"	#RPK4870A				2 UPPER AND 2 LOWER PANELS, 1 HANGER RAIL, 1 LEDGE	K102
K130	1	X	MOBILE FRONT COUNTER CART 18"X24"	ISS #FC18242MYA					K130
K131	1	X	MOBILE CONDIMENT CART	ISS #CONDDPSS					K131
K227	1	X	3 COMP. SINK WORKSTATION, 96"L	ISS #WST808E					K227
K269	1	X	BREADING WORKSTATION (DOUBLE) 18" x 48"	ISS #WST758Y					K269
K280	1	X	48" MICROWAVE WORKSTATION	ISS #WST760E					K280
K295	1	X	POST PACK WORKSTATION-SINGLE	FRANKIE #796761					K295
K301	6	X	CHICKEN DOLLY	YESS #LWMLDP101					K301
K416	0	X	FRYER ACCESSORY WORKSTATION, 24"x30"	ISS #WST761YA					K416
K425	2	X	BAKERS RACK 20.5' x 26' x 69"	NEW AGE INDUSTRIAL #1331					K425
K437	1	X	VEGGIE STAGING UNIT MODULE 36" X 24" X 74"	ISS #WST1139					K437
K484	0	X	SHELVING UNIT 18" x 72" x 74"H (4 TIER)	ISS #SU187274Y					K484
K495	0	X	SHELVING UNIT 18" X 30" X 74"H (4 TIER)	ISS #SU1830-7-4Y					K495
K496	0	X	SHELVING UNIT 18" X 36" X 74"H (4 TIER)	ISS #SU1836-7-4Y					K496
K498	1	X	SHELVING UNIT 18" x 48" x 74"H (4 TIER)	ISS #SU184874Y					K498
K501	0	X	SHELVING UNIT 24" X 30" X 74"H (4 TIER)	ISS #SU243074Y					K501
K502	0	X	SHELVING UNIT 24" X 36" X 74"H (4 TIER)	ISS #SU243074Y					K502
K503	0	X	SHELVING UNIT 24" X 42" X 74"H (4 TIER)	ISS #SU244274Y					K503
K504	7	X	SHELVING UNIT 24" X 48" X 74"H (4 TIER)	ISS #SU244874Y					K504
K505	3	X	SHELVING UNIT 24" x 54" x 74"H (4 TIER)	ISS #SU245474Y					K505
K506	2	X	SHELVING UNIT 24" x 60" x 74"H (4 TIER)	ISS #SU246074Y					K506
K507	0	X	SHELVING UNIT 24" x 66" x 74"H (4 TIER)	ISS #SU246674Y					K507
K512	0	X	SHELVING UNIT 18" x 60" x 74"H (4 TIER)	ISS #SU186074Y					K512
L LIGHTING/SIGNAGE/MENUBOARDS									
L044	1	X	INTERIOR MAGNETIC MENU BOARD	POSTERLOID #PSTR7PANELHWDKIT				INCLUDES MOUNTING RAILS AND BRACKETS.	L044
L150	1	X	SECURITY DOOR DANGER SIGN	ADVERCO#ADVUSTOM				ORDERED DIRECT FROM YRFS	L150
L151	1	X	CHAMPS BOARD 31"W x 23"H					ORDERED DIRECT FROM YRFS	L151

EQUIPMENT SCHEDULE

A&E	QTY	G.C. INST.	ITEM DESCRIPTION	MFR & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS	NO.
N SINKS/DISHWASHERS									
N024	0	X	CHICKEN DIP SINK 19 1/2" x 19 1/4"	AERO MANUFACTURING CO., INC. #LB-1616		X		INCLUDES BASE, FAUCET & FOOT PEDAL DUAL CONTROL	NXX1
N032	1	X	3-COMP POWER SOAK 108"L x 34"D	POWERSOAK #200PSS108R1P-KFC		X	X	W/ T & S B-2466 FAUCET & SPRAY RINSE	N032
N071	1	X	MOP SINK FAUCET	T&S #B-2465		X			N071
N131	2	X	PRE-RINSE KIT	T&S B-2466		X		FOR N-014	N131
N202	1	X	MOP SINK 24" x 24" FLOOR MOUNT SINK	AERO MANUFACTURING CO., INC. #3MP-2121-6		X		INCLUDES (2) 24"x36" WALL PANELS	N202
N920	3	X	HAND SINK (KITCHEN)	AERO #HSK1MX		X		INCLUDES KNEE VALVES, FAUCET, SPOUT & BASKET	N920

A&E	QTY	G.C. INST.	ITEM DESCRIPTION	MFR & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS	NO.
P FOOD PREPARATION									
P063	1	X	WARMER, FRY, CRISP N HOLD	#CNH28LP208V/ 60HZ		X			P063
P1XX	1	X	HOT WELL TABLE	DELFIELD #		X		DELFIELD SINGLE M-LINE	P11X
P101	1	X	BASE UNIT 25"	DELFIELD #160S25				DELFIELD SINGLE M-LINE	P101
P102	1	X	BASE UNIT 35"	DELFIELD #160S35				DELFIELD SINGLE M-LINE	P102
P103	1	X	ELECTRICAL OUTLETS	DELFIELD		X		DELFIELD SINGLE M-LINE	P189
P1054	1	X	GRILL TABLE TOP 18"	DELFIELD #20NP18		X		DELFIELD SINGLE M-LINE	P104
P106	1	X	COLD WELL TABLE	DELFIELD #20PN34		X		DELFIELD SINGLE M-LINE	P106
P107	1	X	FRY DUMP TABLE	DELFIELD #20NP34				DELFIELD SINGLE M-LINE	P107
P114	1	X	FRYER LANDING TABLE 30.5"D X 36.5"W X 35"H	ISS #WT03036Y W/ OPEN BASE					P114
P453	2	X	5 GAL HOT WATER MACHINE	BUNN HSX, 43600.0028		X	X		P453
P535	0	X	SHORTENING SHUTTLE	AERO #SSA-9211					P535
P575	1	X	CAN OPENER	EDLUND EDL16100					P575
P601	2	X	BREADING TABLE (SINGLE), 48"L x 30"W x 36"H	AYRKING #BBS-U-4830-BPC		X			P601
P605	1	X	SALAD / COLESLAW DOLLY	FALCON FABRICATORS - UNDERSHELF #66-145				WITH 2 BINS 27-1/4" x 22-1/8" x 42", INCLUDES (4) CASTERS	P605
P674	1	X	WORK STATION FOR HOT WATER 18"W x 30"D x 76"H	ISS #WST790E				HOT WATER DISPENSER STATION	P674

A&E	QTY	G.C. INST.	ITEM DESCRIPTION	MFR & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS	NO.
R REFRIGERATION									
R002	0	X	SINGLE SPLIT DOOR FREEZER	TRAUlsen G12001		X			R002
R160	2	X	1/2 HT. REFRIGERATOR (RH) 2.75' CASTERS	BEVERAGE AIR UCF27AHC-104		X			R160
R350	1	X	1/2 HT. FREEZER (RH) 3' CASTERS	BEVERAGE AIR UCF27AHC-23		X			R350
R351	1	X	1/2 HT. FREEZER (LH) 3' CASTERS	BEVERAGE AIR UCF27AHC-24-23		X			R351

A&E	QTY	G.C. INST.	ITEM DESCRIPTION	MFR & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS	NO.
S SERVING/DRIVE-THRU									
S075	1	X	FULL-HEIGHT HOLDING CABINET W/ GLASS DOORS	WINSTON HOV7-14SP-KFC		X	X	L/H FRONT w/GLASS DOORS	S075
S076	2	X	HALF-HEIGHT HOLDING CABINET W/ FLIP DOORS	WINSTON HOV7-06SP		X	X	L/H FRONT w/ FLIP DOORS	S076
S077	0	X	FULL-HEIGHT HOLDING CABINET W/ FLIP DOORS TOP ONLY	WINSTON HOV7-14SP-KFC		X	X	L/H FRONT w/ FLIP DOORS TOP, GLASS DOORS BOTTOM	S077
S053	1	X	SIDES HOLDING CABINET	CARTER HOFFMAN KFCEVOSH208		X		SLIDING DOOR ACCESS ON BOTH SIDES	S053
S087	1	X	INFRARED HOLDING BIN	PRINCE CASTLE DHB2PT33KFCB		X		FLIP DOOR ACCESS ON BOTH SIDES	S087
S200	1	X	DRIVE-THRU TIMER W/ DUAL MONITORS	ERC #DTT-KFCNT		X			S200
S250	1	X	DUAL OUTPUT VEHICLE DETECTOR	ERC #9172		X			S250
S251	1	X	DRIVE-THRU TIMER DISPLAY UNIT	ERC TM-05		X			S251
S260	1	X	DRIVE THRU CONDIMENT TOWER	ISS #CONDOW24L					S260
S283	1	X	DRIVE THRU DRINK STAGER	ISS #WST788E					S283
S287	1	X	WATER FILTER SYSTEM	SELECTO #BFCS, PART #66-6145LFM		X		PROVIDED and INSTALLED BY PEPSI	S287
S288	1	X							

February 27, 2025

Below is a list of the items cited during the review the plans of the proposed KFC restaurant building to be located at 3335 W Carleton Street. The City Department Heads reviewed the plans and responded to the Zoning Administrator: Alan Beeker (Planning & Zoning), Jeff Gier (Board of Public Utilities), Jake Hammel (Board of Public Utilities), Eric Sheffer (Board of Public Utilities), Lucas Driesenga (PEA Group), Kyle Miller (PEA Group), Olivia Smith (Assessing)

Public Services

- Drive Approach needs to be an MDOT M-style concrete approach
- Access drive must be no less than 34'-0" back of curb to back of curb.
- ADA transitions at drive for walking/bike path

Public Safety

- No issues

Board of Public Utilities – Electric

- Utilize existing pole in rear of property for temporary power. New transformer cabinet will be located along front of property
- BPU requested that the proposed drive be staked so the new transformer can be installed.

Board of Public Utilities – Water/Sanitary

- No issues

Planning/Zoning

- Signage proposed on drawings exceeds the allowances in Sec. 26-35.

The Planning Commission will review the drawings at the regular meeting which will be held on March 19, 2025 at 5:30 pm. Please submit revised drawings no later than March 11, 2025. The location will be at City Hall, 97 N. Broad St. in the 3rd Floor Council Chambers.



TO: Planning Commission

FROM: Zoning Administrator

DATE: March 19, 2025

RE: Site Plan Review – 155 E Bacon

Background: The Rotary service club is proposing the development of a new park to be located at 155 E. Bacon. The proposed park would include a “ninja” style fitness system, pavilion, soccer practice fields, walking trail and pickle ball courts. The plan is to develop the park in a series of phases. The project has been reviewed by the city department heads, the report is included. Planning Commission members shall visit the site for field review. Zoning Administrator is requesting approval of the site plan.

Rotary Fitness Park
Phases
February 2025

Phase 1.

Land acquisition

- Property Splits
- Retitling Property

Land Survey

- Permits
- Topographic Study

Engineering Plans

- Site Layout
- Grading Plan

Ground Preparation

- Remove Fencing (City)
- Remove old AT&T Pole (City)
- Ground Grating and Leveling
- Run Underground Electrical Conduit
- Gravel Parking Area
- Pathways Framed Out

Soccer Field

- Grated
- Grass Planted

Pickleball Courts

- Grated
- Cement Slab
- Coating/Lines/Nets

Pavilion

- Grated
- Cement Slab Poured
- Pavilion Structure Installed

.....
Phase 2.

Fit Core Extreme Equipment

- Grating
- Freight
- Structure Installation
- Ground Covering (Engineered or Wood Fiber)

Bike Station

- Grated
- Crushed Stone Pad
- Equipment Installed
- Bike Rack Installed

5-12-Year-olds Fitness Equipment

- Grated
 - Freight
 - Structure Installed
 - Ground Covering (Engineered or Wood Fiber)
-

Phase 3.

2-5-Year-olds Fitness Equipment

- Grated
- Freight
- Structure Installed
- Ground Covering (Engineered or Wood Fiber)

Health Beat Equipment (eclipse machines, pull-up bars etc.)

- Grated
 - Freight
 - Structure Installed
 - Ground Covering (Engineered or Wood Fiber)
-

Phase 4.

Electrical Work

- Light Poles
- Electrical plugs in gazebo

Walkways

- Paths with Crushed Stone

Parking Lot

- Curbing
- Pavement



LEGEND

- R = RECORDED DIMENSION
- M = MEASURED DIMENSION
- ⊕ = HANDICAP PARKING SPACE
- = MAG NAIL SET
- = MAG OR P.K. NAIL FOUND
- = CAPPED IRON SET
- = IRON FOUND
- ⊗ = CHISELED "+" IN CONCRETE
- = CONCRETE MONUMENT FOUND
- ⊠ = TELEPHONE PEDESTAL
- ⊞ = EXISTING ELECTRIC BOX
- ⊙ = EXISTING POWER POLE
- = EXISTING GUY WIRE & ANCHOR
- ⊙ = EXISTING LIGHT POLE
- ⊙ = EXISTING SIGN
- ⊙ = EXISTING POST
- ⊙ = EXISTING CATCH BASIN
- ⊙ = EXISTING MANHOLE
- ⊙ = EXISTING WATER VALVE
- ⊙ = EXISTING FIRE HYDRANT
- ⊙ = EXISTING FENCE
- G — = EXISTING UNDERGROUND GAS
- CATV — = EXISTING CABLE TELEVISION
- OE — = EXISTING OVERHEAD ELECTRIC
- UE — = EXISTING UNDERGROUND ELECTRIC
- UFO — = EXISTING UNDERGROUND FIBER OPTIC
- T — = EXISTING OVERHEAD TELEPHONE
- UT — = EXISTING UNDERGROUND TELEPHONE
- ST — = EXISTING STORM SEWER
- SAN — = EXISTING SANITARY SEWER
- W — = EXISTING WATER MAIN
- E = PROPOSED UNDERGROUND ELECTRIC
- [Pattern] = PROPOSED HMA PAVING
- [Pattern] = PROPOSED CONC PAVT OR SIDEWALK
- [Pattern] = PROPOSED ENGINEERED WOOD FIBER PROTECTIVE SURFACE
- [Pattern] = PROPOSED SYNTHETIC PROTECTIVE SURFACE
- 28.50 = PROPOSED SPOT ELEVATION
- 1125 = EXISTING CONTOUR
- 1125 = PROPOSED CONTOUR
- ⊙ = PROPOSED DECIDUOUS TREE

CONSTRUCTION KEYNOTES

- 1 PLAYGROUND EQUIPMENT AREA, AGES 5-12
- 2 PLAYGROUND EQUIPMENT AREA, AGES 2-5
- 3 7x7 YOUTH SOCCER, 20 yd x 15 yd FIELD LAYOUT
- 4 14U, YOUTH SOCCER, 25 yd x 36 yd FIELD LAYOUT
- 5 OUTDOOR FITNESS EQUIPMENT AREA, 'HEALTHBEAT' PROGRAM
- 6 OUTDOOR FITNESS EQUIPMENT AREA, 'FITCORE EXTREME' PROGRAM
- 7 FENCED PICKLEBALL COURTS
- 8 VAN ACCESSIBLE PARKING SIGN AND POST
- 9 SIDEWALK RAMP
- 10 BIKE RACK
- 11 SITE BENCH
- 12 PAVLION SHELTER
- 13 ELECTRICAL SERVICE AND METER RACK
- 14 4' HIGH, BLACK CHAIN-LINK FENCE

- MISCELLANEOUS CONSTRUCTION NOTES:**
1. NO WATER SERVICE, SANITARY SERVICE OR NATURAL GAS SERVICE IS INCLUDED IN THE PROJECT SCOPE.
 2. FURNISH AND INSTALL SOIL EROSION CONTROL INLET PROTECTION ON ALL PROPOSED STORM SEWER STRUCTURES. REMOVE PROTECTION ONCE SITE HAS BEEN STABILIZED.
 3. FURNISH AND INSTALL SILT FENCE AROUND PERIMETER OF CONSTRUCTION LIMITS AND DISTURBED AREAS.

LANDSCAPE PLANTING MATERIAL LIST

KEY	BOTANICAL NAME	COMMON NAME	PROJECT QUANTITY	CONDITION
SP	spirea bumalda	"Gold Flame" Spirea	26 ea	3 gal. container
RM	Acer Rubrum	Red Maple	12 ea	2 1/2" cal.
WP	Pinus Strobus	White Pine	3 ea	2 1/2" cal.

NOTES

1. MULCH SHALL BE HARDWOOD MULCH AND TO BE PLACED AT A DEPTH OF 2" MINIMUM. MULCH MUST MAINTAIN A ONE FOOT CLEARANCE FROM THE BASE OF TREES.
2. ALL PLANT MATERIAL MUST HAVE A WARRANTY OF A FULL GROWING SEASON AND ANY THEY MAY DIE MUST BE REPLACED IN THE NEXT PLANTING SEASON.
3. ANY EXISTING TREES AND PLANTS USED TO MEET THE ORDINANCE SHALL ALSO BE MAINTAINED/REPLACED IN THE SAME MANNER AS NEW PLANTINGS.

149 Lewis Street
P.O. Box 232
Hillsdale, Michigan 49242
Phone: (517) 437-4283
Fax: (517) 437-4344

MTE
PROFESSIONAL
ENGINEERING
SERVICES

CLIENT
Hillsdale Rotary Club
PO Box 299
Hillsdale, MI 49242
517 425-11451

ROTARY PARK
SITE LAYOUT AND GRADING PLAN

SP1

DATE: 01-28-25
SHEET SP1 OF SP1
CADD: MWT
ENG: MWT
PLN: MWT
EGG: POK-SP1.dwg

MTE JOB No.
REVISIONS:

February 27, 2025

Below is a list of the items cited from the email plan review of the proposed park development to be located at 155 E Bacon Street. The City Department Heads reviewed the plans and responded to the Zoning Administrator: Alan Beeker (Planning & Zoning), Jeff Gier (Board of Public Utilities), Jake Hammel (Board of Public Utilities), Jason Blake (Department of Public Services), Matt Taylor

Public Services

- Drive Approach needs to be an MDOT M-style concrete approach
- Fence along river to prevent access.
- Maintenance agreement with Rotary Park

Public Safety

- No issues

Board of Public Utilities – Electric

- No issues.

Board of Public Utilities – Water/Sanitary

- No issues

Planning/Zoning

- No issues.

The Planning Commission will review the drawings at the regular meeting which will be held on March 19, 2025 at 5:30 pm. Please submit revised drawings no later than March 11, 2025. The location will be at City Hall, 97 N. Broad St. in the 3rd Floor Council Chambers.



TO: Planning Commission

FROM: Zoning Administrator

DATE: March 19, 2025

RE: Capital Improvement Plan

Background: As part of Michigan Public Act 33 of 2008, the City is required to have a Capital Improvement Plan (CIP) that is updated annually. In addition to the City Master Plan, the CIP is a coordinated spending plan that helps the City implement the adopted Master Plan along with other long-range physical goals. After meeting with City Department Heads and consolidating information. The plan must be reviewed by the Planning Commission and the public must have an opportunity to review the plan at a public hearing. The ZA is requesting that the PC review the plan and set a date for a public hearing prior to recommending to Council for adoption.



City of Hillsdale
Capital Improvement Plan
FY 2025-2031

Acknowledgements

CITY COUNCIL

Joshua Paladino, Mayor Pro Tem
Greg Stuchell
William Morrissey
Gary Wolfram
Robert Socha
Robert Flynn
Matthew Bentley
Jacob Bruns

PLANNING COMMISSION

Eric Moore, Chair
Kerry Laycock, Vice Chair
Matthew Kniffen, Secretary
William Morrissey, Councilman
Roma Rogers
Christian Winter
Jack Shelley

DEPARTMENT LEAD

Alan Beeker, Zoning Administrator

DEPARTMENT REPRESENTATIVES

Katy Price, City Clerk
Karen Lancaster, Finance
Kimberly Thomas, City Assessor
Jason Blake, Public Services
Chief Scott Hephner, Public Safety
Michelle Loren, Parks & Recreation
Rebekah Dobski, Library Director
Virginia Blake, Dial-a-Ride
David Mackie, City Manager & Board of Public Utilities
Ginger Moore, Hillsdale Municipal Airport
Kristin Bauer, City Engineer

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Introduction to Capital Improvements Planning

EXECUTIVE SUMMARY

Every municipality has a portfolio of capital assets that it owns, maintains, and employs to help deliver quality services to its residents. These assets include equipment and vehicles, such as fire engines, snow plows, and tools, but also more permanent assets such as roads, bridges, buildings, underground utilities, storm water systems, parklands, parking facilities, and natural areas. With ownership comes an obligation to maintain and continually improve that asset. The process used to determine how to invest City resources to maintain and improve these assets is known as the Capital Improvement Planning.

A Capital Improvement Plan (CIP) is a multi-year planning instrument used to identify needs and funding sources for public infrastructure improvements. A CIP facilitates coordinated infrastructure improvements; maintains, preserves, and protects the City's existing infrastructure system; and provides for the acquisition or scheduled replacement of equipment to ensure the efficient delivery of services to the community. The CIP plans for large, physical improvements or purchases that are permanent in nature. These include municipal facilities, information technology systems, transportation systems, utilities, and other miscellaneous projects.

The CIP plays an important role by providing the link between planning and budgeting for capital expenditures to ensure that capital improvements are fiscally sound and consistent with City long-range goals and objectives. The CIP process occurs prior to the budget process and should be used to develop the capital portion of the municipal budget. The projects contained in the first year of the CIP will be requested in next year's department requested municipal budget. The Capital Improvement Plan (CIP) outlines a schedule of public service expenditures.

INTRODUCTION AND PURPOSE

A Capital Improvement Plan is a blueprint for planning a community's capital expenditures. It coordinates planning, financial capacity, and physical development, and will be used as a management tool for the budget and planning processes. Upon adoption by the City Council, the CIP becomes a statement of city policy regarding the timing, location, character, and funding of future capital projects. The CIP represents City Council's best judgment at that time; future needs, financial constraints, and grant opportunities may result in programmatic changes over the timeline.

A CIP offers a number of advantages such as:

- Facilitate coordination between capital needs and operational budgets;
- Support projects with high return on investment;
- Allow for better scheduling of public improvements and coordination of construction; and
- Enhance the community's credit rating, control of its tax rate, and avoid sudden changes in its debt service requirements.

RELATIONSHIP BETWEEN CIP AND MASTER PLAN

The Master Plan, as a whole, serves as a policy manual for the city. In turn, the CIP is used as a framework for the community to implement the Master Plan. According to the Michigan Planning Enabling Act (Public Act 33 of 2008), “to further the desirable future development of the local unit of government under the master plan, a planning commission, after adoption of a master plan, shall annually prepare a capital improvements program of public structures and improvements, unless the planning commission is exempted from this requirement by charter or otherwise.”

RELATIONSHIP BETWEEN CIP AND BUDGET

The CIP makes capital spending more predictable and transparent. The CIP does not address all of the capital expenditures for the City, but provides for large, physical improvements that are permanent in nature or major equipment purchases that have high cost and a longer useful life. Capital planning identifies purchases of physical assets or construction, major repair, reconstruction, or replacement of capital items, such as buildings, utility systems, roadways, bridges, parks, heavy equipment, motor vehicles, and extensive internal office and technology hardware or systems. The intent is to have the first year of the CIP represent the proposed capital budget for the current fiscal year. The remaining years of the CIP serve as a financial plan for capital investments.

DEFINITION OF CAPITAL

Capital projects and improvements are major non-recurring tangible assets and projects including:

- Replacements and improvements greater than or equal to \$5,000;
- “Program” of projects whose total is greater than or equal to \$5,000; and
- Equipment purchases greater than or equal to \$5,000, with a service life of at least 5 years.

Examples include construction, expansion, or renovation of a public building, water line upgrades and extensions, major equipment, the acquisition of land for public use, or new storm and sanitary sewers. The adoption of a common definition assists in determining what projects are part of the capital improvement program versus those that are part of the general budget.

Only the projects that meet the capital project or improvement definition are included in the capital improvement program. A capital improvement project can include one or more of the following:

- **Building Maintenance:** is the repair, replacement, or upgrades of exterior and interior walls, roofs, furnishings and similar non-mechanical features that extend a building’s life. Examples include new roofs, windows and doors, tuck pointing and masonry repair, interior and exterior painting, carpeting and furniture.
- **Building Equipment:** is the repair or replacement of heating, ventilation, and air conditioning (HVAC) systems.
- **Building Construction:** includes the erecting of new buildings and additions that add usable floor space for staff and patrons.

- **Computer and Specialized Equipment:** includes all equipment critical to the functioning of the city such as computers, telephones, cameras and voting machines.
- **Equipment:** includes heavy apparatus used by the fire department and department of public services. Examples are lifesaving equipment, vehicle hoists, and similar specialized mechanisms that last for several years.
- **Vehicles:** encompass cars, trucks, buses and grounds maintenance equipment. Vehicles are considered part of the motor pool that is maintained by the Department of Public Services. For the purpose of the capital improvements plan, vehicles are attached to their respective departments.
- **Infrastructure:** includes below grade, at grade and above grade (non-building) improvements. Examples include new water and sewer lines, park improvements, storm water, streets and sidewalks, bike lanes, landscape, and fences.

CIP ADOPTION AND ANNUAL UPDATE

The quality of the infrastructure and community facilities in the City directly influences the quality of life that the City can provide. As community infrastructure and facilities age, continual improvements and updates are required to stay current with changing demands and needs.

The Capital Improvement Plan (CIP) provides a blueprint for planning the City of Hillsdale’s capital expenditures. It coordinates planning, financial capacity, and physical development, and is used as a management tool for the budgeting and planning processes.

ADOPTION PROCESS

- **Identification**
 - Department heads complete CIP project requests
- **Adoption**
 - Planning Commission reviews CIP plan, holds public hearing, makes recommendations, and adopts CIP
 - City Council approves CIP as basis for Capital Budget
 - City Manager establishes target budget
- **Budget Preparation**
 - Department heads prepare proposed capital project budget
 - City Manager and Finance Director review requests and prepare budget document
 - City Council reviews budget, holds public hearing, and adopts budget

CAPITAL INVESTMENT POLICIES

An essential component of the Capital Improvement Program is to establish a policy framework for capital project selection. The policy framework establishes prioritization of projects to most efficiently determine whether or not to allocate *X dollars* to *activity A* as opposed to *activity B*. In order to establish a policy framework to properly evaluate capital project and prioritization a set of long-range investment policies

was established. These policies provide the framework for making capital project decisions in order to ensure the City's financial viability, improve and maintain levels of service standards, provide responsive community development, and meet other strategic goals.

The Capital Investment Policy is based on priorities identified in community strategic plans and master planning documents. The capital improvement plan prioritizes projects based on the following investment policy statements. CIP projects should:

1. Maintain or improve standards of service
2. Protect public health, safety, or welfare
3. Result in economic development (capital investment, increased tax base, or increased valuation)
4. Reduce energy consumption and/or improve environmental sustainability
5. Have an identified source of funding
6. Be ready to proceed
7. Be coordinated with other capital improvements

The Capital Improvement Plan

The Capital Improvement Plan provides a schedule of improvements for each department. Each section begins with a description of the department's primary function and location of its facility. A summary of key improvements, major expenditures and funding sources follows. Finally, a detailed schedule of improvements and cost estimates is captured on pages immediately following the written description. For Administration, Streets and Utilities, Parks and Recreation and Department of Public Works, the descriptions are subdivided by department or project type due to multiple functions located within one facility.

ADMINISTRATION



The City Manager, Zoning and Code Enforcement staff, Assessor, Police Department, Recreation Department, Clerk, and Treasurer operate within City Hall. In addition, the building contains the City Council chambers.

City Hall is located at 97 North Broad Street on a triangle parcel formed by E. Carleton, N. Broad, and Hillsdale Streets. The building was constructed in 1911. It is a three story, five-sided, classical revival-style building and it is listed as a contributing structure on the National Register of Historic Places.

- **Computer Equipment** - The finance department works with other department heads to identify hardware upgrade and purchases. The City plans to update the system of computers in the next 3-6 years.
- **Computer Software** – The finance department works with other department heads to identify software upgrade and purchases. The assessing and zoning department rely on BS&A software for property data management including taxes, permits, and zoning. The City relies on the Hillsdale County Equalization Department and the Board of Public Utilities (BPU) for assistance with mapping.
- **Building (City Hall)** – The Department of Public Services is responsible for maintaining public buildings throughout the city. For the purposes of the CIP, building improvements are described within respective departments. The administrative departments identify the following improvements to the City Hall: roof repairs, masonry tuck-pointing, repairing interior water damage, refinishing walls, and replacing carpet. The projects shall prioritize the building envelope first in order to protect the building interior and any future improvements.
 - FY 26 – Carpet/Tile Replacement 1st floor - \$15,000
 - FY 26 – EDPM Roof replacement second floor - \$35,000
 - FY 27 – City Hall Exterior Repairs - \$15,000
 - FY 28 – Sidewalk repairs/upgrades- \$15,000
 - FY 29 – Generator City Hall and FD - \$62,000
 - FY 30 – HVAC upgrades - \$50,000

BOARD OF PUBLIC UTILITIES



Since 1892, the Hillsdale Board of Public Utilities has been the municipally owned and operated provider of electric, water and wastewater services to the City of Hillsdale and the outlying areas. Presently, the Hillsdale BPU serves over 6,300 residents in central Hillsdale County with reliable electric power and nearly 4,000 homes and businesses receive quality water and wastewater services within the city limits. Its offices are located at 45 Monroe Street.

FYE 2026

SEWER:

Replace influent pump #2	\$34,000.00
Funds for sewer main lining/fix RTF areas	\$300,000.00
Replace Vactor 50%	\$300,000.00
Replace 2015 service truck 50% 1 of 2	\$40,000.00
Aerator Gear Box (4 of 4)	\$10,000.00
New Channel Monster	\$35,000.00
Sludge storage pump	\$32,000.00
Lab repair and windows	\$75,000.00
Garage doors X3	\$24,500.00
Engineering for sludge storage repair/addition	\$40,000.00
South Lift Station Rebuild	\$175,000.00
Hallet lift station (new pumps, controls, piping)	\$175,000.00
Totals:	\$ 1,240,500.00

WATER:

Well & HS pump Maintenance	\$ 50,000.00
Replace 2015 service truck 50%	\$ 40,000.00
Distribution System Improvements	\$ 450,000.00
Mains, valves, hydrants, LSL	
Replace Vactor 50%	\$ 300,000.00
Replacement water meters/nodes	\$ 85,000.00
Tower inspection	\$ 10,000.00
Plant piping replacement	\$ 179,000.00
Pull behind compressor	\$ 48,000.00
Valve turning trailer	\$ 90,000.00
TOTAL:	\$ 1,252,000.00

City of Hillsdale Capital Improvement Plan

FYE 2027

SEWER:

Replace influent pump #3	\$35,000.00
Funds for sewer main lining/fix RTF areas	\$300,000.00
1 of 2 Sludge Rotary Lobe Pumps Rebuild/Replacement	\$10,000.00
1/4 backhoe #2	\$45,000.00
Ox ditch parts	\$12,000.00
Inline Primary Sludge Grinder Replacement	\$28,000.00
Disk filter pumps	\$25,000.00
Asphalt driveway(done in 2002)	\$125,000.00
Concrete repair on oxidation ditches	\$85,000.00
Oak lift station (new pumps, controls, piping)	\$180,000.00
Structural repair to sludge storage tank (2003) + possible addition	\$400,000.00
Finish replacing plant grating	\$20,000.00
Totals:	\$1,265,000.00

WATER:

Well & HS pump Maintenance	\$60,000.00
Replace surge valve	\$16,000.00
1/4 backhoe #2	\$45,000.00
Distribution System Improvements	\$475,000.00
Mains, valves, hydrants, LSL	
Replacement water meters/nodes	\$30,000.00
Replace well watch valves x 5	\$200,000.00
Concrete repair on detention tanks	\$45,000.00
Scada upgrade	\$225,000.00
Engineering for new 10" transmission line Installed in 1974	\$68,000.00
TOTAL:	\$1,164,000.00

FYE 2028

SEWER:

Replace influent pump #4	\$36,000.00
Funds for sewer main lining/fix RTF areas	\$450,000.00
2 of 2 Sludge Rotary Lobe Pumps Rebuild/Replacement	\$15,000.00
New RAS pump 1 of 2	\$24,000.00
Scada upgrade	\$250,000.00
Camera system	\$125,000.00
Key lift station upgrade	\$180,000.00
Engineering for inlet works upgrade	\$100,000.00
Tertiary check valve replacements	\$100,000.00

City of Hillsdale Capital Improvement Plan

Totals: \$1,280,000.00

WATER:

Well & HS pump Maintenance	\$62,000.00
Distribution System Improvements	\$900,000.00
Mains, valves, hydrants, transmission	
Replacement water meters/nodes	\$30,000.00
Source water study	\$100,000.00
System leak monitor system design	\$40,000.00

TOTAL: \$1,132,000.00

FYE 2029

SEWER:

Funds for sewer main lining/fix RTF areas	\$350,000.00
Aerator Gear Box (1 of 4)	\$11,500.00
New Channel Monster	\$35,000.00
New RAS pump 2 of 2	\$24,000.00
Ox ditch parts	\$13,000.00
Digester mixer gear reducer	
Inline Primary Sludge Grinder Replacement	\$28,000.00
Disk filter pumps	\$25,000.00
Replace Cl2 and SO2 equipment	\$15,000.00
Sludge storage pump	\$34,000.00
Inlet works construction-carry over	\$700,000.00

Totals: \$1,235,500.00

WATER:

Well & HS pump Maintenance	\$63,000.00
Distribution System Improvements	\$750,000.00
Mains, VALVES	
Replacement water meters/nodes	\$35,000.00
Engineering for new wells	\$70,000.00
Implement leak detection equipment	\$300,000.00

TOTAL: \$1,218,000.00

FYE 2030

SEWER:

Influent pump 1	\$37,000.00
Funds for sewer main lining/fix RTF areas	\$600,000.00
WAS Pump Replacement 1 of 2	\$19,500.00
Grit auger wear shoe	\$13,500.00
Aerator Gear Box (2 of 4)	\$12,000.00
Engineering for bridge replacement	\$65,000.00

City of Hillsdale Capital Improvement Plan

Tertiary wetwell improvements	\$60,000.00
Engineering for new north clarifier	\$65,000.00
Inlet works construction	\$500,000.00
Totals:	\$1,372,000.00

WATER:

Well & HS pump Maintenance	\$64,000.00
Distribution System Improvements	\$490,000.00
Mains, valves, hydrants	
Replacement water meters/nodes	\$35,000.00
New well at Industrial 1 of 2	\$850,000.00
TOTAL:	\$1,439,000.00

FYE 2031

SEWER:

Influent pump 2	\$38,000.00
Funds for sewer main lining/fix RTF areas	\$375,000.00
Replace Vactor 50%	\$350,000.00
WAS Pump Replacement 2 of 2	\$19,500.00
Aerator Gear Box (3 of 4)	\$12,500.00
Ox ditch parts	\$14,000.00
Sludge storage pump	\$35,000.00
Bridge replacement	\$1,400,000.00
Totals:	\$2,244,000.00

WATER:

Well & HS pump Maintenance	\$65,000.00
Distribution System Improvements	\$495,000.00
Mains, valves, hydrants	
Replace Vactor 50%	\$350,000.00
Replacement water meters/nodes	\$40,000.00
Tower inspections	\$12,000.00
New well at Industrial 2 of 2	\$900,000.00
TOTAL:	\$1,862,000.00

DEPARTMENT OF PUBLIC SERVICES



The Department of Public Services (DPS) is responsible for maintaining streets, city buildings, sidewalks, public rights-of-way, city trees (urban forest), city vehicles, storm water collection, cemeteries, parks and trail connections, and brush and leaf pick-up. The parks and recreation and urban forestry departments are integrated into DPS. The Department is responsible for maintaining public buildings throughout the city. For the purposes of the CIP, building improvements are described within respective departments.

The department office, garage, and yard are located at 149 Waterworks Avenue, northwest of Baw Beese Lake. The Main DPS Building was constructed in 1960, the Garage Building was built in 1945, and the Salt Storage Building was built in 1998.

- **Streets** – The City of Hillsdale has one state trunk line, M-99, which is the primary north-south entrance into Hillsdale. Major streets include Carleton, Bacon, Hillsdale, Mechanic, Howell, State, Spring, Fayette, Wolcott, and Reading. The City also has a system of local streets that follows a general grid pattern. The City has received grant funds in recent years for street projects including the MDOT Small Urban Grant, Rural Block grants from the USDA and assorted grants through the MDOT Economic Development Office and many of these grants require some monetary match. Available grants are generally only applicable to streets that are designated as “Federal Aid Eligible” and “City Major” streets. Grants are not available for the local street system, with exception of one through the MDOT Economic Development Office. Since its inception in 2018, the city has received funding through this grant once and continues to apply for the grant annually. In 2021, the city voters passed a 3.5 mil street millage and implements special assessment districts to increase funding for street projects. The DPS and City Engineer are developing a new Asset Management Plan to replace the **June 2013 City of Hillsdale Streets and Storm Sewer Capital Improvement Plan** as a guide to street repair. Public Services has planned for annual maintenance and reconstruction of streets including but not limited to crack fill, patching and chip sealing. Annual reconstruction/rehabilitation of street utilizing the available funding from the millage. Sidewalks are typically rehabilitated/replaced in conjunction with road improvements.
- **With Current Funding Sources, including Charter, SAD’s and Millage.**
 - FY 26 – FY 30 - Approximately \$1,500,000
 - FY 27 – Traffic Calming Project \$200,000 TAP Grant Match (50% City 50%TIFA)
 - FY 31 – Approximately \$130,000 – Millage expires.
- **Other Infrastructure**
 - **Sidewalks**
 - FY 26-31 Sidewalk repair/upgrades city wide - \$50,000 annually
 - **Culverts**
 - FY 26 – Galloway St. Culvert Replacement - \$1,500,000

City of Hillsdale Capital Improvement Plan

- FY 27 - Hillsdale St. Culvert Replacement - \$1,500,000
 - FY 28 – Oak St. Culvert Replacement - \$1,500,000
 - FY 29 - Culvert Replacement - \$1,500,000
 - FY 29 – Culvert Replacement - \$1,500,000
 - FY 30 – Culvert Replacement - \$1,500,000
 - FY 27 – Lot J (Traffic Calming Project) - \$200,000 (50% City 50% TIFA)
 - FY 28 – Lot D (Ferris St.) - \$170,000 (50% City 50% TIFA)
 - FY 29 – Lot B (Sozo Church) - \$50,000
-
- **Revolving Motor Equipment Fund** – The Public Services 10-Year Equipment Replacement Schedule has identified motor equipment for replacement for each fiscal year.
 - FY 26 - Replace 1992 4x2 1 Ton Stake Truck - \$120,000
 - FY 26 – Replace 2009 4x2 2500 Pickup truck - \$55,000
 - FY 27 – Replace 1994 4x4 5400 Pickup Truck - \$65,000
 - FY27 – Replace 1996 Wheel Loader - \$140,000
 - FY 28 – Replace 1999 Vactor/Rodder - \$500,000
 - FY 28 – Replace 2000 4x4 q ton HD Dump - \$110,00
 - FY 28 – Replace 1998 4 ton asphalt roller - \$45,000
 - FY 29 – Replace 1982 1835 Skid Steer - \$106,000
 - FY 29 – Replace 2004 trailer mnt. Arrow Board- \$8,000
 - FY 29 – Replace 2017 Gravely zero turn - \$22,000
 - FY 29 – Replace 2008 4x4 Pickup Truck - \$50,000
 - FY 30 – Replace 2006 Pull Behind Air Comp. - \$28,000
 - FY 30 – Replace 2008 4x2 1 ton HD Dump - \$90,000
 - FY 31 – Replace 2000 4x4 416 Backhoe - \$185,000
- **Building (Public Services)** – Public Services has identified the need for a new facility and storage building to house offices and employee break and locker facilities. The existing office building could be converted into a garage and service facility for equipment. The current garage and service building would be demolished.
 - FY29 – New DPS Facility and Storage - \$3,000,000
- **Buildings (Other)** - Public Services is planning continued maintenance for the Mitchell Building. Other building improvements for the Mitchell may also include returning the façade to its original historic appearance.
- **Cemeteries** – Hillsdale has two (2) cemeteries: Oak Grove on Montgomery Street and Lake View Cemetery on Barnard Street. Public Services will continue annual chip-seal roadway improvements for both cemeteries. Phase I of Lakeview Cemetery expansion is nearing completion in Fall 2022. Phase II restoration efforts will continue in Spring 2023.
 - FY 28 – Chip and Seal Oak Grove - \$65,000
 - FY 29 – Chip and Seal Lakeview - \$25,000
- **Parks and Recreation** - Hillsdale has nine (9) city parks. They provide 375.13 acres of recreation and open space. The parks include Wildlife Sanctuary, Cold Springs, Kekoose, Fields of Dreams, Lo Presto Field, Stock’s Park, Waterworks, Owens, and Sandy Beach. Also, there is the Baw Beese Trail, Meyer Parkway, Jim Inman Park, and Slayton Arboretum. There is also a nine-hole disc golf course open for public use at Owens Memorial.

City of Hillsdale Capital Improvement Plan

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| ▪ FY 26 – Bike path repairs/resurface SB-Barnard - | \$50,000 |
| ▪ FY 27 – Bike path repairs/resurface Barnard to Short | \$50,000 |
| ▪ FY 28 – Waterworks Parking Lot Rehab - | \$90,000 |
| ▪ FY 29 – DNR Boat Launch Rehab - | \$126,000 |
- **Hill-Jo Trail**- The Michigan Department of Transportation (MDOT) maintains the “Hill-Jo” Trail, which connects the Village of Jonesville to the City of Hillsdale along the M-99 corridor, including a roadside park in Jonesville.
 - **Baw Beese Trail**- The Baw Beese Trail connects Downtown Hillsdale with City parks along Baw Beese Lake. Those trails are part of the greater North County Scenic Trail – a multi-state facility that traverses New York, Pennsylvania, Ohio, Michigan, Wisconsin, Minnesota, and North Dakota. The trails should be better signed and advertised to make it accessible to outsiders. Wayfinding Signs should clearly mark the Trail head and access points along with delineating a clear route to the downtown and other shopping and eating areas in the City. Wayfinding signage design and installation should be included as a future capital project.
 - **Mrs. Stocks’s Park** - In 2003, the Hillsdale City Council unanimously approved the formation of a committee to look at restoring Mrs. Stock's Park. The committee has yielded the following ideas for the restoration project's overall objectives: creating a cultural center for the community; restoring the unique and attractive garden setting; recreating bridges, ponds and other structures.
 - **Field Of Dreams** - The last of six (6) dugouts were installed in the summer of 2014. Other improvements have included resurfacing of three baseball diamonds, purchase of new bleachers and refurbishment of existing structures, pouring of cement slabs under bleachers and a community paint mural provided for by the Ladies Beautification League and other concession stand improvements. Custom seating fabricated by a local tradesman, cement walkway, two shade trees, lighted flagpole, epoxy coating on the plumbed restroom floors were complete in 2015. Projects were funded by memorials left by two local families, concessions revenues and tournament revenues and a grant from the Hillsdale County Community Foundation. Improvements are always under consideration for the Field of Dreams.
 - **New Park Facilities** – Per Master Plan recommendations, the City should take advantage of its location on the headwaters of the St. Joseph River. As property becomes available, the City should attempt to gain possession to incorporate into its park system and/or encourage private development of river front property into recreational uses such as canoe/kayak liveries or fishing docks.
 - **Ada-Compliant Playground Structures** – Public Services will begin planning that will supply ADA-Compliant playground equipment in all City parks that currently have such structures. Improved Fall Zones around new and existing structures to meet current requirements.
 - **Mill Pond Dam Repairs**: Public services will continue to work closely with EGLE to safely repair the existing mill pond dam and install an auxiliary spillway.

City of Hillsdale Capital Improvement Plan

- FY 26 – Concrete Repairs - \$129,037
 - FY 27 – Auxiliary Spillway - \$328,858
-
- **Urban Forest** - The City of Hillsdale has been a Tree City USA community since 1977. The City maintains nearly 5,000 trees along its streets and within its parks. In 2010, the City of Hillsdale adopted the Public Tree Planting Program that allows interested individuals and/or businesses to purchase trees for the city to be planted in the city right-of-ways or city parks. The City’s Forestry department is committed to planting a minimum of twenty (20) to thirty (30) trees annually, based on available funding. Street trees are funded through the City’s general fund and Act 51 Street Revenue.

DIAL-A-RIDE



Hillsdale Area Dial-A-Ride, operated by the City of Hillsdale, is the only public bus service in the City. It has been in operation since 1975. The administrative offices and garage are located at the west end of the Manufacturing and Technology Park at 981 Development Drive.

There are four (4) lift equipped buses. Ridership in the 2025 fiscal year was 28,160, with winter months showing the highest use. School age children make up 45% of the riders; 35% are senior citizens and 20% are residents with disabilities. This service runs within the Hillsdale City limits and is a demand response system with curbside service, 7:15 - 4:15 Monday through Friday. Dial-a-Ride provides valuable service for the City of Hillsdale residents.

- **Equipment** – Dial-A-Ride has identified a future need for base unit radio equipment, antenna, and dispatch software. These systems were purchased new in 2012. Funding for radio equipment upgrades may be available through grant programs.
 - FY 28 – Backup Generator - \$20,000
 - FY 29 – Roof Replacement - \$68,325

- **Motor Equipment** – Dial-A-Ride maintains three (3) active buses and one back up bus. Buses are funded through State and Federal grants and replaced on a 7-10 year cycle based on request and availability.
 - FY 26 – Replace 1 Medium Duty Class 1 Bus - \$214,726
 - FY 27 – Replace 1 Medium Duty Class 1 Bus - \$215,000

FIRE DEPARTMENT



The Hillsdale City Fire Department (HCFD) is located at 77 E. Carleton Road less than one block from City Hall. Built in 1966, the fire station is a one story building with office space, living quarters, kitchen, and a dormitory for fire personnel. In addition, the station has five truck bays, two of which can be accessed from the rear of the facility.

The Fire Department is staffed 24 hours a day, 365 days a year. The HCFD is a combination department consisting of a shared Chief with the Police Department, four (4) full time fire officers that includes a Deputy Fire Chief, a Lieutenant, and two Engineers. The full time staff is complemented by four (4) part time fire officers and nine (9) part paid firefighters. The HCFD responds to over a thousand (1,000) calls per year for fire related, rescue, and emergency medical calls for service.

The HCFD maintains four (4) trucks with firefighting capabilities. A 2017 Rosenbauer engine/pumper with a 1,000 gallon water tank and a 1,500 gallon per minute pumping capacity. A 2000 Pierce engine/pumper with a 750 gallon water tank and a 2,000 gallon per minute pumping capacity. A 2003 E-One Aerial with a 100 foot ladder, a 500 gallon water tank and 2,000 gallon per minute pumping capacity. A 2016 Ford 350 pickup with a 250 gallon water tank and a 150 gallon per minute pumping capacity utilized for brush and grass fires.

- **Equipment** – The Fire Department is requesting the replacement of turnout gear as it expires. NFPA 1851 specifies the fire helmets, hoods, boots, coats, pants, and gloves must be retired 10 years after date of manufacture. The HCFD will need to replace four (4) sets in the 2022-23 budget, four (4) sets in 2023-24, and four (sets) in 2024-25. Approximate cost is \$2,565 per set.
- **Motor Equipment** – The 2000 Pierce engine/pumper should be replaced in the 2024-25 budget to avoid catastrophic failure of equipment older than 25 years. The cost will be approximately \$600,000. If approved for a mini pumper, cost will be 3000,000 and purchased in the 2023-24 budget year.
- **Building** – Renovations that include overhead door heights moved to fourteen (14) feet with new doors, cement threshold improvements, new garage skylights, new garage LED lighting, replace three (3) steel entry doors, flat roof over office area removed and addition of second floor for training room and storage, ADA compliant restroom, appropriate HVAC system and automatic generator. The cost will be approximately \$500,000 and will be completed in phases over three budget years beginning in the 2024-2025 budget year.



HILLSDALE MUNICIPAL AIRPORT

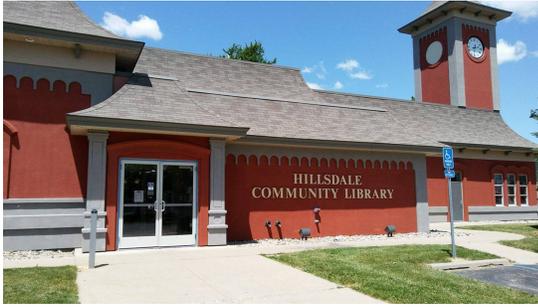
The Hillsdale Municipal Airport is a State of Michigan licensed "Public Use-General Utility Airport" with a 100 x 5000 feet long runway. The runway is rated for the "Gulfstream" category of business aircraft. The Airport continues to serve the community as an important component of the transportation

infrastructure and economic development of the City, as well as the entire County.

The recent construction of a new terminal building, scheduled to be open to the public in mid-2025, is just one of the projects that continues to improve and expand facilities. The Airport staff works closely with FAA and MDOT for grant opportunities.

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| ○ FY 27 | \$75,000 |
| ○ FY 28 | \$75,000 |
| ○ FY 29 | \$55,000 |

LIBRARY



Library services have been offered for nearly 125 years in the City of Hillsdale. The Mitchell Public Library served Hillsdale for 95 years until the construction of the Hillsdale Community Library in 2003, a two million dollar state-of-the-art library building located at 11 E. Bacon Street. The new library also includes dedicated space for children's programming, a young adults' area and expanded technology. The new facility also includes a spacious community meeting room that not only

provides programming space for the library, but also for local civic and other organizations, to use for presentations and meetings.

- FY 26 – Carpet \$26,000
- FY 28 – New Exterior Doors \$3,240
- FY 29 – Lot H (Library Lower Lot) \$66,893

POLICE DEPARTMENT

The Police Department is currently housed within City Hall which is located on a triangle parcel formed by E. Carleton, N. Broad, and N. Hillsdale Streets. City Hall is isolated on an “island” surrounded on all sides by converging streets, making parking and accessibility a challenge. Currently this building provides insufficient space for evidence storage (mandated) an isolated interview room, and equipment storage. A new building or renovations to City Hall is required to meet these needs.

The Police Department provides 24 hour service which includes primary road patrol, criminal investigations, civil dispute mediation, crowd control, and event security. Phone calls are answered by the Police Department and Hillsdale County Central Dispatch. Hillsdale County provides an emergency 911 phone system.

The Police Department consists of fourteen (14) full time state certified Police Officers, one (1) part time state certified Police Officers, two (2) full time non certified administrative personnel, and six (6) non certified volunteer Reserve Officers. The full time staff consists of a Chief of Police, a Lieutenant, three (3) Sergeants, one (1) Detective, eight (8) Patrol Officers, one (1) Administrative Professional, and one (1) Records Manager.

The Department maintains six (6) vehicles; five (5) are fully marked for use by Patrol, Sergeants, Lieutenant, and the Chief. One (1) is unmarked and is utilized by the Detective.

The Hillsdale County Sheriff’s Department operates the county jail with a capacity of 67 inmates. This is located within the City of Hillsdale. The Hillsdale County Courts are also located within the City of Hillsdale.

- **Equipment** – The Police Department requires Officers to purchase their own firearms for duty which includes a handgun and a patrol rifle. The Department currently owns two (2) handguns and three (3) patrol rifles for Officers to use until they purchase their own or to replace when firearms require repairs and service. The Department plans on purchasing fifteen (15) handguns with night sights for issuance to full time and part time Police Officers. Project is for the 2023-24 budget for \$6,135. The Police Department is required to replace their Conducted Electrical Weapons every five years. In June of 2018 Axon issued a bulletin stating that since their Conducted Electrical Weapons are composed of hundreds of individual electronic components and several printed circuit boards “Axon will not service or repair weapons older than five years and does not provide its product liability insurance certificate to agencies fielding weapons of this age.” This replacement is for the 2024-25 budget at an approximate cost of \$8,000 for six (6) Axon Tasers.
- **Motor Equipment** - Marked Police vehicles are on a four (4) year rotation with unmarked vehicles being replaced at approximately ten (10) years or as needed. The Police Department has planned for the replacement of one (1) marked vehicle per year beginning in the 2023-24 budget year for \$45,000 per year.

TAX INCREMENT AUTHORITY (TIFA)

The City of Hillsdale Tax Increment Finance Authority (TIFA) was established in 1986 under the Tax Increment Finance Authority act, Act 450 of 1980, to “prevent urban deterioration and encourage economic development and activity and to encourage neighborhood revitalization and historic preservation.” The purpose of the TIFA is to promote economic development through programs and public improvement projects that create opportunity, provide entrepreneurial support, and preserve property values while maintaining the historic nature of Downtown Hillsdale.

The TIFA derives its funds from a geographically defined district. The assessed value of properties located in the district at the time it was created established the baseline value. Any incremental increase in property taxes above this baseline are captured by TIFA to be reinvested into the district. Incremental taxes captured by TIFA may *only* be spent within that district.

As an organization, TIFA functions as an independent authority under a Board of Directors with its own budget and Rules of Procedure. The TIFA Board is made up of a group of local volunteers as defined by the Act. TIFA meets bi-monthly and is subject to the Open Meetings Act so notice of the meetings are posted, minutes are published and there is public attendance and public comment.

The TIFA must periodically amend its Development Plan which dictates the projects and goals that the TIFA wishes to pursue in the coming years. Since the boundaries of the TIFA district coincide almost perfectly with Hillsdale’s National Register of Historic Places commercial district, the preservation of historic buildings is a priority. Over the years, TIFA funds have typically been spent on infrastructure improvements and a successful Façade Grant program which has provided funds to restore and maintain the facades of Hillsdale’s historic commercial buildings. The 2025 TIFA Development Plan set as a priority the redevelopment and reuse of vacant and underutilized downtown buildings in addition to partnering with the City to improve infrastructure in the district. TIFA funds will continue to be invested in the preservation of Hillsdale’s historic buildings, infrastructure and programs that promote economic activity and increase property values in downtown Hillsdale.

- FY 26 – Lot E (City Center) - \$54,205 (50% City 50% TIFA)
- FY 27 – Traffic Calming Project - \$200,000 TAP Grant Match
(50% City 50% TIFA)
- FY 28 – Lot D (Ferris St.) - \$170,000 (50% City 50% TIFA)

COORDINATION WITH OTHER CAPITAL IMPROVEMENTS

The City of Hillsdale is not the sole owner and operator of capital assets and community amenities in the City and surrounding area. Project coordination and cost-sharing with other local entities will help ensure greater efficiency and maintain the level of service within the community. Other local entities include:

- Hillsdale Housing Commission

HILLSDALE HOUSING COMMISSION

The Housing Commission of Hillsdale is available to assist low-income families with safe, decent, and affordable housing opportunities. The Housing Commission is committed to operating in an efficient, ethical, and professional manner. Hillsdale Housing Commission operates 60 affordable units across its public housing portfolio. Hilltop Apartments located at 45 N. West Street.

Opportunities for Coordination

- Sidewalk projects
- Lighting projects

Website: www.hillsdalehousing.org