

CITY OF HILLSDALE



Planning Commission
97 North Broad Street
Hillsdale, Michigan 49242-1695
(517) 437-6449 Fax: (517) 437-6450

Planning Commission Agenda October 16, 2018

- I. **Call to Order 5:30**
 - A. Pledge of Allegiance
 - B. Roll Call
- II. **Public Comment**

Any Commission related item – 3 min. limit
- III. **Consent Items/Communications**
 - A. Approval of agenda – **Action**
 - B. Approval of Planning Commission 09.18.2018 minutes – **Action**
- IV. **Site Plan Review**

Hillsdale College College/Park Parking Lot
- V. **Public Hearing**
 - A. Chapter 26 – Sign Ordinance
 - B. Division 9 (I-1) Industrial District
- VI. **Old Business**
- VII. **New Business**
- VIII. **Zoning Ordinance Review**
- IX. **Zoning Administrator Report**
- X. **Commissioner’s Comments**
- XI. **Adjournment**

Next meeting November 20, 2018 at 5:30 pm



PLANNING COMMISSION MINUTES

HILLSDALE CITY HALL,

97 N. Broad Street

September 18, 2018 at 5:30 PM

I. Call to Order 5:31 pm

- A. Members present: Chairwoman Amber Yoder, Vice Chairman Samuel Nutter, Mayor Pro-tem William Morrissey, Commissioners Ron Scholl and Eric Moore
- B. Members absent: Secretary Kerry Laycock, Commissioner Eric Swisher
- C. Others present: Alan Beeker, Jack McLain

II. Public Comment

Jack McClain – He could not find the meeting posting in the Clerk’s office. He complained that numerous signs in the City do not adhere to the current ordinance.

III. Consent Items/Communications

Motion to approve the consent agenda offered by Commissioner Nutter, seconded by Commissioner Scholl. All in favor.

IV. Zoning Ordinance Public Hearing

Due to the lack of proper posting, the public hearing could be held. The Commission requested that the public hearing be set for October.

V. Old Business

Bylaws adoption: The final draft was presented for adoption to the Commission. Mayor Pro-Tem Morrissey moved to adopt and Commissioner Scholl seconded. Motion passed.

VI. New Business

None.

VII. Zoning Ordinance Review

- A. Master Plan. Mr. Morrissey suggested that a soil map of the City be included in the Master Plan for the next update. Mr. Beeker congratulated the PC for achieving the majority of their goals and objectives. The PC will start amending the plan in 2019 for the final amendment adoption for 2020.

VIII. Commissioner’s Comments

Commissioner Scholl asked if any response had been received from the developer of the Hillsdale Commons condominium project. Mr. Beeker stated that he had not heard anything from the developer since the last Planning Commission meeting.

IX. Adjournment

Commissioner Morrissey moved to adjourn. Commissioner Nutter seconded. All in favor. Meeting adjourned at 6:53 pm.

Next meeting: October 16, 2018 at 5:30 pm.



TO: Planning Commission

FROM: Zoning Administrator

DATE: October 16, 2018

RE: Hillsdale College Parking Lot

Background: Hillsdale College is proposing a new parking lot at the corner of College and Park Streets. The lot will be on the west side of and adjacent to the townhome lot. The two properties will share storm water retention. A preliminary site plan review meeting with the City Department Heads was held on October 11, 2018.

WEST STREET PARKING LOT HILLSDALE COLLEGE

33 E COLLEGE ST, HILLSDALE MI 49242

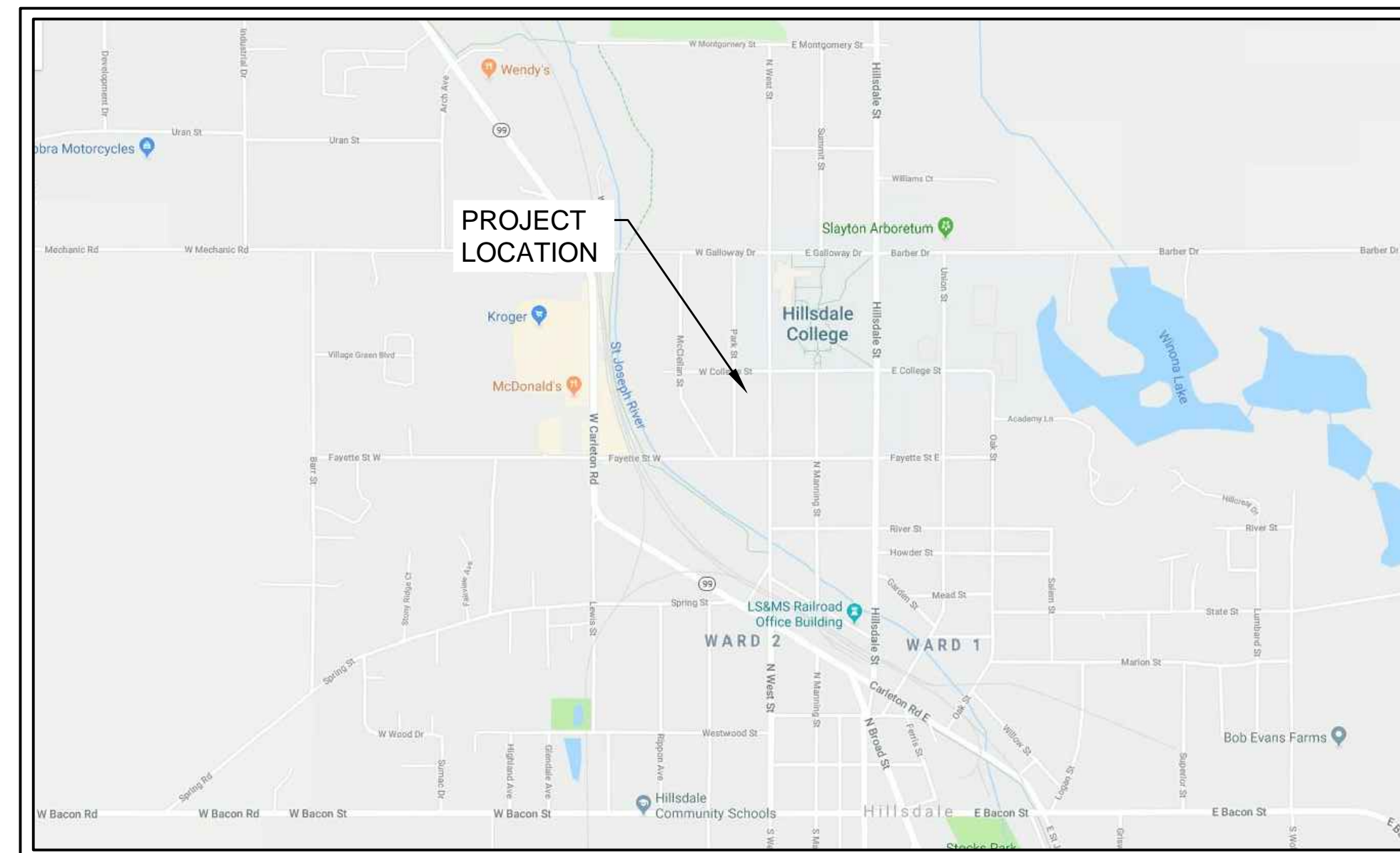
ISSUED FOR: SITE PLAN REVIEW
DATE: 10/05/18



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

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1811 4 Mile Rd NE Grand Rapids, MI 49525 616.361.2864 www.progressiveae.com

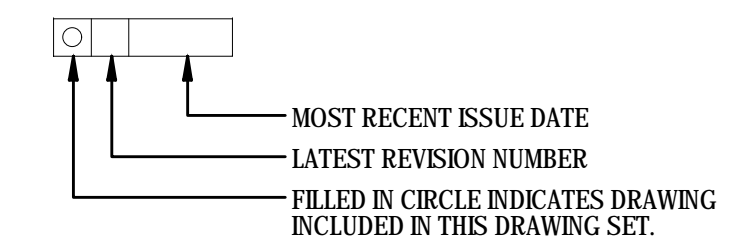


LOCATION MAP
NO SCALE
NORTH

DRAWING INDEX

	C001	COVER SHEET
	C101	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
	C201	SITE LAYOUT PLAN
	C301	SITE GRADING PLAN & DRAINAGE PLAN
	L101	PLANTING PLAN
	L201	PLANTING DETAILS

DRAWING LIST LEGEND



HILLSDALE COLLEGE
WEST STREET
PARKING LOT

NOT FOR
CONSTRUCTION

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ISSUANCES

SITE PLAN REVIEW
10/05/18

REVISIONS

NO.	DATE	DESCRIPTION
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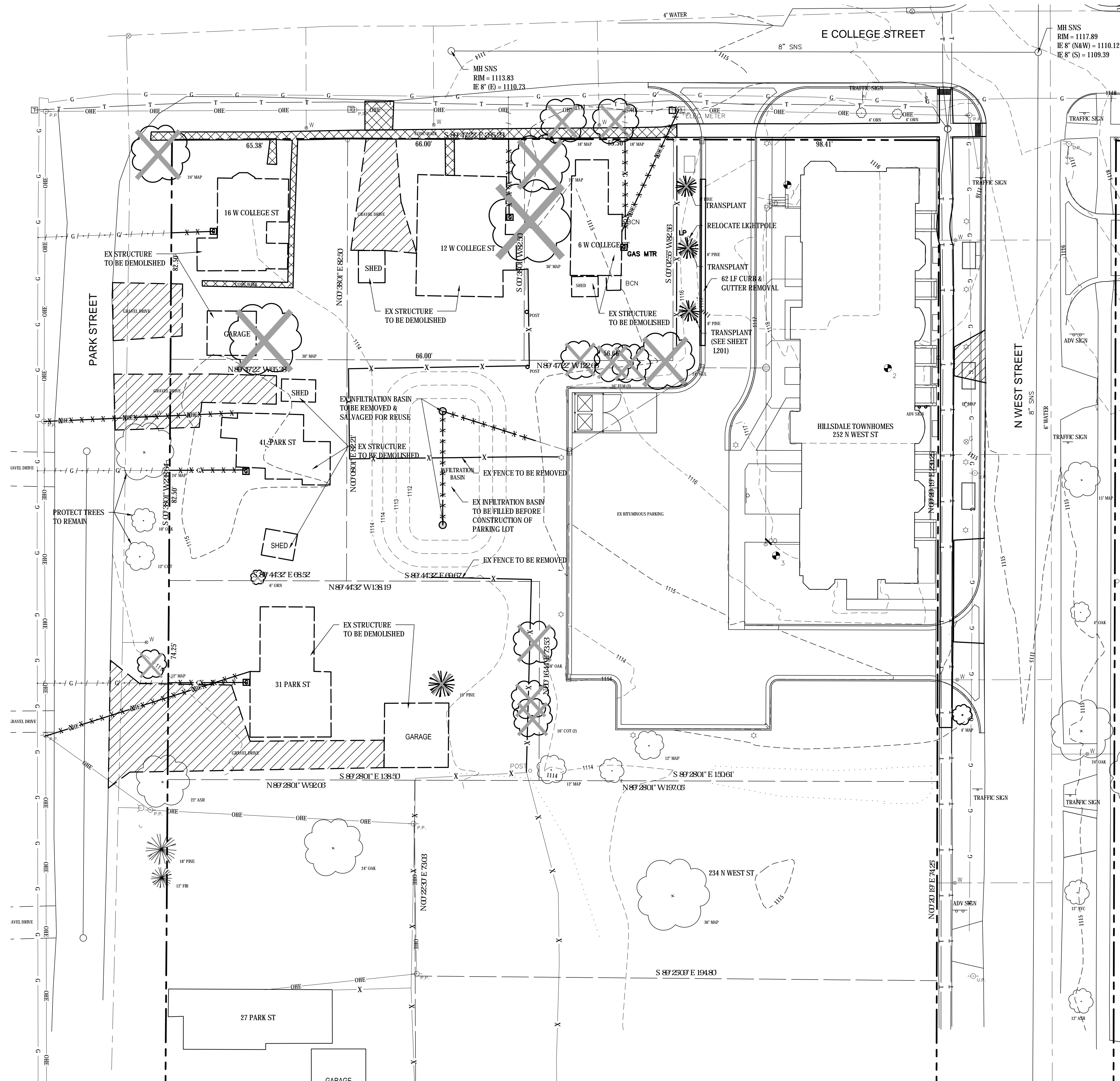
FILE NUMBER	72990022
PROJECT MANAGER	JPM
PROFESSIONAL	JPM
DRAWN BY	RWD
CHECKED BY	

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TITLE SHEET
T001

10/05/18 2:15:15 PM
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SURVEY NOTES

- EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
- SURVEY PROVIDED BY LODZINSKI & ASSOCIATES, LLC ON JUNE 9, 2016.

LEGEND

	MONUMENT
	PROPERTY IRON SET
	PROPERTY IRON FOUND
	TRAFFIC SIGNAL POLE
	BOLLARD LIGHT
	LIGHT POLE
	FLOOD LIGHT
	SKIN
	FLAG POLE
	CLEANOUT
	POWER POLE
	TELEPHONE POLE
	ELECTRICAL HAND HOLE
	TEL. ELEC. CATV. GAS. WATER RISER
	TEL. ELEC. GAS. WATER MANHOLE
	TEL. ELEC. CATV. GAS. MARKER
	CATCH BASIN
	MANHOLE
	SPRINKLER
	VALVE & BOX
	HYDRANT
	SPOT ELEVATION
	MAJOR CONTOUR - 5 FT. INTERVAL
	MINOR CONTOUR - 1 FT. INTERVAL
	GUARD RAIL
	FENCE LINE
	STORM SEWER
	SANITARY SEWER
	WATERMAN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND ELECTRIC LINE
	DITCH CENTERLINE, TOE OF SLOPE
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE & BRUSH LINE
	ABANDON UTILITY LINE
	REMOVE UTILITY LINE
	BUILDING

SITE CLEARING AND DEMOLITION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
- NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SEIC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
- ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
- NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
- REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
- THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
- EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
- ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
- PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
- TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP THE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
- CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
- CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
- ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
- SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
- ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.

DEMOLITION LEGEND

	BITUMINOUS PAVEMENT REMOVAL
	CONCRETE REMOVAL
	TREE REMOVAL
	ABANDON UTILITY LINE
	REMOVE UTILITY LINE
ALL ITEMS IN BOLD TO BE REMOVED UNLESS OTHERWISE NOTED.	

**TOPOGRAPHIC SURVEY /
DEMOLITION PLAN**



HILLSDALE COLLEGE
WEST STREET
PARKING LOT

**NOT FOR
CONSTRUCTION**

ISSUANCES

SITE PLAN REVIEW
10/05/18

REVISIONS

NO.	DATE	DESCRIPTION
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FILE NUMBER	72990022
PROJECT MANAGER	JPM
PROFESSIONAL	JPM
DRAWN BY	RWD
CHECKED BY	

TOPOGRAPHIC
SURVEY /
DEMOLITION
PLAN
C101

progressive ae

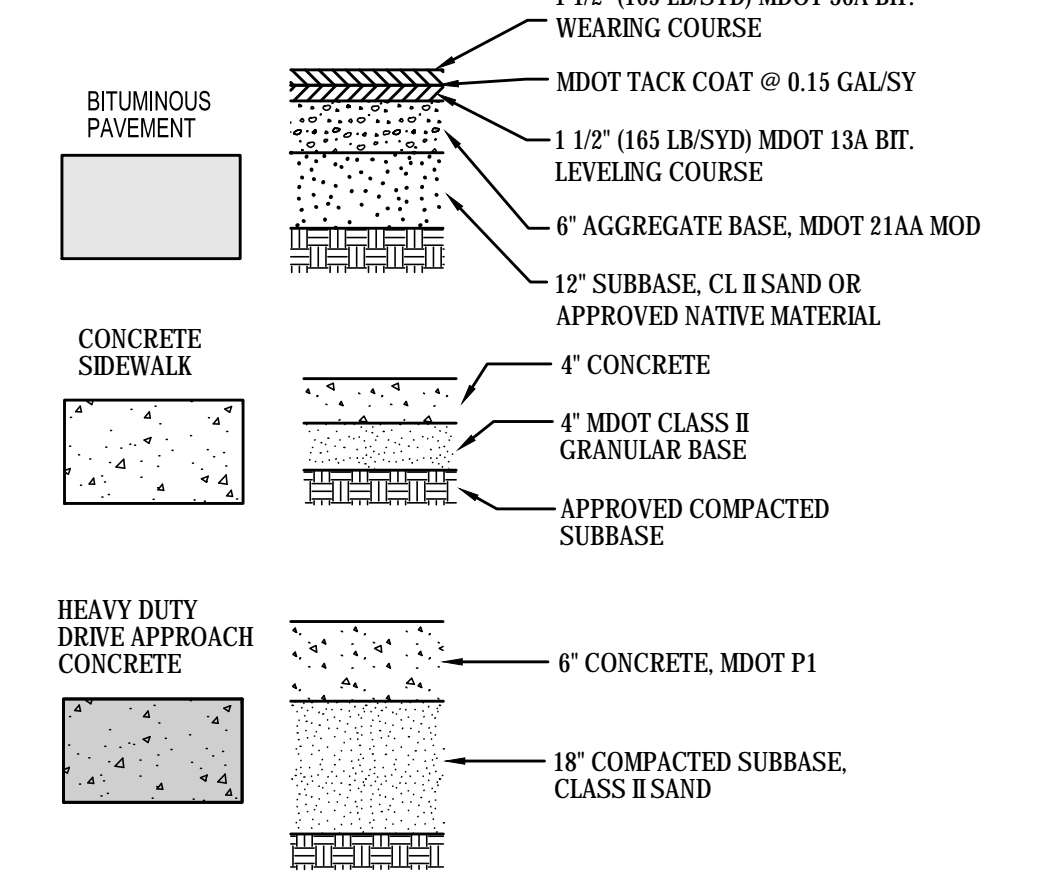
1811 4 Mile Rd NE, Grand Rapids, MI 49525 (616) 361-2684 www.progressiveae.com

HILLSDALE COLLEGE
NOT FOR CONSTRUCTION
 WEST STREET
 PARKING LOT

GENERAL SITE LAYOUT NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
3. NO DIMENSIONS MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
7. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
8. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
9. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
10. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF HILLSDALE STANDARDS.

PAVEMENT LEGEND



ZONING NOTES

ZONE DISTRICT: RM-1
 ADJACENT ZONING: C-1, RM-1 & RD-1
 PARCEL SIZE: 1.566 ACRES (5 PARCELS)
 REQUIRED SETBACKS:
 PARKING SETBACK: 3 FEET
 PARKING PROVIDED:
 STANDARD (SXS): 60
 BARRIER FREE: 3
 TOTAL SPACES: 63
 SITE AREA: 1.566 ACRES
 IMPERVIOUS AREA: 1.106 ACRES

BARRIER FREE NOTES:

1. BARRIER FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND FLORIDA BARRIER FREE CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
2. 2% MAXIMUM CROSS SLOPE ON ACCESSIBLE ROUTE(S)
3. 5% MAXIMUM LONGITUDINAL SLOPE (DIRECTION OF TRAVEL) UNLESS AT BARRIER FREE RAMP
4. 2% MAXIMUM SLOPE LONGITUDINAL AND TRANSVERSE SLOPES AT BARRIER FREE PARKING SPACES AND ASSOCIATED ACCESS AISLES
5. ACCESSIBLE ENTRIES - 2% MAXIMUM SLOPE IN ANY DIRECTION FOR THE FIRST 5' FROM ENTRY DOOR
6. CONTRACTOR TO CONTACT ENGINEER PRIOR TO PAVING IF BARRIER FREE SLOPES DO NOT COMPLY OR FOR CLARIFICATION OF ANY DISCREPANCIES.

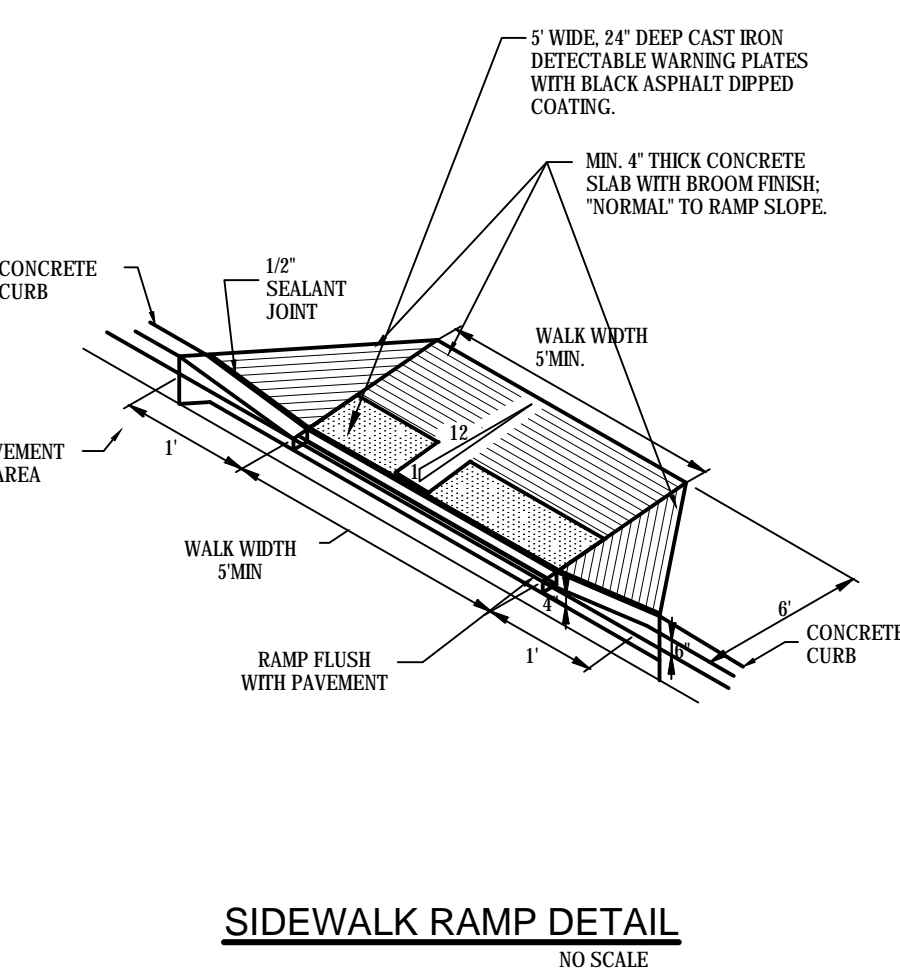
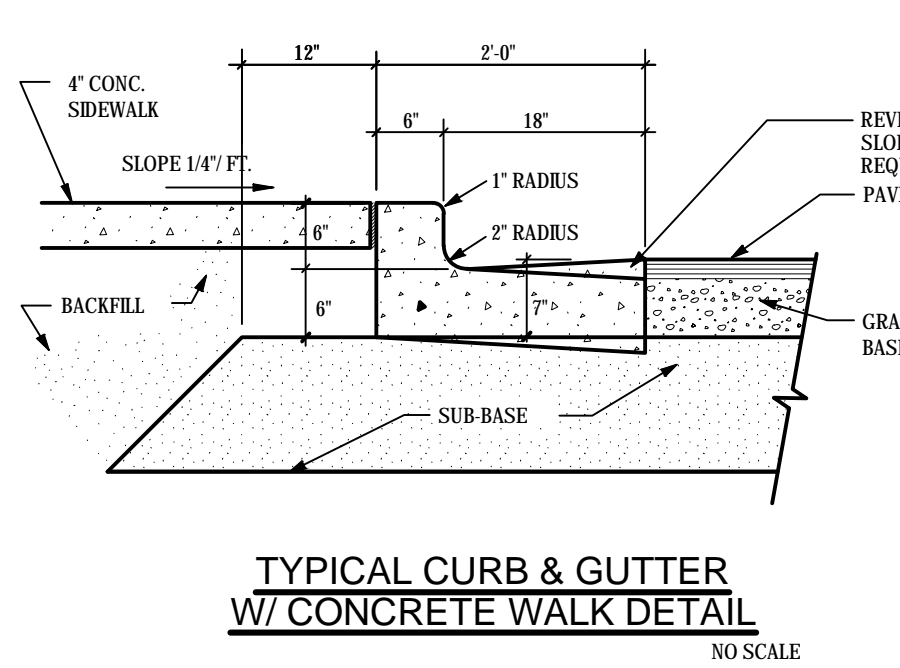
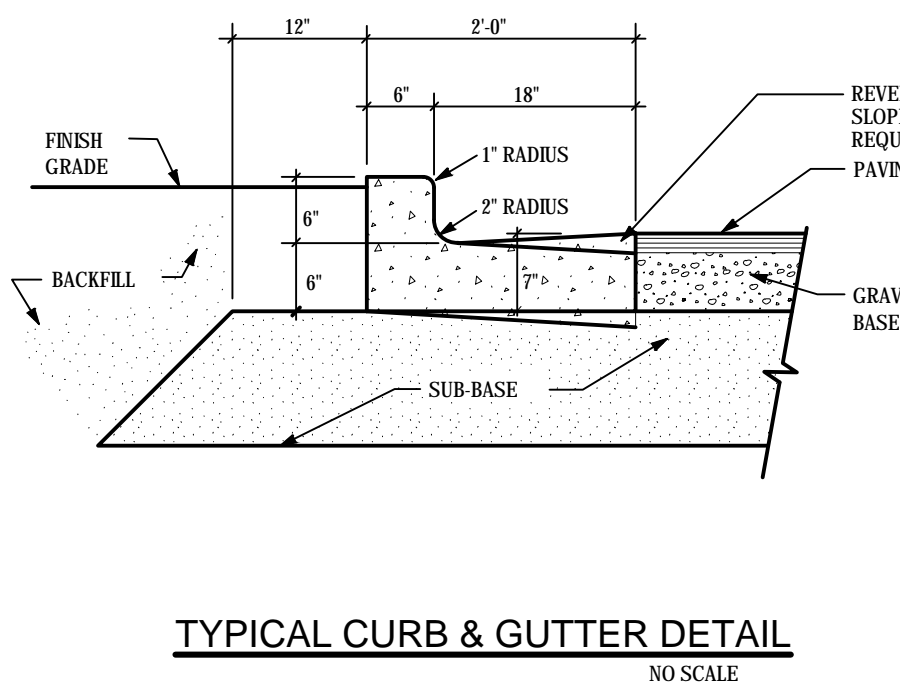
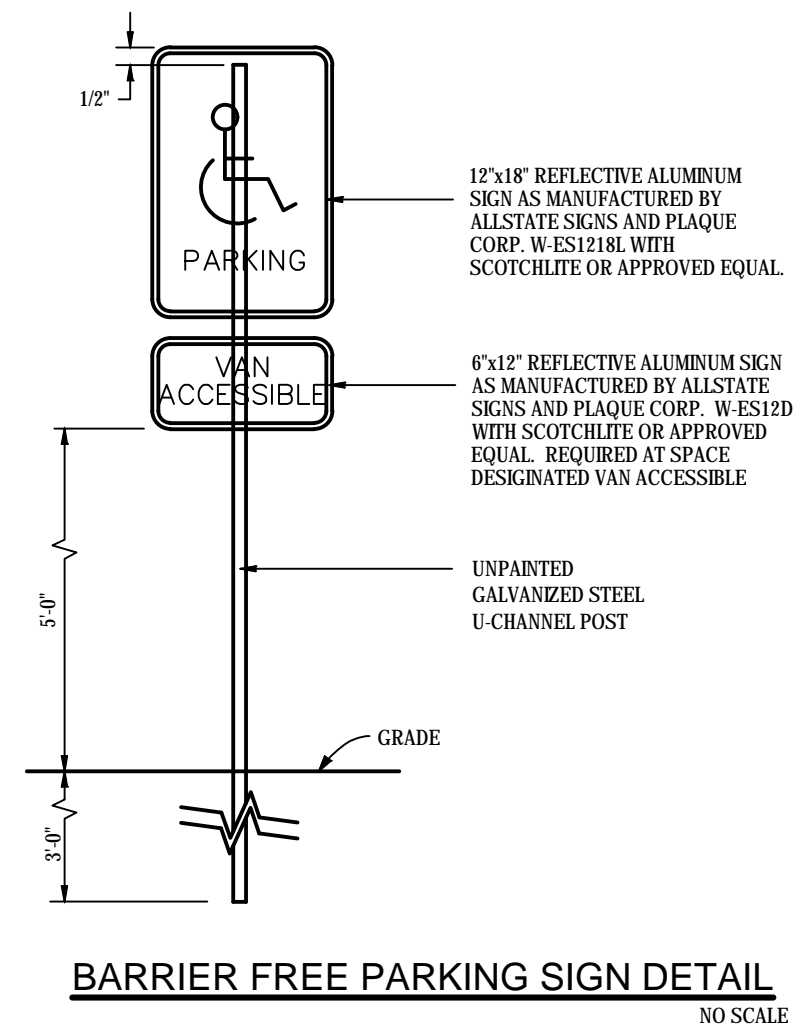
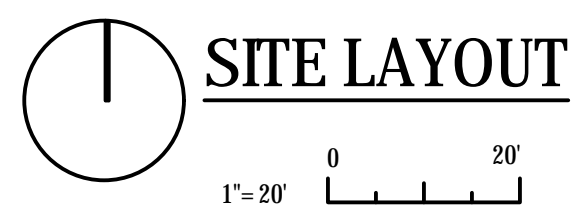
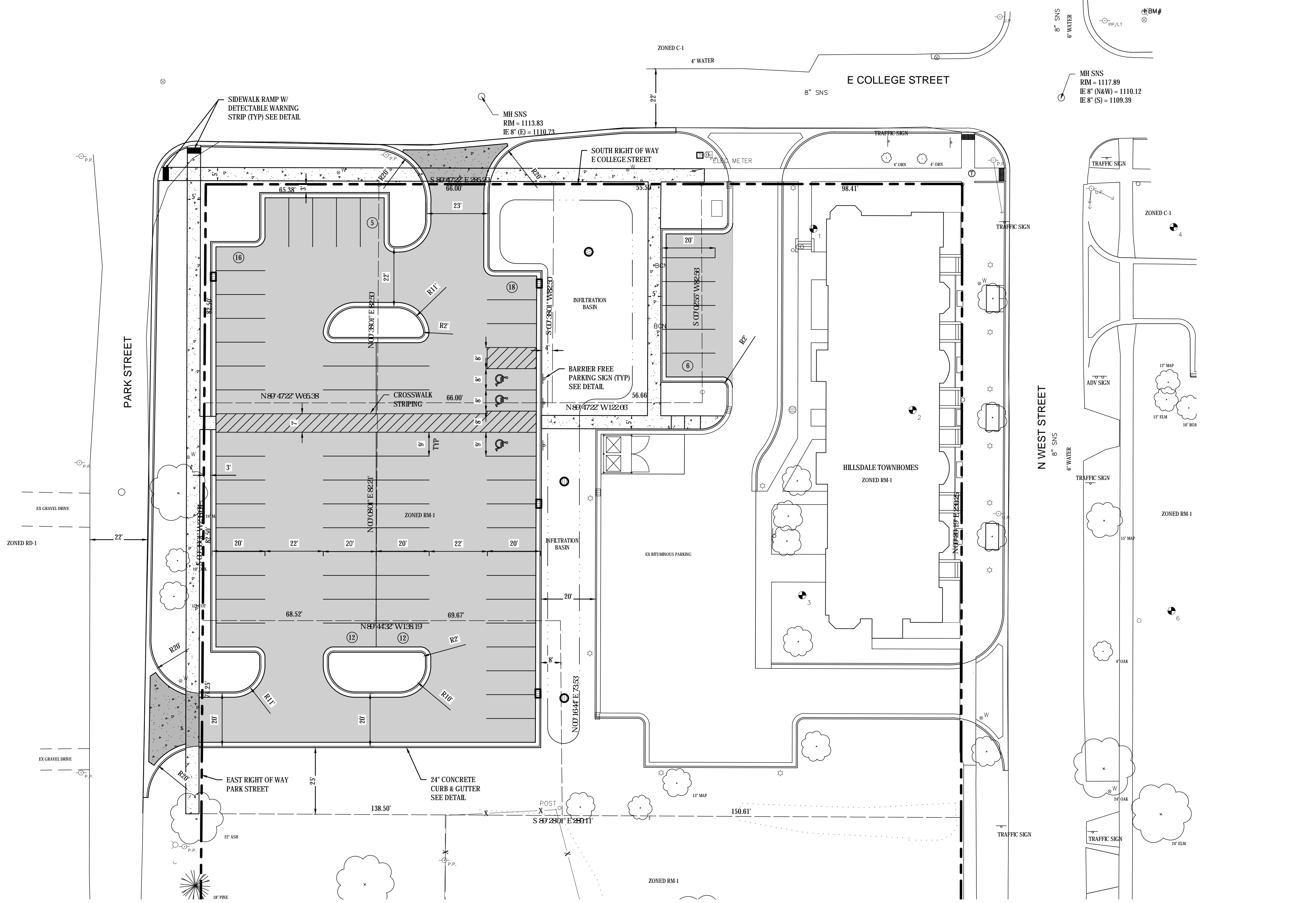
ISSUANCES

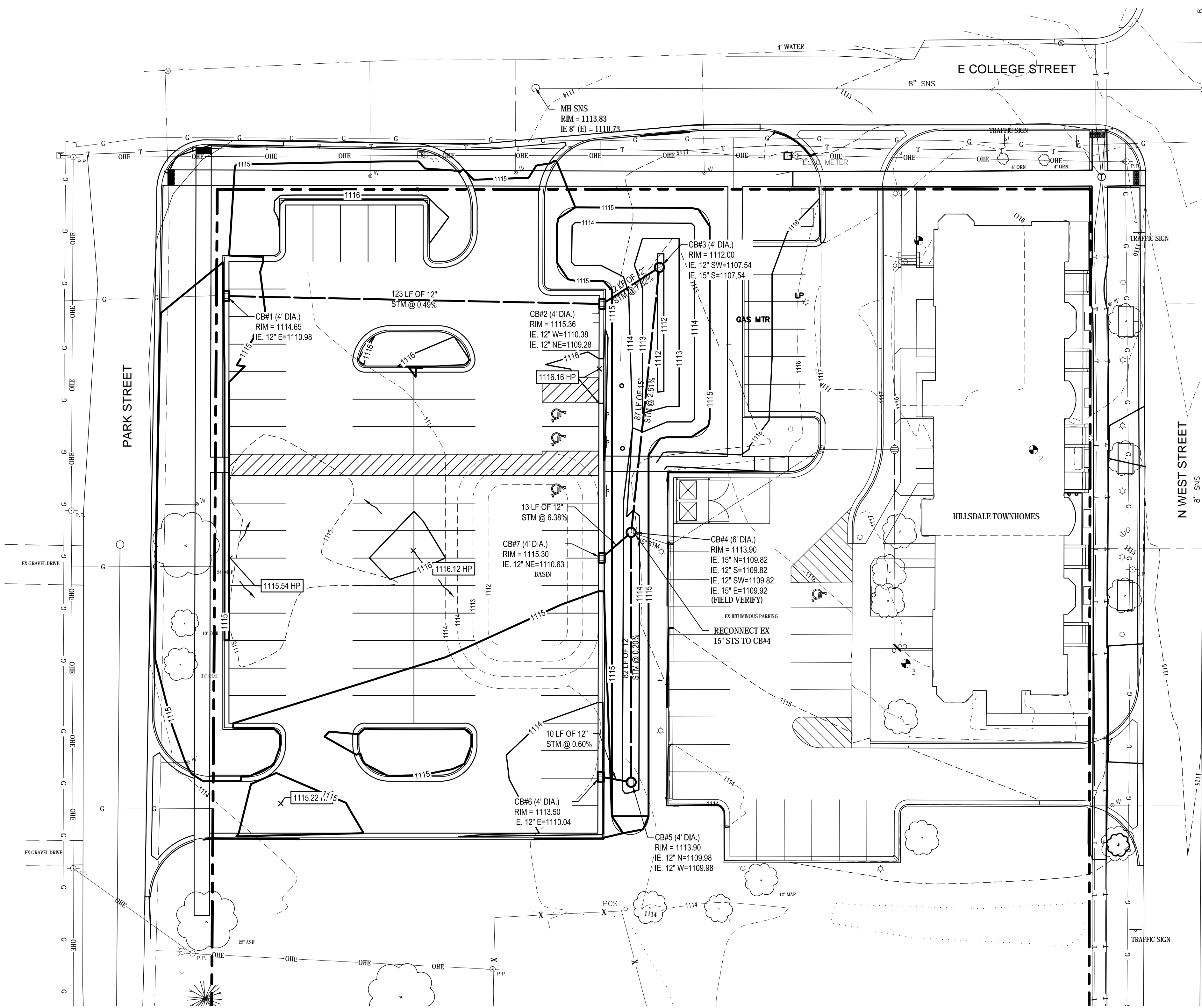
SITE PLAN REVIEW
 10/05/18

REVISIONS

NO.	DATE	DESCRIPTION
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FILE NUMBER: 72990022
 PROJECT MANAGER: JPM
 PROFESSIONAL: JPM
 DRAWN BY: RWD
 CHECKED BY:





GRADING LEGEND

→	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP

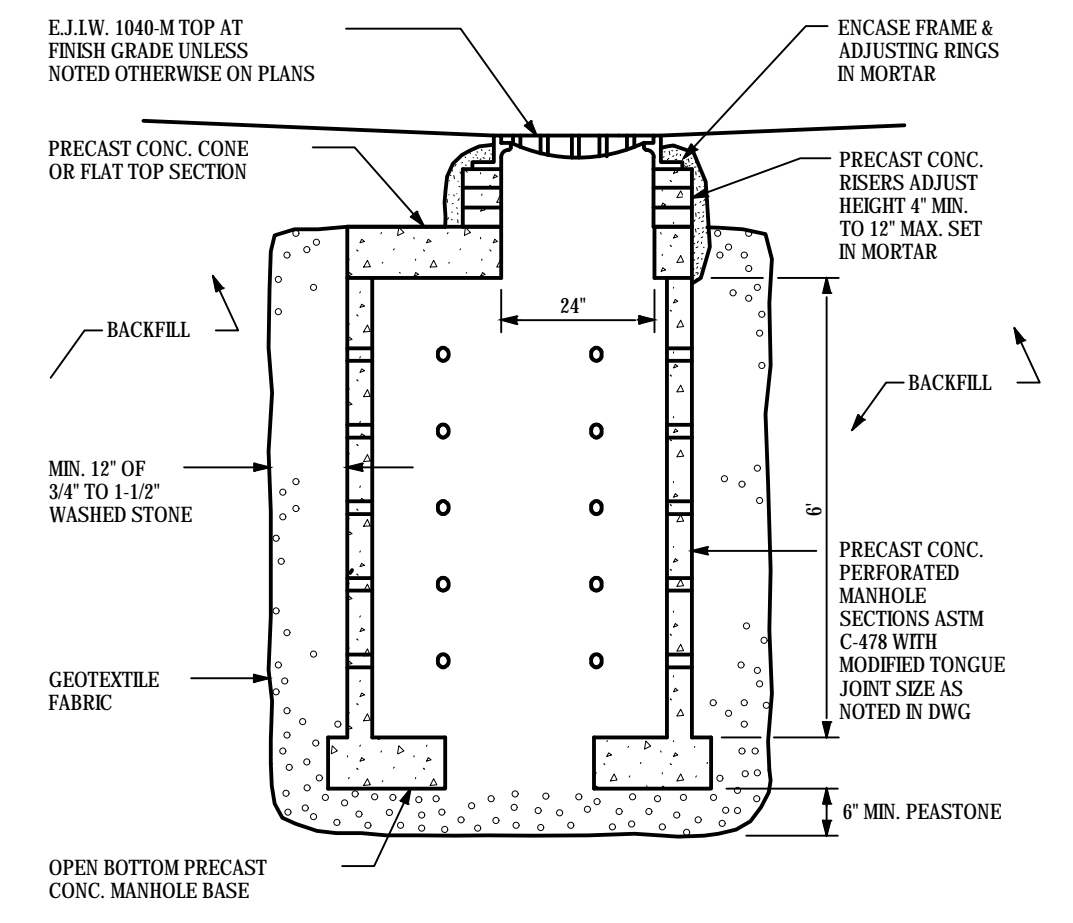
EARTHWORK & GRADING NOTES

- EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE 2012 EDITION OF THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- THE SUBGRADE SHALL BE THOROUGHLY PROOFROLLED USING THE EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
- PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
- FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
- GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE AT A MINIMUM OF 1.5 PERCENT.
- THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND THE PAVED EDGE.
- THE EXISTING SOIL MAY BE UTILIZED AS ENGINEERED FILL PROVIDED ALL DELETERIOUS OR ORGANIC MATERIALS ARE REMOVED FROM THE SOILS. ANY ON-SITE SOILS USED FOR ENGINEERED FILL SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT TO MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557, MODIFIED PROCTOR METHOD.
- ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SQ FT AREA AT EACH LIFT. WITHIN TRENCH EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT.
- SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE UNLESS SHOWN OTHERWISE.
- PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE POSITIVE STORM WATER RUNOFF TO CATCH BASINS.
- UNLESS SHOWN OTHERWISE, FINISH GRADES OF LAWN/LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 6" BELOW FINISH FLOOR ELEVATION.
- PLACE 4" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEEDED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
- FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.

STORM SEWER NOTES

- ALL STORM SEWER PIPE SHALL BE PERFORATED ASTM F2306, HIGH DENSITY POLYETHYLENE PIPE.
- YARD DRAINS (YD) TO BE 12" SQUARE DRAINTech CATCH BASIN BY NDS WITH SQUARE POLYPROPYLENE GRATE OR APPROVED EQUAL.
- SEEPAGE BASINS (CB) TO BE 4' DIA. UNLESS NOTED OTHERWISE, PER DETAIL THIS SHEET.

GRADING & DRAINAGE PLAN
1" = 20'



PERFORATED SEEPAGE BASIN (C.B.)
NO SCALE

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ISSUANCES

SITE PLAN REVIEW	10/05/18
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REVISIONS

NO.	DATE	DESCRIPTION

FILE NUMBER 72990022
PROJECT MANAGER JPM
PROFESSIONAL JPM
DRAWN BY RWD
CHECKED BY

- GENERAL LANDSCAPE NOTES**
1. CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY PLAN DISCREPANCIES.
 2. PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
 3. ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE ON PLANS
 4. CONTRACTOR TO CONTACT MISS DIG AT PHONE NUMBER 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
 5. NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
 6. SHRUB PLANTING BEDS AND TREE SAUCERS TO RECEIVE 3" SHREDDED HARDWOOD MULCH. PERENNIAL BEDS TO RECEIVE 2" DEPTH MULCH AND GROUND COVER AREAS TO RECEIVE 1" DEPTH MULCH.
 7. PLANTING MIXTURE FOR PERENNIALS SHALL BE SIX INCH DEPTH OF FOUR PARTS BY VOLUME OF TOPSOIL TO ONE PART OF SPHAGNUM PEAT MOSS.
 8. CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 9. NOTIFY LANDSCAPE ARCHITECT AND OWNER (3 DAYS MIN. NOTICE) TO INSPECT AND TAG PLANT MATERIAL IN THE NURSERY PRIOR TO JOBSITE DELIVERY AND INSTALLATION.

LAWN SEED MIX

30% KENTUCKY BLUEGRASS 98/80
25% TURF TYPE PERENNIAL RYEGRASS
25% CREEPING RED FESCUE
10% BARON KENTUCKY BLUEGRASS
10% KENBLUE KENTUCKY BLUEGRASS

SEED AT RATE OF 5 -7 LBS. PER 1,000 SQ. FT.

SCHOOL LAWN MIXTURE BY RHINO SEED, BRADLEY, MI, (877) 744-6657 OR APPROVED EQUAL

STORMWATER & ECONOMY PRAIRIE SEED MIXES BY CARDNO

SEE PLANT LISTS ON SHEET L201 - PLANTING DETAILS

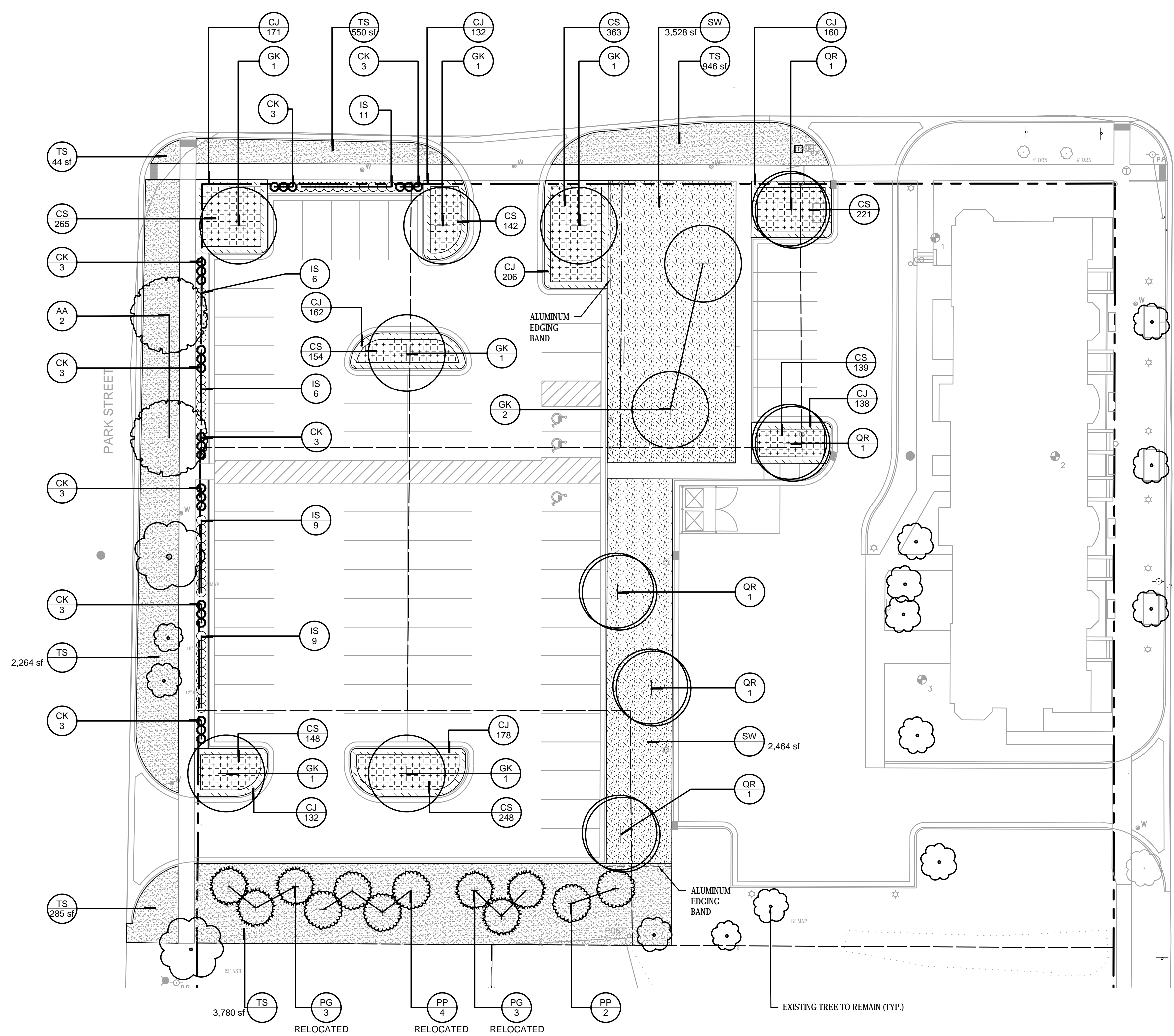
STORMWATER SEED MIX: SEED AT RATE OF 32.81 LBS. PER ACRE
ECONOMY PRAIRIE SEED MIX: SEED AT RATE OF 37.38 LBS. PER ACRE

CONTACT CARDNO FOR SEED UNIT QUANTITIES FOR SPECIES LISTED ABOVE

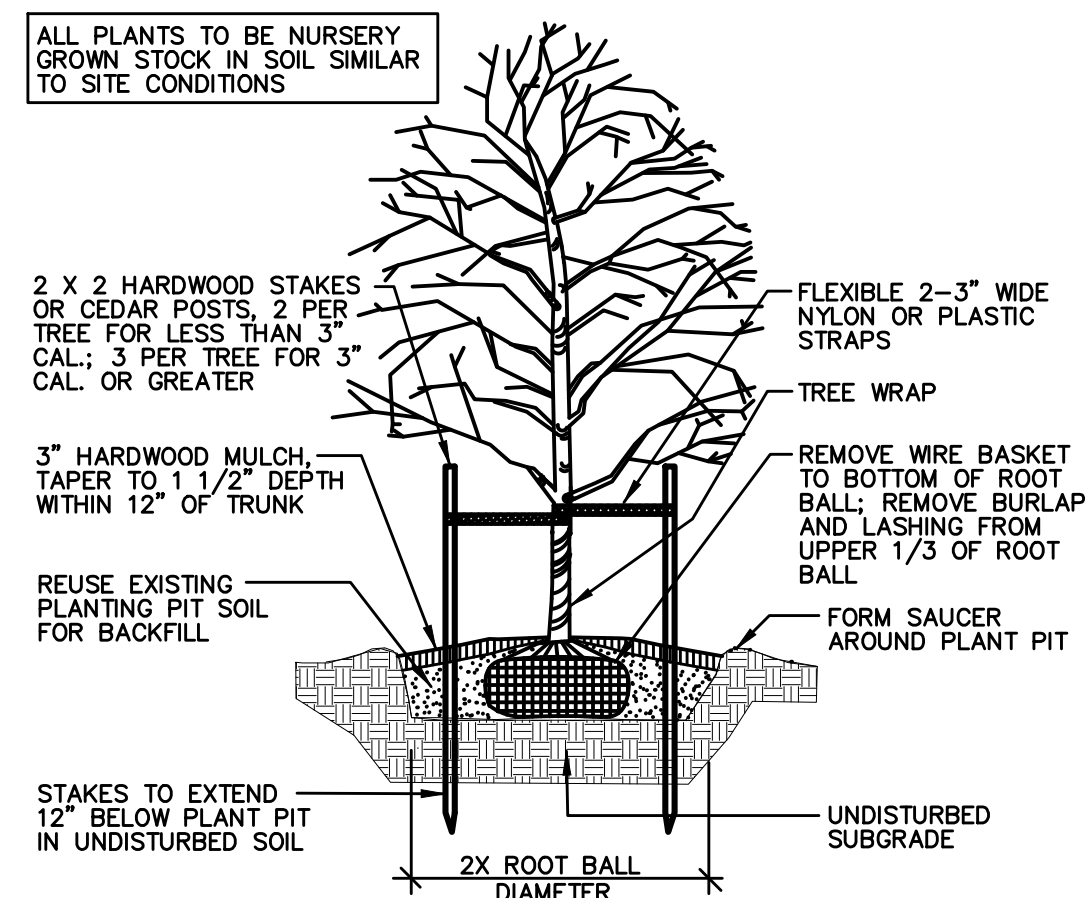
CARDNO NATIVE PLANT NURSERY, WALKERTON, IN, (574) 586-2412

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY	DETAIL
	Acer x freemanii 'Jeffersred' / Autumn Blaze Maple Matched	B&B	2 1/2" CAL.		2	
	Gymnocladus dioica / Kentucky Coffee Tree Matched	B&B	2 1/2" CAL.		8	
	Picea glauca 'Densata' / Black Hills Spruce	B&B		8' HT.	6	
	Picea pungens / Colorado Spruce	B&B		8' HT.	6	
	Quercus robur 'Fastigiata' / Pyramidal English Oak	B&B	2 1/2" CAL.		5	
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	DETAIL	
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	#2 CONT.	36" o.c.	24		
	Ilex glabra 'Shamrock' / Inkberry	#3 CONT.	36" o.c.	41		
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	DETAIL	
	Carex morrowii / Japanese Sedge	#1 Pot	12" o.c.	1,279		
	Carex pensylvanica / Pennsylvania Sedge	#1 Pot	14" o.c.	1,680		
	Storm Water Seed Mix / Storm Water Seed Mix Lower half of basin to be Stormwater Seed mix, upper half of basin to be Economy Prairie Seed Mix. See plant list on sheet L201.	SF		5,992 sf		
	Turf Seed See Lawn Seed Mix Note	SF		7,869 sf		

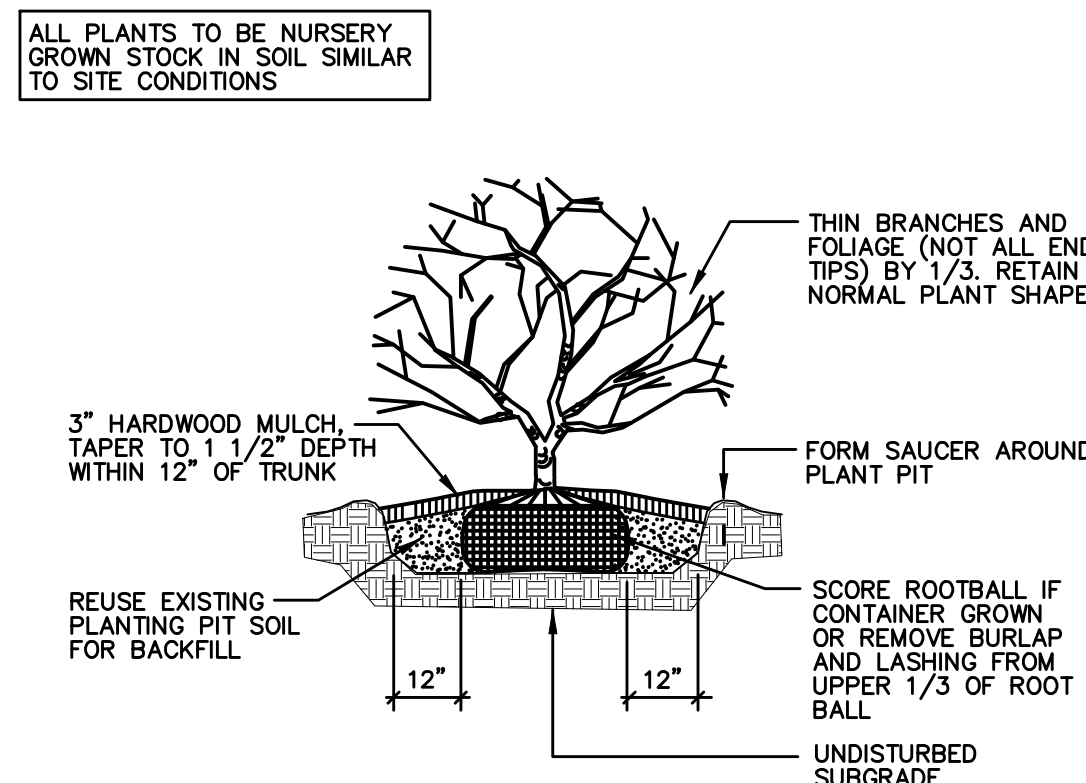


PLANTING PLAN
1" = 20'



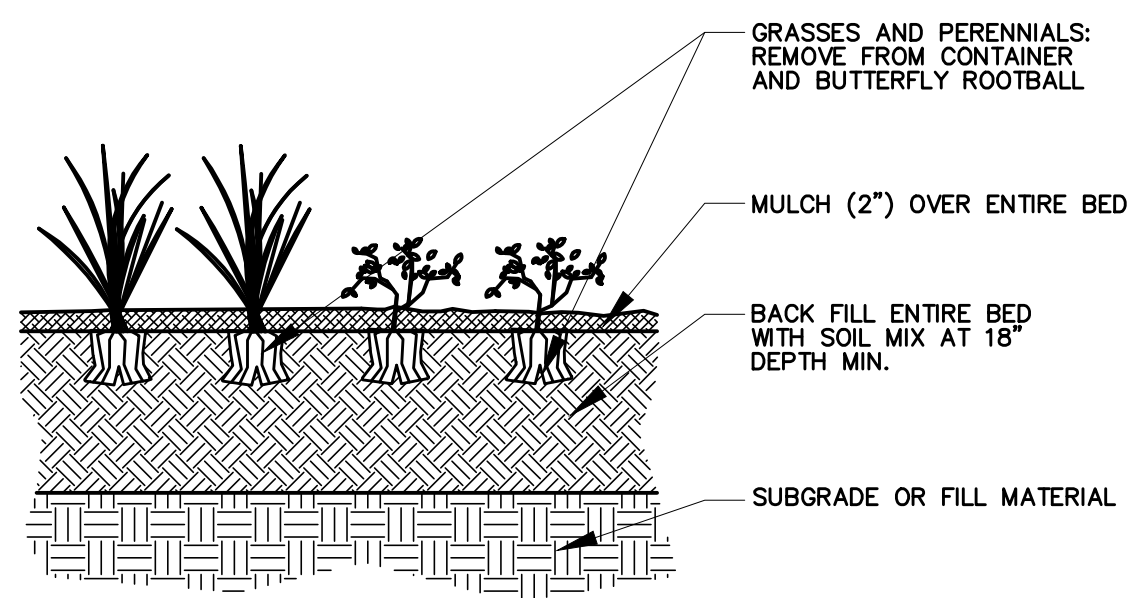
TREE PLANTING DETAIL

Not to Scale



SHRUB PLANTING DETAIL

Not to Scale



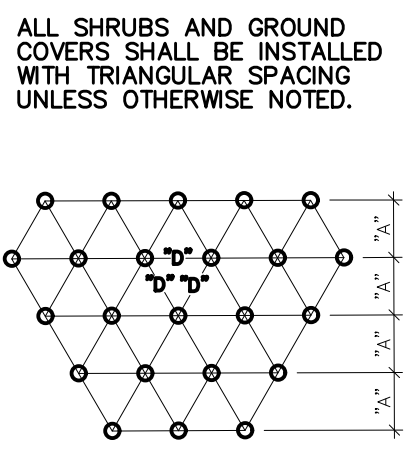
PERENNIAL & GROUNDCOVER PLANTING DETAIL

PERENNIALS | GROUNDCOVER PLANTING DETAIL

Not to Scale

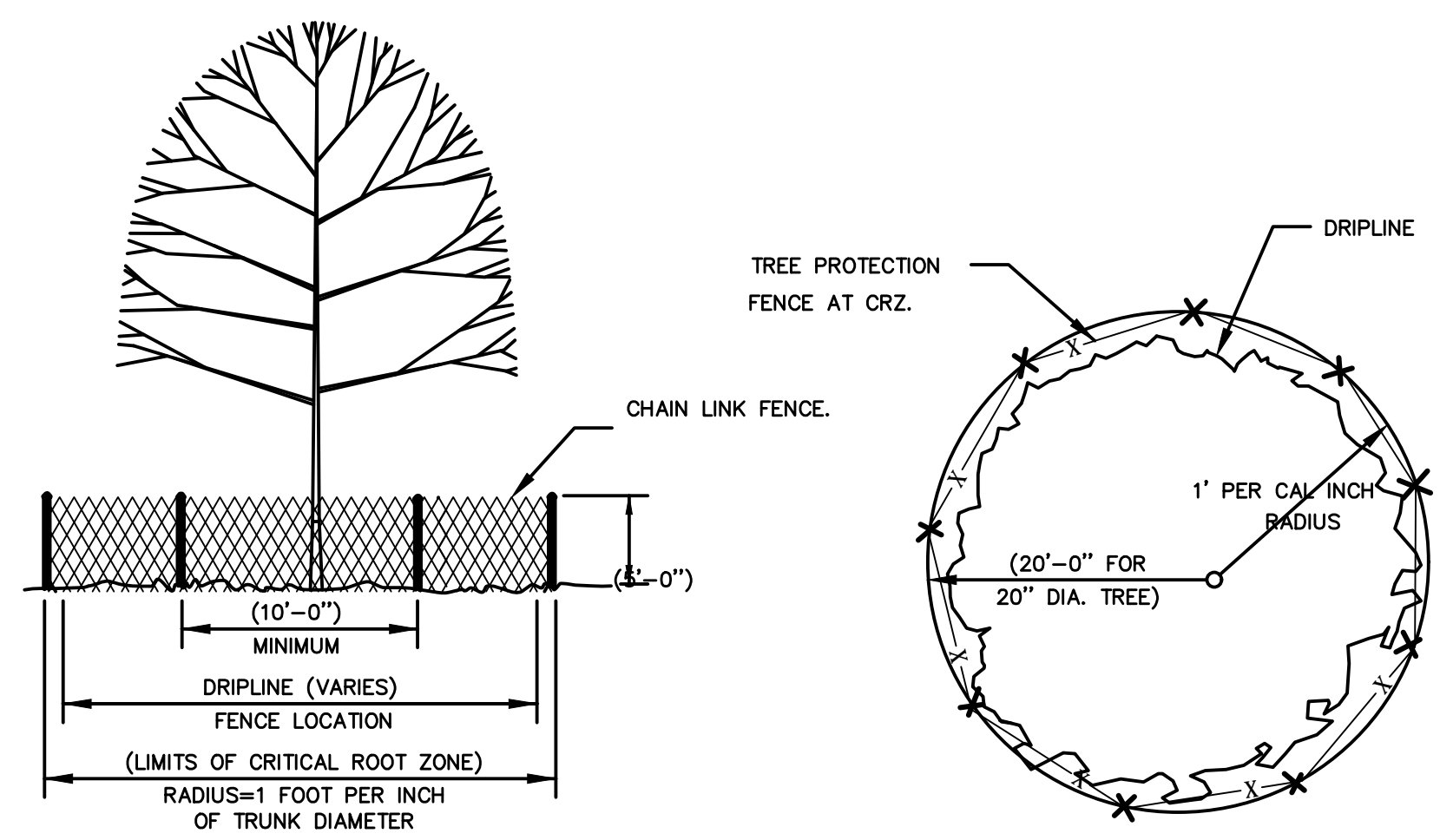
SPACING "D"	ROW "A"	NO. PLANTS	AREA UNIT
4"	3.46"	10.39	1 SQ. FT.
6"	5.20"	4.62	
8"	6.93"	2.60	
10"	8.66"	1.66	
12"	10.39"	1.15	10 SQ. FT.
15"	12.99"	7.39	
18"	15.59"	5.13	
24"	20.78"	2.89	
30"	25.96"	1.85	
36"	31.18"	1.28	

NOTES:
FOR USE ONLY WHEN PLANTS ARE SPACED EQUIDISTANCE FROM EACH OTHER AS SHOWN



PLANT SPACING CHART

Not to Scale



TREE PROTECTION FENCING DETAIL

Not to Scale

Botanical Name	Common Name	PLS Oz/Acre
Permanent Grasses/Sedges		
<i>Bolboschoenus fluviatilis</i>	River Bulrush	0.25
<i>Carex cristatella</i>	Crested Oval Sedge	2.00
<i>Carex lurida</i>	Bottlebrush Sedge	3.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	6.00
<i>Elymus virginicus</i>	Virginia Wild Rye	13.50
<i>Glyceria striata</i>	Fowl Manna Grass	1.25
<i>Juncus effusus</i>	Common Rush	2.00
<i>Leersia oryoides</i>	Rice Cut Grass	1.00
<i>Panicum virgatum</i>	Switch Grass	2.00
<i>Schoenoplectus tabernaemontani</i>	Softstem Bulrush	3.00
<i>Scirpus atrovirens</i>	Dark Green Rush	2.00
<i>Scirpus cyperinus</i>	Wool Grass	1.00
Total		37.00
Temporary Cover		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	100.00
Total		460.00
Forbs		
<i>Alisma spp.</i>	Water Plantain Mix	4.25
<i>Asclepias incarnata</i>	Swamp Milkweed	1.50
<i>Bidens spp.</i>	Bidens Mix	2.00
<i>Helenium autumnale</i>	Sneezeweed	2.00
<i>Iris virginica</i>	Blue Flag	4.00
<i>Lycopus americanus</i>	Common Water Horehound	0.25
<i>Mimulus ringens</i>	Monkey Flower	1.00
<i>Oligoneuron riddellii</i>	Riddell's Goldenrod	0.50
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50
<i>Polygonum spp.</i>	Pinkweed Mix	4.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00
<i>Rudbeckia triloba</i>	Brown-Eyed Susan	1.50
<i>Sagittaria latifolia</i>	Common Arrowhead	1.00
<i>Sanna hebecarpa</i>	Wild Sanna	1.00
<i>Symphoricarum novae-angliae</i>	New England Aster	1.50
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	2.00
Total		28.00

STORMWATER SEED MIX - PLANT LIST

Not to Scale

Botanical Name	Common Name	PLS Oz/Acre
Permanent Grasses/Sedges		
<i>Andropogon gerardii</i>	Big Bluestem	12.00
<i>Bouteloua curtipendula</i>	Side Oats Grama	16.00
<i>Carex spp.</i>	Prairie Sedge Mix	3.00
<i>Elymus canadensis</i>	Canada Wild Rye	24.00
<i>Panicum virgatum</i>	Switch Grass	2.50
<i>Schizachyrium scoparium</i>	Little Bluestem	28.00
<i>Sorghastrum nutans</i>	Indian Grass	12.00
Total		97.50
Temporary Cover		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	100.00
Total		460.00
Forbs		
<i>Asclepias syriaca</i>	Common Milkweed	1.00
<i>Asclepias tuberosa</i>	Butterfly Weed	1.00
<i>Chamaecrista fasciculata</i>	Partridge Pea	9.00
<i>Coreopsis lanceolata</i>	Sand Coreopsis	5.00
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	7.50
<i>Heliopsis helianthoides</i>	False Sunflower	0.25
<i>Lupinus perennis</i>	Wild Lupine	1.00
<i>Monarda fistulosa</i>	Wild Bergamot	0.50
<i>Penstemon digitalis</i>	Foxglove Beard Tongue	1.00
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	0.50
<i>Ranibida pinnata</i>	Yellow Coneflower	3.50
<i>Rudbeckia hirta</i>	Black-Eyed Susan	8.00
<i>Solidago speciosa</i>	Showy Goldenrod	1.00
<i>Symphoricarum laeve</i>	Smooth Blue Aster	0.50
<i>Symphoricarum novae-angliae</i>	New England Aster	0.75
Total		40.50

ECONOMY PRAIRIE SEED MIX - PLANT LIST

Not to Scale

HILLSDALE COLLEGE

PARKING LOT

NOT FOR CONSTRUCTION

ISSUANCES

SITE PLAN REVIEW
10/05/18

REVISIONS

NO. DATE DESCRIPTION

FILE NUMBER 72990022
PROJECT MANAGER JPM
PROFESSIONAL JPM
DRAWN BY RPJ
CHECKED BY

PLANTING
DETAILS
L201

progressive ae

1811 4 Mile Rd NE, Grand Rapids, MI 49525 (616) 361-2654 www.progressiveae.com

10/05/18 02:25:44 AM
P:\2018\2018\2018\11-1201 PLANTING DETAILS.dwg Jmmstep

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TO: Planning Commission

FROM: Zoning Administrator

DATE: October 16, 2018

RE: Zoning Ordinance Amendments

Background: The Sign Ordinance and the Industrial District are included for the public hearing. At the closing of the public hearing, I am asking the Planning Commission to recommend the ordinances be sent to Council for final approval and adoption. Barring any significant changes needed as a result of the public hearing.



PUBLIC HEARING

PLEASE TAKE NOTICE that the Hillsdale City Planning Commission has set a Public Hearing for October 16, 2018 at 5:30 p.m. in the Council Chambers, City Hall, 97 N. Broad St., Hillsdale, Michigan to consider the proposed ordinance amendments. You may view the proposed amendments in their entirety at www.cityofhillsdale.org. Printed documents are available upon request at the Hillsdale City Hall Clerk's Office.

Proposed Ordinance Amendments

Chapter 26 – Signs

Sec. 36-311 thru 36-315 – I-1 Industrial District

Chapter 26 - SIGNS

ARTICLE I. - IN GENERAL

Sec. 26-1. - Purpose.

The purposes of this chapter are to encourage the effective uses of signs as a means of communication in the city, to maintain and enhance the aesthetic environment, to augment historical preservation and the city's ability to attract sources of economic development and growth, to improve pedestrian and traffic safety and public health, to minimize the possible adverse effect of signs on nearby public and private property, to keep signs within a reasonable scale with respect to the buildings and the property to which they relate, and to enable the fair and consistent enforcement of these sign restrictions.

Sec. 26-2. - Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Abandoned conforming sign means a sign that conforms to current ordinances but relates to an owner or occupant that has not owned or occupied the premises where the sign is displayed for a period of at least 90 consecutive calendar days.

Abandoned non-conforming sign means a sign that does not conform to current ordinances and that relates to an owner or occupant that has not owned or occupied the premises where the sign is displayed for a period of at least 90 consecutive calendar days.

Address sign means a sign utilizing a numerical or other designation to indicate the location of a building on a street or right-of-way.

Aggregate square footage means the sum of the square footage of all signs and their areas per parcel.

Animated sign means a sign, sign structure or component, that rotates, revolves, moves, emits flashes of light, blinking lights or images, changes or appears to change, or displays, depicts or creates the impression or appearance of movement or change by mechanical, electronic or other means or methods.

Attended sign means a sign that is hand-held or carried by a person such as a placard, picket, or poster.

Awning means a retractable or fixed shelter constructed of rigid or non-rigid materials on a supporting framework that project from the exterior wall of a building.

Awning sign means a sign applied to the surface of an awning.

Banner sign means a temporary sign, constructed of canvas, paper, vinyl, or other similar materials that is not permanently affixed to any wall or sign structure and is intended for a limited period of display.

Billboard means an off-premises sign that conveys a message not related to the owner or occupant of the lot on which the sign is located.

Canopy means a permanent roof-like shelter extending over a public access or service area, (intended to include gasoline station canopies).

Changeable copy or message area means a sign or portion of a sign that displays characters, letters, or illustrations that can be changed or rearranged physically without altering the face or surface of the sign. If designed as changeable copy or message area, it shall be in a subordinate location to the fixed-message area.

Conforming sign means a sign that conforms to current ordinances.

Digital sign means a sign or sign structure that utilizes an electronic means to display a series of messages that are changed by electronic means. Digital sign does not include an electronic message sign.

Electronic-message sign means a sign that only displays static messages containing text or numbers that are directly associated with the current advertiser. An electronic message sign does not include a digital sign device that displays graphics other than messages containing text or numbers.

Fixed-message area means that portion of a permitted sign that is used for a permanent message.

Flag means a message, emblem or design displayed on fabric or other material generally mounted to a pole.

Freestanding/pylon sign means a sign supported on poles, not attached to a wall or building.

Government sign means a temporary or permanent sign erected by the city, the county, townships, or the state or federal government.

Ground-pole or ground-mounted sign means a sign supported by one or more uprights, poles or braces placed in or upon the ground surface and not attached to any building.

Historical sign means a sign that has been granted historical status according to the guidelines set forth by the Michigan State Historic Preservation Office (SHPO).

Illuminated sign means a sign that utilizes artificial light directly or through any transparent or translucent material from a source of light within such sign, or a sign illuminated by a light so shielded that no direct rays from it are visible from or shine upon any public right-of-way or abutting property.

Mansard means a roof having two slopes, with the lower slope much steeper than the upper slope. The lower slope is oriented on a vertical axis and therefore is visible as a part of the building facade. The mansard cap is a version of this roof that often is applied to only one facade on the building, particularly one-story structures. Fascia roofs and parapet walls shall be regulated as a mansard for purposes of this article.

Marquee means a permanent structure that projects from the exterior wall of a building.

Marquee sign means a sign affixed flat against the surface of the marquee.

Memorial/commemorative sign means a sign to commemorate a historical event, to honor the memory of a personage.

Monument/ground sign means a sign supported by a solid base with zero ground clearance, not attached to a wall or building.

Mural means an artistic design or representation painted or drawn flat on a building wall or surface.

Non-conforming sign means a sign related to the owner/tenant of the property that does not conform to current ordinances.

Off-premises sign means any sign located on property that displays a message or other information related to an owner/occupant that is not located on the same property as the sign.

On-premises sign means a sign that displays a message or other information that relates to an owner/occupant of the same premises.

Pennants, spinners, and streamers means an article of material mounted to a building or suspended from a rope, wire, or string designed to move with the wind in a free-flying manner.

Portable sign means a sign designed to be moved easily and not permanently affixed to the ground, a structure or building, including signs attached to or painted on vehicles parked and visible from the public right-of-way, for the purposes of advertisement.

Projecting sign means a sign that is attached perpendicular to a building or wall and extends more than 12 inches from the face of the building or wall.

Roof sign means a sign erected above the roofline of a building.

Roofline means the top edge of a roof or parapet wall, whichever is higher, but excluding any cupolas, chimneys, or any minor projections.

Sandwich-board/A-frame sign also known as a "tent" sign, that is displayed temporarily at a storefront.

Sign means any writing, pictorial representation, illustration, decoration, emblem, symbol, design, trademark, or figure that is a structure or a part of a structure or is written, printed, painted, projected, constructed, illuminated, or otherwise placed or displayed upon any structure, building, parcel of land, or within three feet of a window interior that attracts attention to the subject thereof or is used as a means of identification, advertisement, announcement, expression, or decoration and that is visible from a street, right-of-way, sidewalk, alley, park, or other public property.

Sign area means the maximum height multiplied by the maximum width of the sign components including any frame or other material or color or open spaces or voids forming an integral part of the display or used to differentiate such sign from the background against which it is placed; excluding the necessary supports or uprights on which such sign is placed. Both sides of a sign structure may be used for sign purposes, provided the sides have an 180-degree, back-to-back relationship. In the case of a sign with letters individually mounted to a wall the total surface area shall be measured by outlining the outer edges of the letters including the wall surface beneath.

Signage area means the permitted sign area for a particular sign type calculated in accordance with the standards and formulas of this article e.g. ground floor wall area x (%) of wall permitted as signage = permitted signage area.

Site Clearance Triangle means the area formed at the corner intersection of two public rights-of-way or a public right-of-way and a driveway. Two sides of the triangle area being ten feet in length measured along the right-of-way lines and/or access drive line and the third side being a line connecting these two sides. For the purpose of plantings located in the lawn extension/terrace, the site clearance triangle extends beyond the right-of-way line to the curb/edge of pavement at an angle perpendicular to both of those lines.

Special condition sign means any sign that does not otherwise meet the condition or definition of a sign within the article. Special condition signs shall still meet the zoning district allowances set forth in section 26-8.

Storefront means the predominant frontage occupied by a singular tenant, incremental in lengths of 20 feet, and an additional percentage thereof.

Temporary sign means any sign used for a limited duration and which is not attached/affixed in any permanent manner.

Temporary yard sign means any sign used for a limited duration and which may be staked or otherwise placed in a yard but not in the right-of-way.

Wall sign means a sign that is attached directly to or painted upon a building wall and does not extend more than 12 inches therefrom, with the exposed face of the sign in a plane parallel to the building wall.

Window sign means a sign installed flat on the outside or inside of a window with the message or other information it contains being viewable only from a street, right-of-way, sidewalk, alley, park, or other public property.

Sec. 26-4. - General sign provisions.

- (a) No person shall erect, alter, place or permit to be placed, or replace any sign without first obtaining a city sign permit and a county building permit, if necessary, provided the following signs shall not require a zoning and/or building permit.
- (b) The following signs shall be allowed within all districts without permit, but subject to the provisions of section 26-5.
 - (1) Flags.
 - (2) Government signs
 - (3) Historical markers erected by a federal, state, or local government.
 - (4) Decorative signs.
 - (5) Interior signs, signs not visible from any street.
 - (6) Memorial/Commemorative signs
 - (7) Murals
 - (8) Name/address signs
 - (9) State of Michigan tourist oriented directional signs.
 - (10) Window signs not to exceed 50 percent of window and glass area.
 - (11) Freestanding yard signs; so long as they are not placed within the public right-of-way
- (c) All signs shall be maintained free of peeling paint or paper, fading, staining, rust, or other conditions which impair legibility.
- (d) Sign supports, braces, guys and anchors shall be maintained in such a manner as not to cause a hazard. All signs must be installed in accordance with the single state construction code.
- (e) Signs may be internally illuminated or, if externally illuminated, the source of the light shall be enclosed and directed to prevent the source of light from shining onto traffic, up into the night sky, or onto any residential district or property.
- (f) No sign shall be permitted in the right-of-way unless otherwise noted.
- (g) All ground, wall, freestanding, and pylon signs may include changeable display/reader boards.
- (h) Portable signs commonly referred to as "sandwich board" or "A-frame" shall be allowed for temporary use only. Only one such sign is permitted per tenant. These signs shall not exceed two feet in width and four feet in length to a flat side and will be allowed to have changeable text. The placement of such a sign shall not interfere with the free and unobstructed travel of pedestrians on sidewalks or walkways, nor with the view of drivers at any intersection. The sign must be removed no later than 10 pm and placed indoors. Sandwich board/A-frame signs that are left out beyond this time shall be in violation of this chapter. This provision shall also apply to T-shaped or inverted "T" signs, which shall be subject to the same restrictions.
- (i) Awnings, suspended signs, canopies and marquees are permissible within the right-of-way with the approval of the zoning administrator as to compliance with the single state construction code. Awnings may not project over eight feet into the public right-of-way, and must have a minimum clearance of eight feet from grade.

- (j) One address sign shall be placed at the main entrance to each principal structure on any property such that same is plainly legible and visible from the street fronting the property, to assist ambulance, police and fire-protection response. Wall-mounted address signs shall not exceed four square feet in surface area, and shall be visible from the street for which the address applies. Address signs identifying a business shall have a minimum height of six inches.
 - (1) Freestanding address signs may be provided at single-family residences, not to exceed two square feet in area and five feet in height. Commercial, industrial, institutional, and multi-family uses are encouraged to include an address sign or signs on any freestanding sign on the lot as well.
 - (2) At properties that have three or more principal buildings such as apartment complexes and mixed-use commercial developments, an address-directory sign may be required by the city. The size, height, location and illumination (if any) of the address-directory sign shall be reviewed and approved by the zoning administrator.
- (k) Sign measurement:
 - (1) The area of a sign shall be measured as the area within a single, continuous perimeter composed of any straight line geometric figure which encloses the extreme limits of writing, representation, emblem, logo or graphic, together with any frame or other material or color forming an integral part of the display or used to differentiate the sign from the background against which it is placed, excluding only the structure necessary to support the sign.
 - (2) The area of a freestanding, projecting or monument sign that has two or more faces shall be measured by including the area of all faces, unless the two faces are placed back to back and are of equal size, in which case the area of the two back to back faces shall be counted as one face.
 - (3) The height of a sign shall be measured as the vertical distance from the highest point of the sign to the grade of the adjacent street, or the average grade of the ground immediately beneath the sign.
 - (4) For buildings with multiple tenants, the sign areas for wall signs, projecting signs and awning signs shall be determined by taking that portion of the front wall of the building applicable to each tenant and computing sign requirements for that portion of the entire wall.
 - (5) Awning signs will be calculated by the area encompassing the lettering and graphic. Calculations will not include the material or fabric of the awning itself.
- (l) No signs, including, but not limited to, banners and placards or other publicly displayed structures carrying lettering or designs shall be placed in, upon, or over any street, public right-of-way, alley or other public place under the jurisdiction and control of the City of Hillsdale, provided, however, that the placement of signs, including but not limited to banners and placards or other publicly displayed structures carrying lettering or designs in, upon, or over the Highway M-99 right-of-way shall be exempt from this provision, but shall be subject to compliance with all applicable state statutes, rules, regulations and requirements.

Sec. 26-5. - Signs prohibited.

- (a) A sign not expressly permitted by this chapter is prohibited.
- (b) No sign shall be placed in, upon or over any public right-of-way, alley, or other public place, except as may be otherwise permitted by this chapter or other ordinance of the city.
- (c) No light pole, utility pole, tree within a public right-of-way, or other supporting member shall be used for the placement of any sign unless specifically designed for and otherwise approved by the city for such use.
- (d) No sign shall be erected in any place where it may, by reason of its position, shape, color, or other characteristic, interfere with, obstruct the view of, or be confused with any authorized traffic sign, signal, or device, or constitute a nuisance per se.
- (e) Vehicles, which are not used for any other purpose and have the intended function of acting as a sign, shall not be parked in any area visible from the right-of-way.
- (f) No wall sign shall extend beyond the edge of the wall to which it is affixed, and no wall sign shall extend above the roof line of a building, without review and approval by the zoning administrator.
- (g) No roof sign shall be erected above the roof line of a building without review and approval the zoning administrator.
- (h) Obstructions to any door, window, sidewalk, or fire escape. No sign shall be erected, relocated, or maintained so as to prevent ingress or egress from any door, window, sidewalk, or fire escape.
- (i) Abandoned signs shall be removed in accordance with their status as to conformity. Where such signs are non-conforming in size, or height, or other features, messages and the sign structure shall be removed within 90 calendar days. Where the sign is conforming but abandoned, messages must be removed within 90 calendar days. The structure of the sign shall be removed after one year if non-conforming. Any abandoned conforming sign or non-conforming sign or sign structure may be removed by the city at the expense of the property owner.
- (j) Sign constituting a public nuisance. If a sign is determined to be a public nuisance, as defined in chapter 14 of the City of Hillsdale Code of Ordinances, it shall be abated in accordance with the procedures provided.

Sec. 26-6. - Permitted temporary signs in all districts.

The following non-illuminated, temporary signs are permitted in all districts without a permit or prior approval, except as otherwise hereinafter provided:

- (1) Freestanding temporary yard signs may not be placed in the public right-of-way.
- (2) Wall-mounted temporary signs. One wall-mounted temporary sign shall be permitted in lieu of a freestanding temporary sign subject to the same restrictions set forth in the schedule. The sign shall be restricted to the ground floor wall of a building.
- (3) Temporary window signs. One temporary window sign shall be permitted in lieu of a freestanding or wall-mounted temporary sign subject to the same restrictions. In addition, the sign shall not exceed 50 percent of the window area.
- (4) Temporary signs shall be restricted according to the following schedule:

Zoning District	Maximum Height of Freestanding Sign	Maximum Sign Area in Square Feet
Residential R-1, RD-1	6 feet	6 square feet

B-2	6 feet	6 square feet
B-1, RM-1, C-1	6 feet	16 square feet
B-3	6 feet	24 square feet
I-1	8 feet	32 square feet

- (5) *Pennants, spinners, streamers and balloons.* Pennants, spinners, streamers, balloons and similar temporary display devices, attached directly to the principal building on a site are permitted, provided they do not exceed the building height.
- (6) *Sandwich board signs.* Permitted only as required in section 26-8.

Sec. 26-7. - Permitted permanent signs.

Permanent signs shall be permitted in all districts subject to the restrictions herein contained:

- (1) *Government signs.* Governmental signs of a branch of local, state, or federal government, including traffic or similar regulatory devices, or signs required to be maintained or posted by law or governmental order, rule or regulation.
- (2) *Flag.*
- (3) *Permanent window signs.* Permitted interior signs (including neon) that occupy not more than 50 percent of the total window area of each window of the first floor level.

Sec. 26-8. - On-premises signs.

On-premises signs shall be permitted to be erected, altered, or relocated in accordance with the regulations of this section.

- (1) *Projecting/Overhanging signs and Awnings.* One overhanging sign per storefront shall be permitted in the B-2 district; a secondary sign may be allowed at the rear entrance or, on a secondary street front provided all aggregate sign area does not exceed 48 square feet.
 - a. Clearance height and area of projected/overhanging signs or awnings are restricted according to the following:

Zoning District	Maximum overhang in feet	Maximum clearance from grade in feet
B-2	8 feet	8 feet

- b. No main sign or combination of signs, whether projecting, awning or wall mount may exceed 24 square feet per main street storefront; no allowed secondary sign or combination of secondary signs may exceed 24 square feet, or 40 percent of marquee face
 - c. Such signs shall be located on structures properly mounted, or suspended from plane in compliance with the single state construction code.
- (2) *Wall-mounted signs.* Wall-mounted signs shall be permitted subject to the following restrictions:

Zoning District	Number of signs	% of main	Maximum area in square feet	Location
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	allowed	facade		
R-1, RD-1, RM-1 (Nonresidential special use group)	1 per street front	5%	Not to exceed 24 sq. ft.	Wall of building
B-1	1 per street front	5%	Not to exceed 48 sq. ft.	Wall of building
B-2	1 per tenant		No aggregate may exceed 48 sq. ft. per lot	Wall of building facing street, alley or parking lot
B-3	1 per tenant	8%	No aggregate may exceed 8% of main face	Wall of building facing street
C-1	1 per building		2 square feet for each lineal foot of building front up to an aggregate of 150 square feet of sign area	On wall of building, facing the street
I-1	1 per street front	5%		Wall of building facing street

- (3) *Freestanding signs.* On-premises, freestanding or monument signs shall be limited in placement; area and height according to the following schedule:

Zoning District	Maximum height in feet	Maximum sign area in sq. ft.	Number	Location
R-1, RD-1, RM-1 (Nonresidential special use group)	6 ft.	24 sq. ft.	1 per major entrance	outside right-of-way
B-1	6 ft. — monument 21 ft. — freestanding	32 sq. ft.	1 per lot/parcel	outside right-of-way
B-2	6 ft. — monument 12 ft. — freestanding	24 sq. ft.	1 per lot/parcel	outside right-of-way
B-3	6 ft. — monument 28 ft. — freestanding	100 sq. ft.	1 per 300 linear ft. of frontage	outside right-of-way
C-1	10 ft.	100 sq. ft.	1 per building	outside right-of-way

I-1	8 ft.	60 sq. ft.	1 per major entrance	outside right-of-way
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- (5) *Sandwich boards.* One "sandwich board" or "A-frame" sign shall be allowed for the temporary purposes, subject to the following conditions:
- a. Such signs shall not exceed two feet width and four feet length to a flat side and will be allowed to have changeable text, but no electronic or dynamic display.
 - b. The placement of such a sign shall not interfere with the free and unobstructed travel of pedestrians on sidewalks or walkways, nor with the view of drivers at any intersection, or impede maintenance and/or snow and ice removal.
 - c. Signs must be removed and placed indoors no later than 10 pm. Sandwich board/A-frame signs that are left out after the designated time shall be in violation of this chapter.
 - d. Signs within the public right-of-way.
 - e. This provision shall also apply to T-shaped or inverted "T" signs and shall be subject to the same restrictions with each tenant allowed only one such sign per tenant, regardless of type (A-frame, T-shaped or inverted "T").

Sec. 26-9. - Special condition signs.

The following signs may be permitted as special condition signs, subject to and after approval by the zoning administrator.

- (1) Historic signs. Contact the Michigan State Historic Preservation Office (SHPO) for more information.
- (2) Wall-mounted signs above the first floor of a multiple-story building related to one or more of the tenants housed within the building. Refer to chart in section 26-8.
- (3) Unique signs whose total area is within the applicable district size allowance established in article II of chapter 26 of Hillsdale's Code of Ordinances that are determined by the planning commission to require additional height or width due to unique design or obscuring sight lines shall be allowed additional height and width allowance as needed, provided, however that they neither exceed the additional height or width, nor the area within them exceed the allowances otherwise provided by more than ten percent.
- (4) Murals shall be permitted in the B-2, B-3, C-1, PRD, PRF, PUD and I-1 districts only.
- (5) Off premises or billboard signs shall be permitted in the general business (B-3) district. Billboards may not exceed 200 square feet in area, or 20 feet in height. Billboards must be setback a minimum of 30 feet from all property lines and shall be located a minimum of 1,000 feet from all other billboards on the same street. When abutting a residential district, no portion of the billboard shall be located closer than 200 feet from the property line. All permit applications for billboards must be submitted to the planning/zoning department along with a landscaping plan.
- (6) Procedures and considerations for special-condition signs are as follows:
 - a. Special-condition signs shall be reviewed as to size, location, placement, etc. subject to regulations of this chapter.
 - b. The planning commission, or zoning administrator, may impose conditions necessary to protect the public health, safety, and welfare of the community.

- c. Public notice of the time, date, and place of an appeal of a sign review decision made by the planning commission, or zoning administrator, shall be provided in advance of the meeting during which the appeal will be considered.
- (7) *Standards for sign review.* In reviewing signs, the zoning administrator or the planning commission shall consider the following to determine compliance with applicable ordinance provisions a basis for approving or denying a sign permit and establishing setback, location, and placement of signs:
 - a. Site location:
 - 1. Distance from buildings;
 - 2. Distance from property lines;
 - 3. Distance from right-of-way.
 - b. Sign size:
 - 1. Height and width;
 - 2. Building location;
 - 3. Height above grade or finish floor line;
 - 4. Location of sign from side to side of wall;
 - 5. Percentage of wall used for signage.
 - c. Awning:
 - 1. Size;
 - 2. Distance above grade or finish floor line;
 - 3. Signage measurement relative to awning edges;
 - 4. Signage height and width.
 - d. Sign characteristics:
 - 1. Shape of sign;
 - 2. Sign materials.
 - e. Mural:
 - 1. Height and width;
 - 2. Building location;
 - 3. Distance above grade or finish floor line;
 - 4. Location of sign from side to side of wall.

A drawing of the sign with all of the information from the list above will be required upon application submittal.

Sec. 26-10. - Non-conforming signs, illegal signs, and signs accessory to non-conforming uses.

It is the intent of this article to protect the health, safety, and welfare of the public by requiring elimination of signs within a reasonable period of time that are currently non-conforming or, as a result of the adoption of this or subsequent amendments to this article, become non-conforming.

- (1) No non-conforming sign shall be reconstructed, structurally altered, remodeled, relocated, or replaced unless a permit is issued allowing such action and the reconstructed or replaced sign and sign structure renders the sign and sign structure conforming in all respects.
- (2) The owner of a non-conforming sign shall maintain it in good repair by, among other things, repainting it and replacing broken or deteriorated parts.
- (3) A non-conforming sign or sign structure which is destroyed or damaged by any casualty may be restored within six months after such destruction or damage only after the

owner has shown that the damage did not exceed 50 percent of the appraised value of the sign immediately prior to its loss or damage. If such sign or sign structure is destroyed or damaged to an extent exceeding 50 percent of its appraised value, it shall be removed and shall not be reconstructed or replaced unless a permit is issued allowing such action and the reconstructed or replaced sign and sign structure renders the sign and sign structure conforming in all respects.

- (4) A non-conforming sign or sign structure shall be removed within 60 days if the building containing the use to which the sign is accessory is demolished or destroyed to an extent exceeding 50 percent of the building's appraised value.

Sec. 26-11. - Removal of certain signs.

- (a) In the event a conforming sign is abandoned for a period of 30 calendar days the sign owner and/or property owner shall immediately remove any commercial message identifying the business announced thereby. The zoning administrator may grant an extension upon good cause shown.
- (b) In the event a sign, whether conforming or non-conforming, is abandoned for a period of 60 calendar days, the sign owner and/or property owner shall immediately remove the sign and sign structure. Once removed, no sign may be replaced on the premises except in compliance with all applicable provisions of this article. For good cause shown in writing by the sign owner and/or the property owner filed prior to the expiration of the 60-day period, the zoning administrator may grant an extension not exceeding 60-days.
- (c) Any sign that is not constructed, painted, installed or maintained as required in this chapter; is constructed, painted, or maintained without a proper and valid permit; or is a non-conforming sign for which the time period set forth in subsection (c) has expired shall be forthwith removed.
- (d) In the event a sign subject to removal pursuant to the preceding subsection is not removed as provided therein, the zoning administrator shall forthwith notify the sign owner and/or the property owner in writing to remove said sign within 14 calendar days of the date of said notice.
- (e) Should the sign owner and/or property owner fail to remove or cause the removal of the sign within the time established pursuant to subsections (a) and (b) of this section, the zoning administrator is authorized to remove or cause the removal of said sign. Any expense incidental to the removal of the sign shall be charged to the owner of the property on which the sign is located and shall constitute a lien on said property collectible in the same manner as taxes.
- (f) Any sign placed within the public right-of-way in violation of this ordinance shall be forfeited to the public and subject to immediate confiscation and removal by the city at the sign owner's sole expense.
- (g) The words "remove," "removal" and "removed" as used in this section and its subsections shall mean:
 - (1) For abandoned conforming signs, the removal of all messages. In the case of painted wall signs, such words shall also include painting over the original sign face in its entirety so as to completely cover it.
 - (2) For abandoned non-conforming signs altered over 50 percent.

Sec. 26-12. - Permit and fee schedule.

Refer to the City of Hillsdale Fee Schedule for permit fees.

Sec. 26-13. - Violations.

- (a) Violation of any provision of this chapter shall constitute a municipal civil infraction, punishable as provided in Article II of Chapter 20 of the Code of Ordinances of the City of Hillsdale, Michigan.
- (b) Any of the following shall be a violation of this chapter and shall be subject to the enforcement remedies and penalties provided by this chapter and by state law:
 - (1) To install, create, erect, or maintain any sign in violation of any provision of this chapter.
 - (2) To install, create, erect, or maintain any sign in a manner that is inconsistent or not in conformity with any approved plan or permit governing such sign or the property on which it is located.
 - (3) To install, create, erect or maintain any sign requiring a permit without such permit.
 - (4) To fail to remove any sign that is installed, created, erected or maintained in violation of this chapter or for which the sign permit has lapsed.
- (c) Each day that a violation exists shall constitute a separate violation.

Sec. 26-14. - Enforcement and remedies.

- (a) A municipal civil infraction citation shall be issued for any violation of this chapter, in addition, any violation or attempted violation of this chapter or of any condition or requirement adopted pursuant hereto may also be restrained, corrected or abated, as the case may be, by injunction or other appropriate proceeding pursuant to this Code of Ordinances and applicable law. The remedies of the city shall include, but are not limited to, one or more of the following:
 - (1) Issuance of a stop work order for any and all work on any signs;
 - (2) Issuance of a municipal civil infraction citation;
 - (3) Bringing an action for an injunction or other order of restraint, abatement, or relief that requires, among other things, the removal of the sign or the elimination of the violation.
 - (4) Imposing any sanctions that can be imposed by the city under this Code of Ordinances.
 - (5) In the case of a sign that poses an immediate danger to the public health or safety, taking such measures as are available to the city under the applicable provisions of this Code of Ordinances, the single state construction code, and other applicable law to have the sign declared a public hazard or nuisance and obtain its abatement and removal.
- (b) The city shall have such other remedies as are and as may from time to time be provided for or allowed by this Code of Ordinances and applicable law
- (c) All remedies provided herein shall, to the extent allowed by law, be cumulative for each violation to which they apply.

Sec. 26-15. - Penalties.

- (a) Violation of any provision of this chapter shall be punishable as provided in Article II, Chapter 20 of the Code of Ordinances of the City of Hillsdale, Michigan.
- (b) The owner and if applicable, the tenant or other occupant of any building, structure, premises, or part thereof who commits, participates in, or maintains such violation may be found responsible for a separate offense and subject to the penalties herein provided.

- (c) Nothing herein contained shall prevent the city from taking such other lawful action as is necessary to prevent or remedy any violation.

Sec. 26-16. - Appeal procedure.

- (a) An appeal may be taken to the board of appeals by any person, firm or corporation, or any officer, department, board or bureau affected by a decision of the building inspector. Such appeal shall be taken within such time as shall be prescribed by the board of appeals, by general rule, by filing with the building inspector and with the board of appeals a notice of appeal, specifying the grounds thereof. The building inspector shall forthwith transmit to the board of appeals all of the papers constituting the record upon which the action appealed from was taken.
- (b) An appeal shall stay all proceedings in furtherance of the action appealed from, unless the building inspector certifies to the board of appeals after the notice of appeal has been filed with him that by reason of facts stated in the certificate a stay would, in his opinion, cause imminent peril to life or property; in which case the proceedings shall not be stayed, otherwise than by a restraining order, which may be granted by the board of appeals or by a court of record on application, on notice to the building inspector, and on due course shown.
- (c) The board shall select a reasonable time and place for the hearing of the appeal and give due notice thereof to the parties and shall render a decision on the appeal without unreasonable delay. Any person may appear and testify at the hearing, either in person or by duly authorized agent or attorney.
- (d) A fee as currently established or as hereafter adopted by resolution of the city council from time to time shall be paid to the secretary of the board of appeals at the time that notice of appeal is filed, which the secretary shall forthwith pay over to the city treasurer to the credit of the general fund of the city.
- (e) Duration of variances. All sign variances shall terminate upon alteration or reconstruction of more than 50 percent of the sign, or at a date set by the zoning board of appeals.

Sec. 26-17. - Authority.

- (a) As a condition precedent to acting on a request to the zoning administrator or planning commission for approval of the installation, creation, erection, or maintenance of any sign under the provisions of this article, the applicant shall furnish such surveys, plans, or other information as may be reasonably required by the zoning administrator or planning commission for the proper consideration and investigation of the matter.
- (b) The zoning administrator or the planning commission may, after completion of his or its consideration or investigation deny approval, grant approval, or grant approval subject to such conditions and limitations as are determined to be necessary to fulfill the intent and purposes of this article; provided, however, that the factual reasons for the decision reached shall be stated in writing.

Secs. 26-18—26-30. - Reserved.

ARTICLE II. - DISTRICT REGULATIONS

Sec. 26-31. - All zoning districts.

The following sign regulations are applicable to all zoning districts:

- (1) Portable and temporary signs are prohibited, except as otherwise provided for elsewhere in this chapter.
- (2) All signs shall be set back at least eight feet from the property line in all zoning districts, unless otherwise provided elsewhere in this chapter.
- (3) All signs shall be prohibited from the sight clearance triangle.
- (4) Billboards shall be prohibited from all districts, except the general business (B-3) district. Billboards may not exceed 200 square feet in area, or 20 feet in height. Billboards must be set back a minimum of 30 feet from all property lines and shall be located a minimum of 1,000 feet from all other billboards on the same street. When abutting a residential district, no portion of the billboard shall be located closer than 200 feet from the property line. All permit applications for billboards must be submitted to the building department along with a landscaping plan.

Sec. 26-32 - Residential districts.

Sign regulations in residential districts shall be as follows:

R-1, RD-1, and RM-1 Zoning Districts—Permitted Signs	
(a) Monument and freestanding signs, for residential subdivisions, manufactured home parks, multiple-family complexes, schools and churches. No illumination is to be allowed inside residential districts, except churches.*	
Number	1 per major entrance
Size	No greater than 24 square feet
Location	outside of right-of-way
Height	No higher than 6 feet
(b) Wall signs*	
Number	1 per lot or parcel
Size	No greater than 4 square feet
Location	On wall of building facing street
(c) Wall signs*	
Number	1 per street front
Size	No greater than 5 percent of the wall area to which it is affixed, not to exceed 28 square feet
Location	On wall of building, facing the street

(d) Temporary yard signs	
Size	No greater than 6 square feet
Location	outside of right-of-way
Height	No higher than 6 feet
* Total aggregate of 28 square feet in area per lot.	

Sec. 26-33 - B-1 local business district.

Sign regulations in the B-1 local business district shall be as follows:

B-1 Local Business District, C-1 College District—Permitted Signs	
(a) Monument and freestanding signs *	
Number	Only 1 freestanding, or monument sign per lot or parcel
Size	No greater than 32 square feet
Location	outside of right-of-way
Height	No higher than 6 feet for monuments, 21 feet for freestanding
(b) Wall signs *	
Number	1 per street front, maximum of 2
Size	No greater than 5 percent of the wall to which the sign is affixed, not to exceed 48 square feet
Location	On wall of building facing the street
(c) Temporary Yard Signs	
Size	No greater than 16 square feet
Location	outside of the right-of-way
Height	No higher than 6 feet
* Total aggregate of 48 square feet in area per lot.	

Sec. 26-34 - B-2 central business district.

Sign regulations in the B-2 central business district shall be as follows:

B-2 Central Business District—Permitted Signs	
(a) Wall or projecting signs	
Number	1 per tenant, plus 1 secondary sign facing a parking area side street or alley
Size	No sign or combination of signs may exceed 24 square feet per storefront; no allowed secondary sign or combination of signs may exceed 24 square feet
Location	On wall of building facing street, alley, or parking area
(b) Freestanding and monument signs	
Number	Only one freestanding, or monument sign per lot or parcel
Size	No greater than 24 square feet
Location	outside of the right-of-way
Height	No higher than 6 feet for monuments, 21 feet for freestanding
(c) Marquee, suspended and awning signs	
Number	1 per tenant
Size	No greater than 24 square feet per storefront, on awning face, or 40 percent of marquee face
Location	On face of awning or marquee, or suspended from plane
Height and overhang	Minimum clearance of 8 feet from bottom of sign, maximum overhang of 8 feet into the right-of-way

Sec. 26-35 - B-3 general business district.

Sign regulations in the B-3 general business district shall be as follows:

B-3 General Business District—Permitted Signs	
(a) Monument and freestanding signs	
Number	1 per 300 feet of lineal road frontage, only one monument, freestanding sign per 300 feet of lineal road frontage
Size	Freestanding and monument signs not to exceed 100 square feet
Location	Minimum of 5 feet from adjacent property and outside of the right-of-way
Height	No higher than 6 feet for monument, 28 feet for freestanding

(b) Wall signs	
Number	1 per tenant; a secondary sign will be allowed providing the aggregate amount of signage does not exceed 8 percent of the main face of the building
Size	No greater than 8 percent of the main face of the building
Location	On wall of building facing the street
(c) Temporary yard signs	
Size	No greater than 6 square feet
Location	outside of the right-of-way
Height	No higher than 6 feet

Sec. 26-36 - I-1 Industrial district.

Sign regulations in the I-1 Industrial district shall be as follows:

I-1 Industrial District—Permitted Signs	
(a) Monument and freestanding signs	
Number	1 per lot or parcel major entrance
Size	No greater than 60 square feet
Location	Minimum of 5 feet from adjacent property, outside of the right-of-way
Height	No more than 8 feet
(b) Wall signs	
Number	1 per street front
Size	No greater than 5 percent of the wall area to which the sign is affixed
Location	On wall of building, facing the street
(c) Temporary yard signs	
Height	No more than 6 feet
Size	No greater than 12 square feet
Location	outside of the right-of-way

Sec. 26-37 - C-1, college district.

Sign regulations in the C-1 college district shall be as follows:

C-1 College District—Permitted Signs	
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(a) Entrance and building identification signs, monument and freestanding signs. These signs are allowed on college-owned property only and must be located at least 50 feet from any residential use. No illumination is to be allowed without planning commission approval.	
Number	Only 1 major identification sign at the main entrance to the campus. Building identification—1 per major entrance, unless there is more than 200 feet of frontage, in which case a secondary freestanding sign may be allowed.
Size	Entrance, no greater than 150 square feet
Location	outside of the right-of-way
Height	No more than 15 feet
(b) Wall signs	
Number	1 per building
Size	2 square feet for each lineal foot of building front up to an aggregate of 150 square feet of sign area
Location	On wall of building, facing the street
(c) Internal signs which are meant to direct and inform and are primarily designed to serve a pedestrian-oriented community shall be exempt from the permit requirements of this section.	
Location	Internal area, may not be visible from property perimeter
(d) Perimeter signs must be located on college-owned property and are designed to inform and direct pedestrian and vehicle traffic. These signs are primarily for parking areas located on the perimeter of the internal area. No illumination allowed without planning commission approval.	
Number	1 per lot or parcel
Size	No greater than 10 square feet
Location	Minimum of 5 feet from adjacent property, outside of the right-of-way
Height	No more than 8 feet
(e) Monument and freestanding signs. Signs allowed on college-owned property. No illumination allowed without planning commission approval. Changeable copy allowed.	
Number	1 per building
Size	No greater than 100 square feet
Location	outside the right-of-way
Height	No higher than 10 feet

DIVISION 9. - I-1 INDUSTRIAL DISTRICT

Sec. 36-311. - Generally.

The I-1 Industrial District is designed so as to primarily accommodate wholesale and warehouse activities, and industrial operations whose external physical effects are restricted to the area of the district and in no manner affect in a detrimental way any of the surrounding districts. The I-1 district is so structured as to permit, along with any specified uses, the manufacturing, compounding, processing, packaging, assembly and/or treatment of raw, finished or semi-finished products from previously prepared material.

Sec. 36-312. - Principal uses permitted.

In an I-1 industrial district, no land or building shall be used and no building shall be erected except for one or more of the following uses as described in Sec. 36-311, unless otherwise provided in this chapter:

- (1) All uses shall be conducted wholly within a completely enclosed building, or within a designated area enclosed on all sides except the front with a six-foot obscuring fence or solid wall. The fence or wall shall be completely obscuring on those sides where abutting or adjacent to districts zoned for residential use.
- (2) All public utilities, including buildings, necessary structures, storage yards and other related uses.

Sec. 36-313. - Uses subject to special conditions.

The following uses shall be permitted in an I-1 industrial district, after review and approval of the site plan by the planning commission or zoning administrator, whichever is indicated, subject to the conditions imposed in this section for each use:

- (1) Restaurants, other places serving food or beverage, or other businesses which in the opinion of the planning commission are intended to serve the convenience needs of persons working in the industrial district subject to the regulations applicable to such uses.
- (2) Child care facility, as defined in section 36-6, for the care of one or more minor children in other than a private home. A designated outdoor play area shall be required which complies with state licensing rules. The outdoor play area must be located in the rear yard, as defined in section 36-6, and be enclosed by a fence at least 4 feet in height.
- (3) An educational facility which is a trade or vocational.
- (4) The use of a lot for the sale or lease of new or used automobiles, trailers, boats, farm machinery or equipment, recreational vehicles, lawn furniture, playground equipment or garden supplies, which meets all of the following conditions:
 - a. Each point of vehicular ingress and egress to the lot shall be not less than 60 feet from the intersection of any two streets.
 - b. Any repair or refinishing which is done on the lot shall be done within the confines of an enclosed structure.
- (5) A motor vehicle repair station.

- (6) A walk-in clinic for district related medical testing and the treatment of minor injuries shall be permitted in the I-1 industrial district. Each point of ingress or egress shall be directly onto a principal or minor street.
- (7) A structure which is used by a governmental entity.

Sec. 36-314. - Required conditions.

Any use established in the I-1 district after the effective date of the ordinance codified in this chapter shall be operated so as to comply with the performance standards set forth in article VII of this chapter.

Sec. 36-315. - Area and bulk requirements.

See division 16 of this article limiting the height and bulk of buildings and the minimum size of lot by permitted land use in the I-1 industrial district.

Secs. 36-316—36-330. - Reserved.