



Planning Commission  
97 North Broad Street  
Hillsdale, Michigan 49242-1695  
(517) 437-6440 Fax: (517) 437-6450

**Planning Commission Agenda**  
**July 16, 2019**

- I. Call to Order 5:30**
  - A. Pledge of Allegiance
  - B. Roll Call
- II. Public Comment**
  - Any Commission related item – 3 min. limit
- III. Consent Items/Communications**
  - A. Approval of agenda – **Action**
  - B. Approval of Planning Commission 06.18.2019 minutes – **Action**
- IV. Site Plan Review**
  - A. Hillsdale County Fairgrounds – New Horse Barn – **Action**
  - B. 37 North Street – New Parking Lot – **Action**
  - C. 54 North West Street – Wells Apartment Building – **Action**
- V. Old Business**
  - Annual Planning Commission Report – **Reivew**
- VI. New Business**
  - None
- VII. Master Plan Review**
  - None
- VIII. Zoning Ordinance Review**
  - None
- IX. Zoning Administrator Report**
- X. Commissioner’s Comments**
- XI. Adjournment**

**Next meeting August 20, 2019 at 5:30 pm**

**PLANNING COMMISSION MINUTES**

**HILLSDALE CITY HALL,**

**97 N. Broad Street**

**June 18, 2019 at 5:30 PM**

**I. Call to Order**

- A. Vice Chairman Samuel Nutter called the meeting to order at 5:32 pm
- B. Members present: Vice Chairman Samuel Nutter, Secretary Kerry Laycock, Mayor Pro-tem William Morrissey, Commissioners Eric Moore, Ron Scholl and Penny Swan
- C. Chairwoman Yoder was absent.
- D. Others present: Alan Beeker and representatives for the projects before the Planning Commission.

**II. Public Comment**

There was no public comment.

**III. Consent Items/Communications**

Commissioner Laycock moved to rescind the consent agenda and to have the items considered separately. Commissioner Morrissey seconded. All were in favor. Commissioner Laycock moved to approve the agenda as presented. Commissioner Morrissey seconded. All were in favor. Commissioner Laycock offered corrections to the May 17 minutes. Both he and Commissioner Morrissey were incorrectly listed as present at the meeting and the Planning Commission was mistakenly referred to as Council in the public comment section. Commissioner Scholl moved to approve the minutes as amended. Commissioner Morrissey seconded. All were in favor.

**IV. Site Plan Review**

- A. 3461 Beck Road – New Storage Building: Commissioner Swan asked about drainage. Commissioner Laycock asked about items listed as required and pending. Mr. Beeker assured all the items listed had been satisfied. Commissioner Laycock asked about the landscaping plan and was informed that there are no anticipated changes to the existing landscaping. Commissioner Scholl inquired about set-back from the lot line. Mr. Beeker indicated that the buildings could be close together as the two properties are zoned the same and that the building meets a two-hour fire rating. Commissioner Swan motioned to approve. Commissioner Scholl seconded. Vice Chairman Nutter called for a roll-call vote.

Laycock    Yea  
Moore      Yea  
Morrissey   Yea  
Nutter      Yea  
Scholl      Yea  
Swan        Yea

The site plan was approved.

- B. 3383 W. Carlton Rd. – New Restaurant Addition:

Commissioner Morrissey asked the petitioner for a summary description of the project and purpose. The petitioner indicated that the plan involved moving Cottage Inn pizza from its present location to the Silos location. Commissioner Scholl asked about traffic signaling and MDOT requirements. Mr. Beeker

indicated that a traffic study would be required prior to a decision to install a traffic light. Commissioner Nutter asked if applicants get a list of requirements for site plan approvals. Mr. Beeker indicated that they did. Commissioner Morrissey motioned to approve. Commissioner Swan seconded. Vice Chairman Nutter called for a roll-call vote.

Laycock Yea  
Moore Yea  
Morrissey Yea  
Nutter Yea  
Scholl Yea  
Swan Yea

The site plan was approved.

## **V. Old business**

Annual Planning Commission Report: Commissioner Nutter reported that he will issue a draft report in two weeks and it will be distributed to all Commissioners for review. The report is due to City Council in July.

## **VI. New Business**

There was no new business.

## **VII. Master Plan review**

There was no discussion of the Master Plan update

## **VIII. Zoning Ordinance Review**

- A. Sec. 36-149 Landscape Ordinance – Mr. Beeker suggested that the Planning Commission update the Landscape Ordinance as this is the chapter that is most frequently referred to by architects and landscape architects. He suggested creating a heritage tree ordinance and having it referenced in landscape ordinance. It is his belief that this is a better way to address the Planning Commission's interest in protecting heritage trees and exerting influence in the landscape plans associated with a site plan review. Commissioners agreed with Mr. Beeker's suggestion and will continue to work on these issues. The goal is to have a presentation to Council in the fall. The Planning Commission wishes to involve the Shade Tree Committee in its deliberations on these ordinances.
- B. Secs. 36-431 & 36-432 Accessory Structure Ordinance: Mr. Beeker presented suggested minor revisions to the ordinance. Commissioner Nutter asked for clarification on the set-back requirements. Commissioner Swan inquired about the requirement for trash can replacements. The Planning Commission was favorable to the changes but decided to withhold a vote and public hearing until work on the landscape ordinance was complete and to move them forward together.

## **IX. Zoning Administrator's Report**

Mr. Beeker showed the Planning Commission a map of the designated area of downtown that is registered on National Registry of Historic Places. Commissioner Morrissey requested that a copy of the map be provided to all members of Council. Mr. Beeker updated the Planning Commission on the proposed State law on short-term rentals. Mr. Beeker informed the Planning Commission that the 2019 Census update will be available soon and that it shows a population decline for Hillsdale City and County. Lenawee County also is reported to have experienced a population decline. Jackson County is reported to have experienced an increase. Discussion followed on the reason for the statistical changes and the potential for error.

## **X. Commissioner Comments**

Commissioner Morrisey requested petitioners for site plan approval be asked to make a presentation to the Planning Commission to explain their project. Commissioner Laycock suggested that these presentations be added as an agenda item. There was support from other Commissioners for this change. Commissioner Moore expressed concern that site work often begins before a site plan is approved. Mr. Beeker said the work that is often done is within a property owner's rights. Commissioner Laycock expressed concern about the number of required items that are often not provide in advance of the site plan being placed on the Planning Commission agenda. He cited the landscape plans as an item often not available to the Planning Commission. Commissioner Moore shared information from the CEU class he attended as a Master Citizen Planner.

## **XI. Adjournment**

Commissioner Morrisey motioned to adjourn. Commissioner Swan seconded. All in favor. Meeting adjourned at 6:38 pm.

**Next meeting: July 16, 2019 at 5:30 pm.**





**TO: Planning Commission**

**FROM: Zoning Administrator**

**DATE: July 16, 2019**

**RE: New Horse Barn Project**

**Background:** the Hillsdale County Fairgrounds has submitted documents for a new horse barn. The drawings that are in the packet were submitted to the Planning Office on July 5, 2019. On July 8, 2019, a preliminary review meeting was held with the City Department Heads. Included in the packet are the results of that meeting.

# CITY OF HILLSDALE



ALAN C. BEEKER  
ZONING ADMINISTRATOR  
97 NORTH BROAD STREET  
HILLSDALE, MICHIGAN 49242-1695  
(517) 437-6449 FAX: (517) 437-6450

July 8, 2019

Below is a list of the items cited during the meeting to review the plans of the new parking lot to be located at 37 North Street.

Present: Matt Taylor (City Engineer), Scott Hephner (Police & Fire Chief), Mark Hawkins (Deputy Fire Chief), Jake Hammel (Dept. of Public Services Director), Bill Briggs (Board of Public Utilities Water Dept.), Chad Culbert (Board of Public Utilities Electric Dept.), Alan Beeker (Zoning Administrator), Chris McArthur (Board of Public Utilities Director) and Randall Woodings (Architect).

## City Engineer

- Show MDOT Storm Water Easement on drawing.
- Show Storm Water notes on drawing.

## Public Services

- No issues.

## Public Safety

- No issues.

## Board of Public Utilities (BPU)

- Water dept. verified that there would be no water or sanitary supply to the new building.
- New electric will include outlets and LED lighting.

The Planning Commission will review the drawings at the regular meeting which will be held on July 16, 2019 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 2<sup>nd</sup> Floor Conference Room.



**COMMERCIAL SITE PLAN REVIEW APPLICATION**

Applicant Name Hillsdale County Agricultural Society  
Address 115 S. Broad St.  
Hillsdale, MI 49242  
Daytime Phone (517) 437-3622  
Evening Phone ( )

Property Address if other than above \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If acting as Owner Agent, notarized permission must be obtained from property owner

Agent Name \_\_\_\_\_  
Address \_\_\_\_\_  
\_\_\_\_\_  
Daytime Phone ( ) \_\_\_\_\_  
Evening Phone ( ) \_\_\_\_\_

Zoning PRF Project Estimate \$200,000

Applicant Signature Louise Hull, manager Date 7/5/19

Meeting Date \_\_\_\_\_

All Site Plan Materials must be submitted along with a completed application minimum of 10 days prior to next scheduled Planning Commission meeting.

Please submit to: **City of Hillsdale**  
**Planning and Zoning Department**  
97 North Broad Street  
Hillsdale, Michigan 49242  
p. - 517.437.6449

# Untitled Map

Write a description for your map.

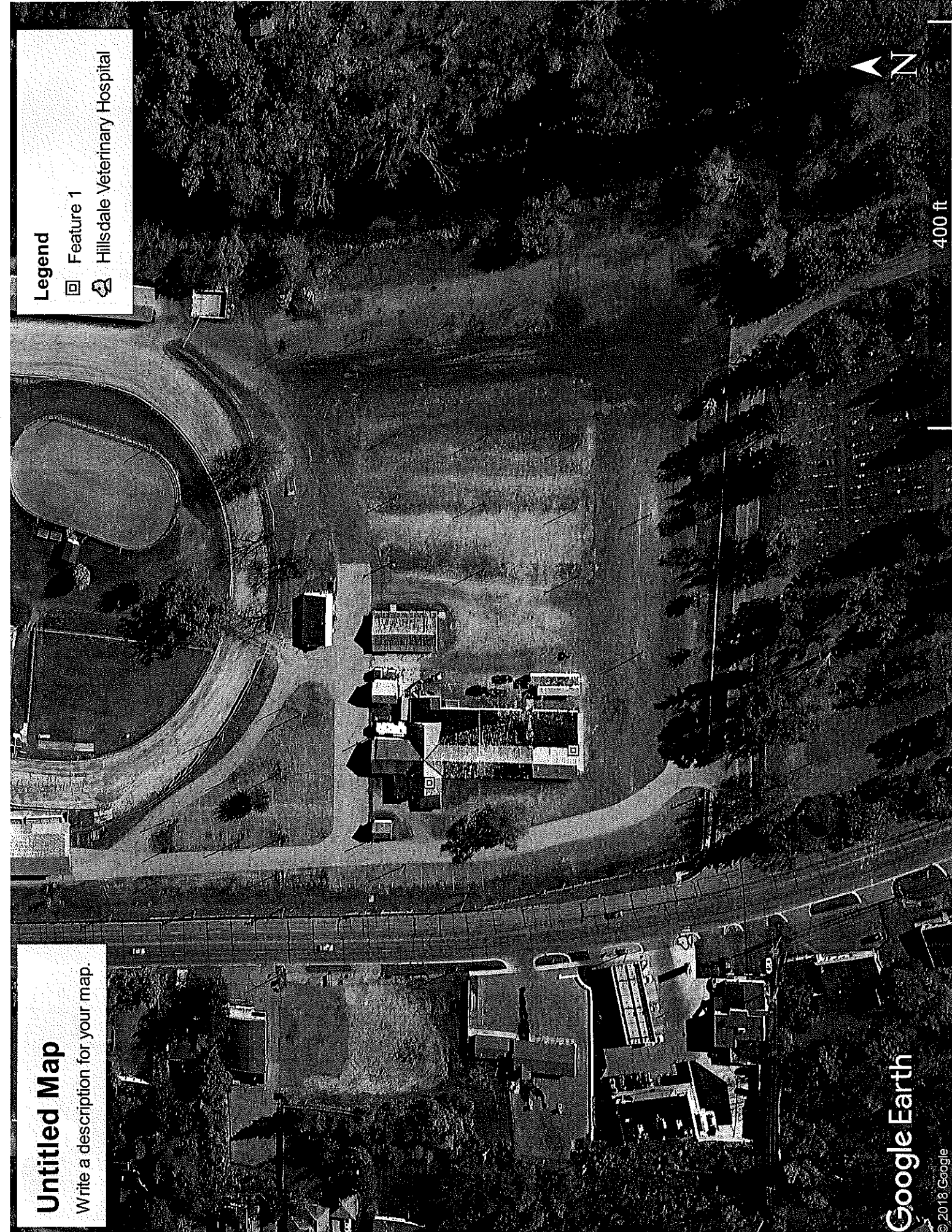
## Legend

-  Feature 1
-  Hillsdale Veterinary Hospital

Google Earth

© 2018 Google

400 ft





# Untitled Map

Write a description for your map.

## Legend

- Feature 1
- Hillsdale Veterinary Hospital

Google Earth  
© 2018 Google

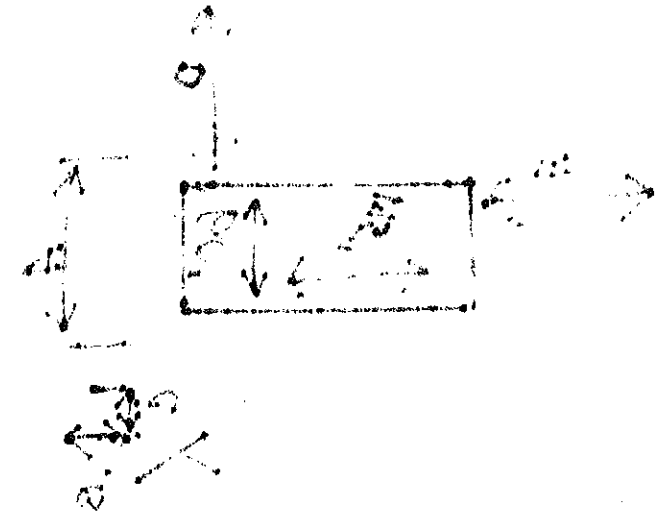
400 ft



- A: 132'
- B: 54'
- C: 41'
- D: 132'
- E: 175'

East Bathroom  
20' x 25'

West Bathroom  
16' x 20'



Lori Hull, Secretary-Manager  
Phone: 517-437-3622

*Hillsdale County Agricultural Society*  
**HILLSDALE COUNTY FAIR**  
*"The Most Popular Fair on Earth"*

P.O. Box 289  
Hillsdale, Michigan 49242

July 5, 2019

To whom it may concern,

Regarding the new building, post construction storm drainage will not exceed preconstruction storm drainage.

Please see attached drawing for site prep dimensions for building placement.

Thank you,



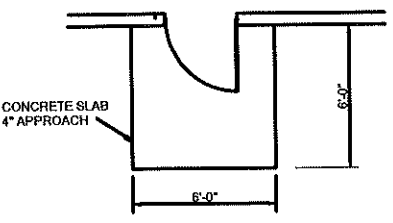
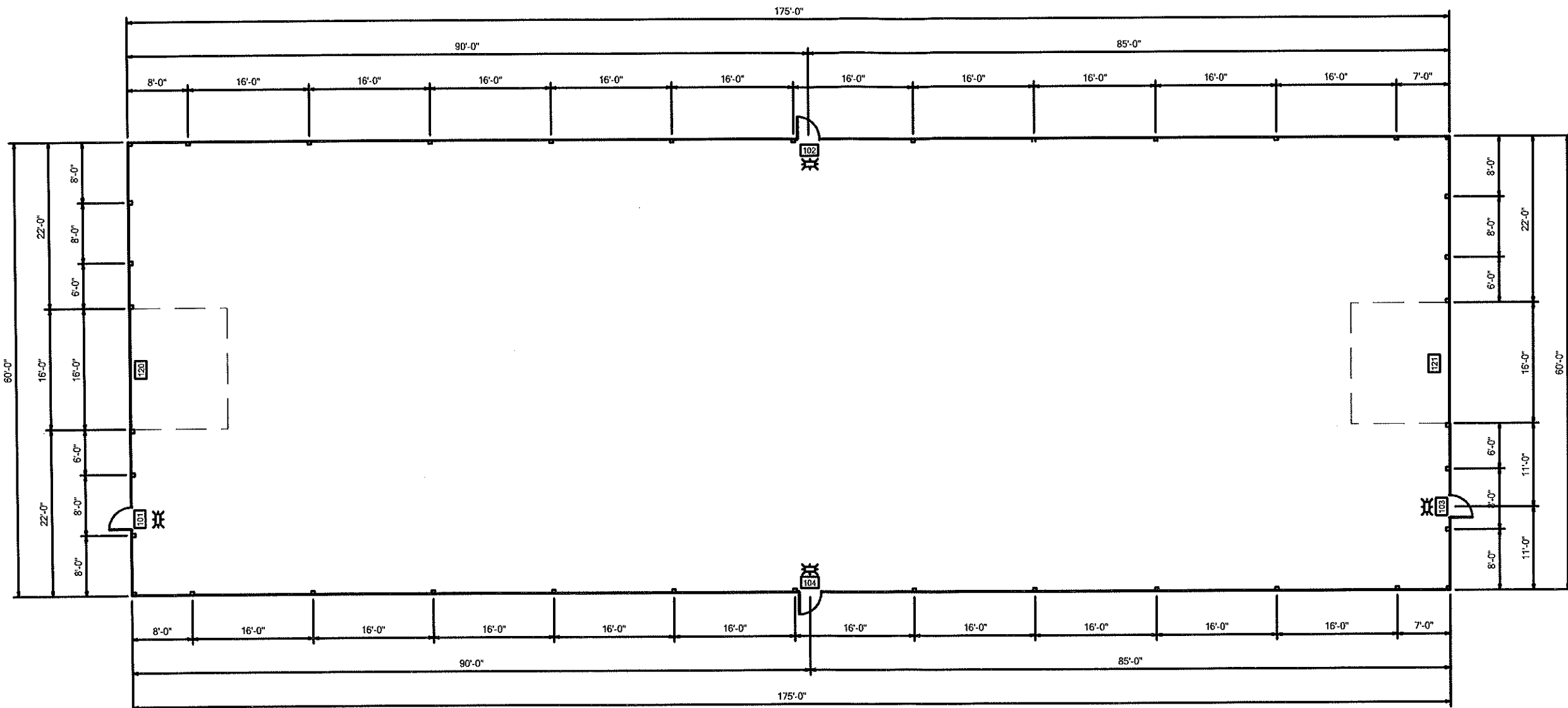
Lori Hull,  
Manager







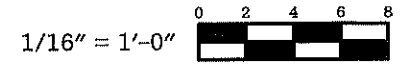
DOOR SCHEDULE				
NO.	STYLE	WIDTH	HEIGHT	COMMENTS
101, 102	STEEL ENTRY, LH SWING	3'-0"	6'-8"	ACCESSIBLE THRESHOLD AND PANIC HARDWARE ALL ENTRY DOORS
103, 104	STEEL ENTRY, RH SWING	3'-0"	6'-8"	
120-121	OVERHEAD, STEEL	16'-0"	13'-0"	



ENTRY DOOR  
APPROACH DETAIL  
(ACCESSIBLE THRESHOLD REQUIRED)

LEGEND	
⌘	EXIT COMBO

PLAN



COPYRIGHT © 2019

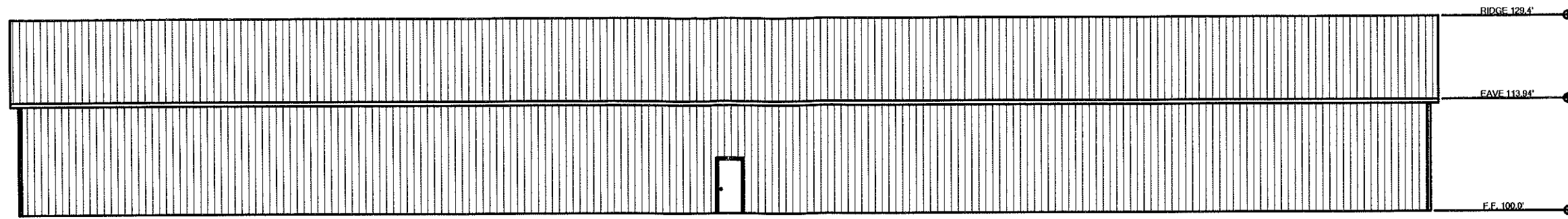
HILLSDALE COUNTY FAIR - HORSE BARN  
HILLSDALE, MICHIGAN

**JENKINS ENGINEERING LLC**

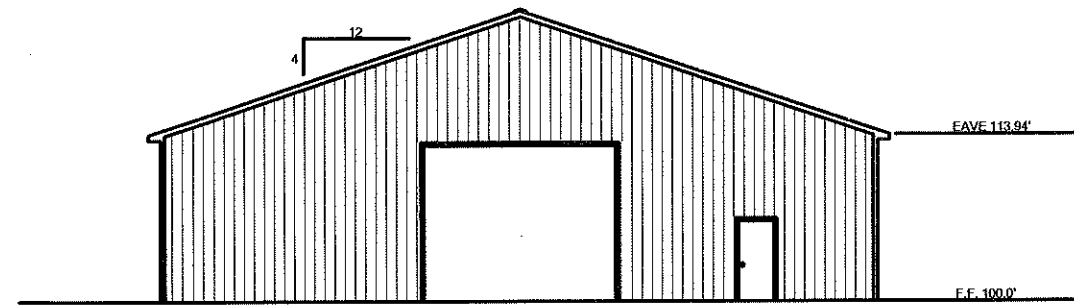
590 OLDS STREET  
JONESVILLE, MICHIGAN 49250  
www.stollcm.com  
TEL. 517.212.0405

DRAWING TITLE  
**PLAN**  
JOB NUMBER  
**1708**

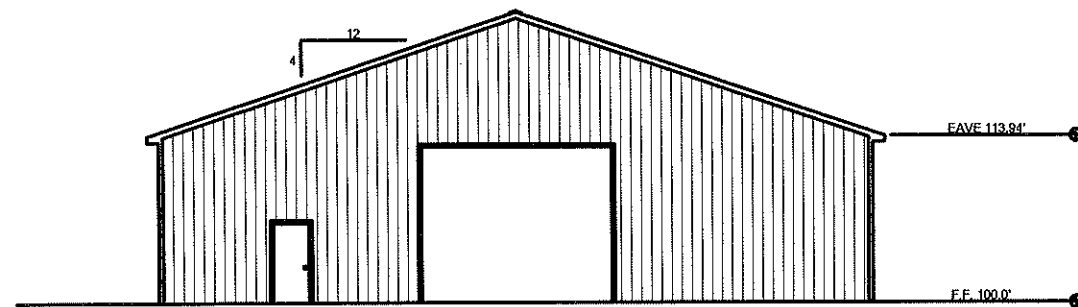
PLAN SHEET  
**2 of 4**  
DATE  
**3/21/19**



WEST ELEVATION  
(EAST ELEVATION - MIRROR)



GABLE NO. 1 ELEVATION



GABLE NO. 2 ELEVATION

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HILLSDALE COUNTY FAIR - HORSE BARN  
HILLSDALE, MICHIGAN

**JENKINS ENGINEERING LLC**

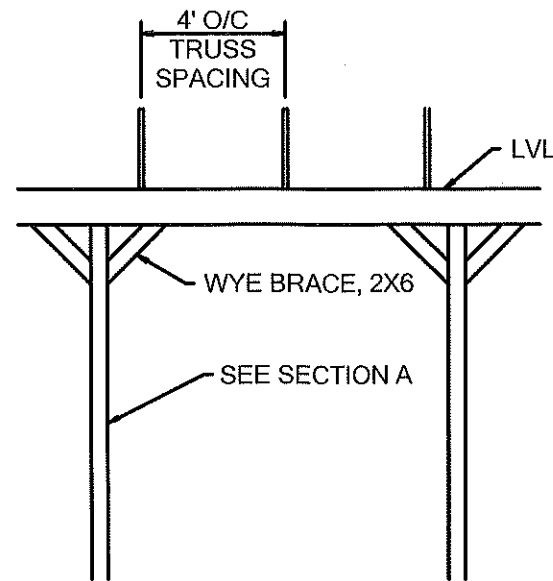
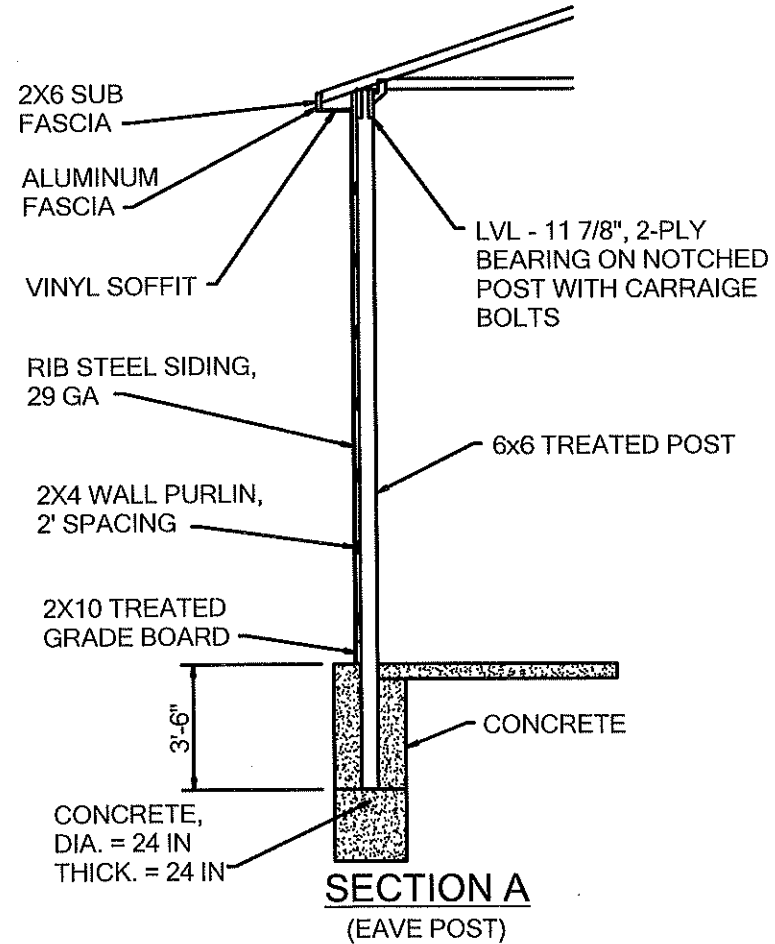
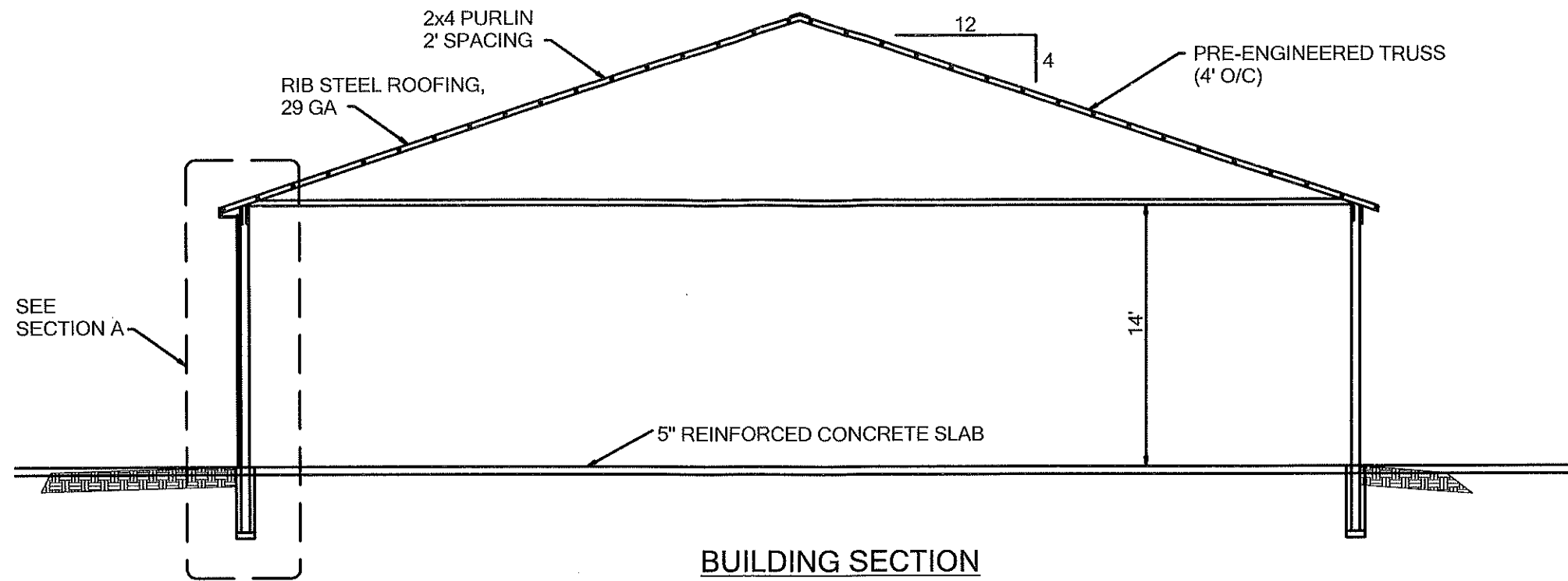
590 OLDS STREET  
HILLSDALE, MICHIGAN 49250  
www.stollcm.com  
TEL. 517.212.0405

DRAWING TITLE  
ELEV  
JOB NUMBER  
1708

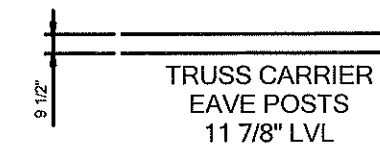
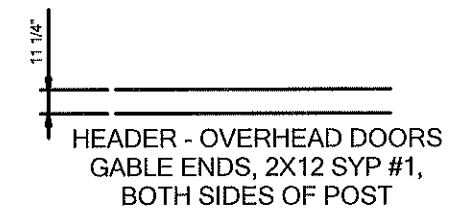
PLAN SHEET  
3 of 4  
DATE  
3/21/19

1/16" = 1'-0"





**SECTION Z-Z**  
(EAVE AND EXTERIOR)



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HILLSDALE COUNTY FAIR - HORSE BARN  
HILLSDALE, MICHIGAN

**JENKINS ENGINEERING LLC**

5160 BARKER ROAD  
JONESVILLE, MICHIGAN 49250  
www.stollcm.com  
TEL. 517.212.0405

DRAWING TITLE  
**SECTION**  
JOB NUMBER  
1708

PLAN SHEET  
4 of 4  
DATE  
3/21/19

1/8" = 1'-0"





**TO: Planning Commission**

**FROM: Zoning Administrator**

**DATE: July 16, 2019**

**RE: 37 North Parking Lot Project**

**Background:** MT Engineering has submitted documents for a new parking lot to be located at 37 North. The drawings that are in the packet were submitted to the Planning Office on July 2, 2019. On July 8, 2019, a preliminary review meeting was held with the City Department Heads. Included in the packet are the results of that meeting.

# CITY OF HILLSDALE



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#### City Engineer

- Include site lighting plan and photometrics.

#### Public Services

- No issues.

#### Public Safety

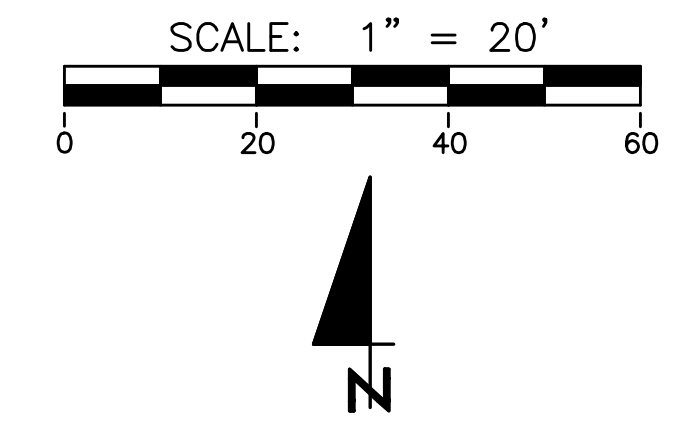
- No issues.

#### Board of Public Utilities (BPU)

- Demolition
  - Remove abandoned utilities back to mains and repair right-of-way.
- Show new utility easement per Electric Dept. requirements.

The Planning Commission will review the drawings at the regular meeting which will be held on July 16, 2019 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 2<sup>nd</sup> Floor Conference Room.





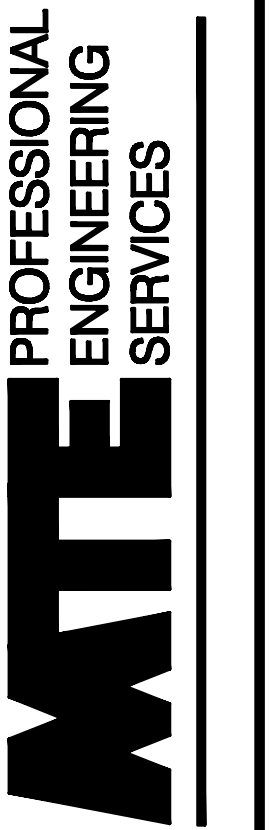
**KEY NOTE LEGEND**

- 1 EXISTING BUILDING TO BE RAZED, INCLUDING ALL FOUNDATIONS TO A MINIMUM DEPTH OF 4ft BELOW FINISH GRADE. SEE REMOVAL NOTES THIS SHEET.
- 2 REMOVE EXISTING WATER SERVICE AND CURB STOP PER HILLSDALE BOARD OF PUBLIC UTILITIES SPECIFICATIONS
- 3 REMOVE EXISTING SANITARY SEWER SERVICE LEAD PER HILLSDALE BOARD OF PUBLIC UTILITY SPECIFICATIONS. CONTRACTOR TO LOCATE SANITARY LEAD IN THE FIELD (NOT CURRENTLY SHOWN ON PLAN).
- 4 CONTRACTOR TO COORDINATE WITH UTILITY TO HAVE NATURAL GAS SERVICE REMOVED
- 5 COORDINATE WITH HILLSDALE BPU TO HAVE ELECTRIC METER AND OVERHEAD ELECTRIC REMOVED
- 6 REMOVE EXISTING FENCE
- 7 REMOVE CONCRETE WALKWAY OR CONCRETE PAVEMENT
- 8 REMOVE LIGHT POLE
- 9 REMOVE EXISTING TREE, STUMP AND ROOT SYSTEM
- 10 PARTIALLY REMOVE EXISTING STORM SEWER. COORDINATE WITH PROPOSED STORM SEWER WORK.
- 11 REMOVE EXISTING CURB AND GUTTER OR GUTTER PAN
- 12 SAWCUT ASPHALT PAVEMENT AND REMOVE AS NECESSARY FOR NEW DRIVE APPROACH MDOT 'L' & 'M' HYBRID TYPE OPENING.
- 13 TEMPORARILY REMOVE, SALVAGE AND REINSTALL SITE BENCH
- 14 PERFORM EXPLORATORY EXCAVATION(S) AS NECESSARY TO CONFIRM ROUTING OF STORM SEWER. REPORT FINDINGS TO ENGINEER/OWNER.
- 15 PERFORM EXPLORATORY EXCAVATION(S) AS NECESSARY TO CONFIRM ROUTING OF STORM SEWER. REPORT FINDINGS TO ENGINEER/OWNER THEN REMOVE CATCH BASIN AND ASSOCIATED PIPING.

**REMOVAL NOTES:**

1. OBTAIN ALL NECESSARY RIGHT-OF-WAY PERMITS & PROVIDE 48 HOURS ADVANCE NOTICE TO CITY OF HILLSDALE REPRESENTATIVES PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. OBTAIN ALL NECESSARY DEMOLITION PERMITS FROM THE HILLSDALE COUNTY BUILDING INSPECTION DEPARTMENT.
3. SEE PROJECT SPECIFICATION SECTION 02221 BUILDING DEMOLITION FOR ADDITIONAL PROJECT REQUIREMENTS.
4. FOUNDATION AND BUILDING BACKFILL SHALL BE DONE IN MINIMUM 6" COMPACTED LIFTS USING MDOT CLASS III MATERIAL OR OTHER MATERIAL PREVIOUSLY APPROVED IN WRITING BY ENGINEER. COMPACT BACKFILL TO 95% OF MATERIALS MAXIMUM UNIT WEIGHT. PERFORM PROOF ROLLS IN THE PRESENCE OF THE ENGINEER OR OWNERS REPRESENTATIVE AND OR PROVIDE DENSITY TEST REPORTS FROM A QUALIFIED GEOTECHNICAL FIRM.

Phone: (617) 437-4283  
 Fax: (617) 437-4844



CLIENT  
 Dr. Nichole Ellis  
 30 North St.  
 Hillsdale, MI 49242  
 517 607-5885

**PROPOSED PEDIATRIC CLINIC**  
 EXISTING CONDITION &  
 REMOVAL PLAN

**1**

DATE: 06-18-19  
 SHEET 1 OF 3  
 CADD: MWT  
 ENG: MWT  
 PM: MWT  
 TECH: MWT  
 39 N ST.RM.1  
 NA

MTE JOB No. **01914**

CONTROL SECTION: NA  
 MDOT JOB NO.: NA



**Know what's below.  
 Call before you dig.**





**LEGEND**

- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE CURB
- 12"R PROPOSED STORM SEWER
- PROPOSED CONC. CURB & GUTTER

**GENERAL PROJECT INFORMATION**

EXISTING SITE ADDRESS: 34 North Street & 39 North Street  
 ZONING DISTRICT: B-2  
 SECTION 36-148 - 150 LANDSCAPE RELATED REQUIREMENTS:  
 LANDSCAPING 36-150.a.4 B-2 parcels in which the building occupies 90 percent or more of the lot shall be exempt from the landscape requirement. For all other B-2 parcels, ten percent of the site shall be landscaped open space with one evergreen tree or shrub for every 1,000 square feet, or portion thereof, plus one small or large deciduous tree for every 2,000 square feet, or portion thereof. Plant materials existing on the site prior to development may be included as part of the fulfillment of these requirements.  
 Conclusion: 2196 sft of Landscape area provided > (11592 sft total area)0.1. Existing trees that will remain are to satisfy the requirement.

PARKING LOT LANDSCAPING 36-150.c Landscaped areas shall be required at the perimeter of parking lots of 16 spaces or greater. 8 Proposed Spaces < 16 Spaces - Conclusion: Exempt

LANDSCAPING 35-150.e In addition to any landscape greenbelt and/or parking lot landscaping required by this section, ten percent of the site area, excluding existing thoroughfare right-of-way, shall be landscaped. Areas used for storm drainage purposes, such as fenced drainage courses or retention areas in front or side yards, may be included as a portion of the required landscaped area, but shall not exceed five percent of the site area. - Provided

SECTION 36-592 - 600 OFF STREET PARKING RELATED REQUIREMENTS  
 36-592 Off-street parking for residential or non-residential use located in the B-2 downtown business district, shall be either on the same lot or within a 600-foot radius of the building it is intended to serve, measured from the nearest point of the building with the nearest point of the off-street parking lot.  
 Conclusion - City parking lots E (City Centre), F (F.U Methodist Church) and K (Elka) are within the 600-foot radius requirement. Therefore no additional off-street parking is required.  
 Therefore, proposed parking shown is being provided at the Owner's discretion and is not required to meet ordinance requirements, including by not limited to, Section 36-623.

36-600 One space per 220 square feet of floor area - minimum.  
 Conclusion - 3600 sft net floor area/220 sft = 18 spaces which are provided in city parking lots and on street parking located within a 600 ft radius

**SITE CONSTRUCTION KEYNOTES**

- ① CONSTRUCT PARKING LOT CROSS SECTION CONSISTING OF: 1.5" HMA 13A WEARING COURSE OVER 2" HMA 13A BASE COURSE OVER 8" 22A AGGREGATE BASE OVER COMPACTED SUBGRADE CONSISTING OF APPROVED NATIVE MATERIAL FREE OF ORGANICS OR MDOT CLASS III MATERIAL OR BETTER EMBANKMENT/FILL
- ② CONSTRUCT CONCRETE DRIVE APPROACH CONSISTING OF 6" NON-REINFORCED 4000 PSI LIMESTONE CONCRETE OVER 8" 22A AGGREGATE BASE
- ③ CONSTRUCT MDOT F4 CONCRETE CURB AND GUTTER AS PART OF PROPOSED MDOT TYPE M DRIVEWAY OPENING
- ④ CONSTRUCT 6" CONCRETE SIDEWALK RAMP R OVER COMPACTED 4" CLASS II MDOT SAND SUBBASE IN ACCORDANCE WITH MDOT STANDARD DETAILS
- ⑤ CONSTRUCT 4" CONCRETE SIDEWALK OVER COMPACTED 4" CLASS II MDOT SAND SUBBASE
- ⑥ PATCH NORTH STREET PAVEMENT USING MDOT 13A HMA MIX. MATCH NORTH STREET PAVEMENT THICKNESS. DOUBLE SAWCUT EXISTING PAVEMENT AS NECESSARY TO PROVIDE A CLEAN EXISTING EDGE TO PATCH TO
- ⑦ CONSTRUCT 6" CONCRETE SIDEWALK RAMP TYPE X OVER COMPACTED 4" CLASS II MDOT SAND SUBBASE IN ACCORDANCE WITH MDOT STANDARD DETAILS
- ⑧ CONSTRUCT MDOT B2 CONCRETE CURB AND GUTTER PER MDOT STANDARD DETAIL R-30-G
- ⑨ CONSTRUCT 11'x 15', 8" THICK, 4000psi LIMESTONE CONCRETE DUMPSTER PAT WITH 6x6-W2.9xW2.9 WWF OVER 6" 22A COMPACTED AGGREGATE BASE
- ⑩ CONSTRUCT DUMPSTER ENCLOSURE PER DETAIL
- ⑪ UNLOADING ZONE PER ADA & ANSI STANDARDS
- ⑫ CONSTRUCT STORM SEWER & STORM WATER MANAGEMENT SYSTEM PER STORM SEWER SCHEDULE
- ⑬ CONSTRUCT 4" DIAMETER OVERFLOW USING SDR 35 PIPING FROM PROPOSED LEACH BASIN AND CONNECT INTO EXISTING 4" STORM SEWER
- ⑭ FURNISH AND INSTALL VAN ACCESSIBLE PARKING SIGNAGE PER ADA OR ANSI STANDARDS

Phone: (617) 437-4283  
 Fax: (617) 437-4844

**MTE** PROFESSIONAL ENGINEERING SERVICES

CLIENT  
 Dr. Nichole Ellis  
 30 North St.  
 Hillsdale, MI 49242  
 517 607-5885

**PROPOSED PEDIATRIC CLINIC**  
 PROPOSED SITE LAYOUT

**2**

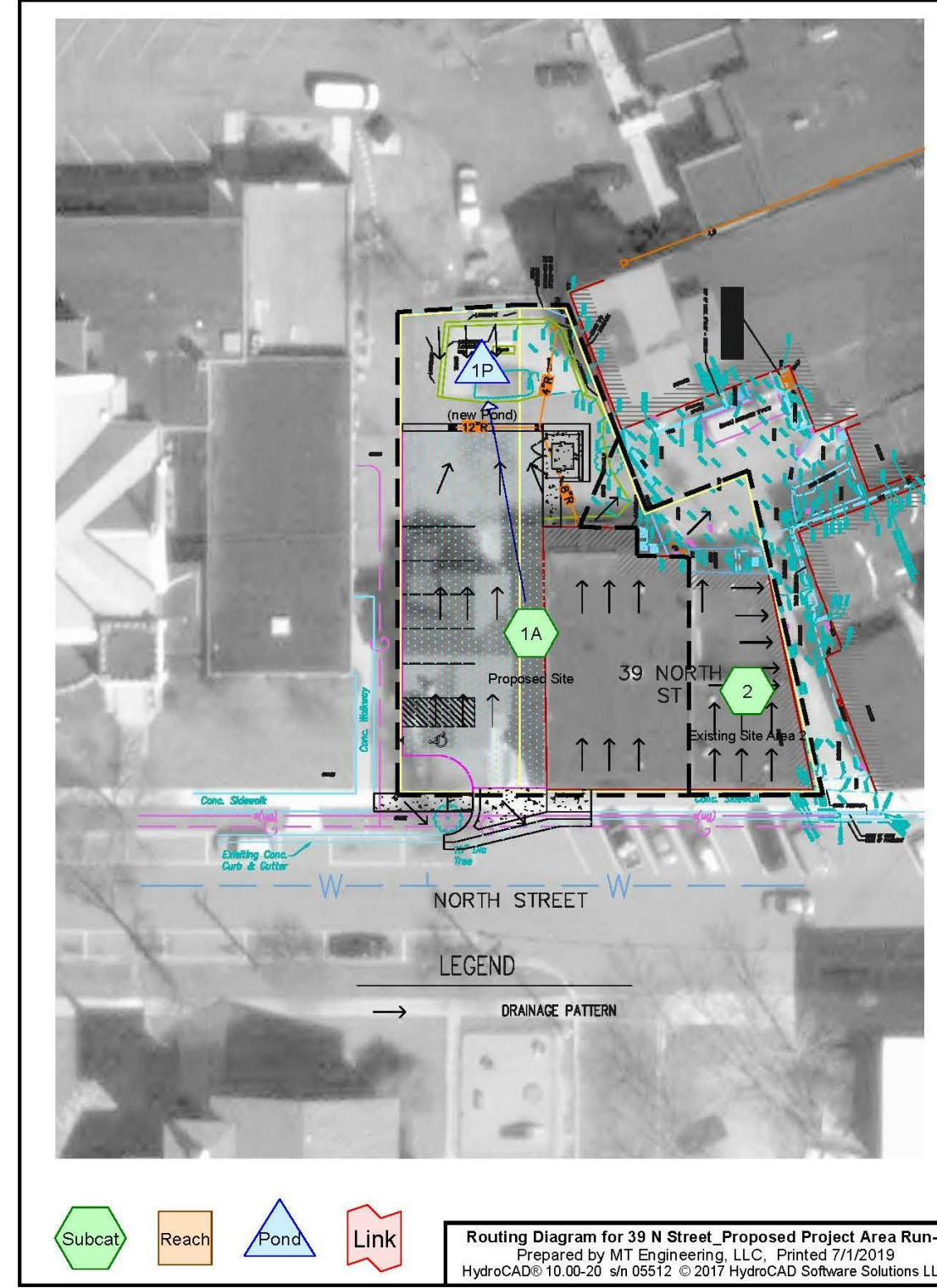
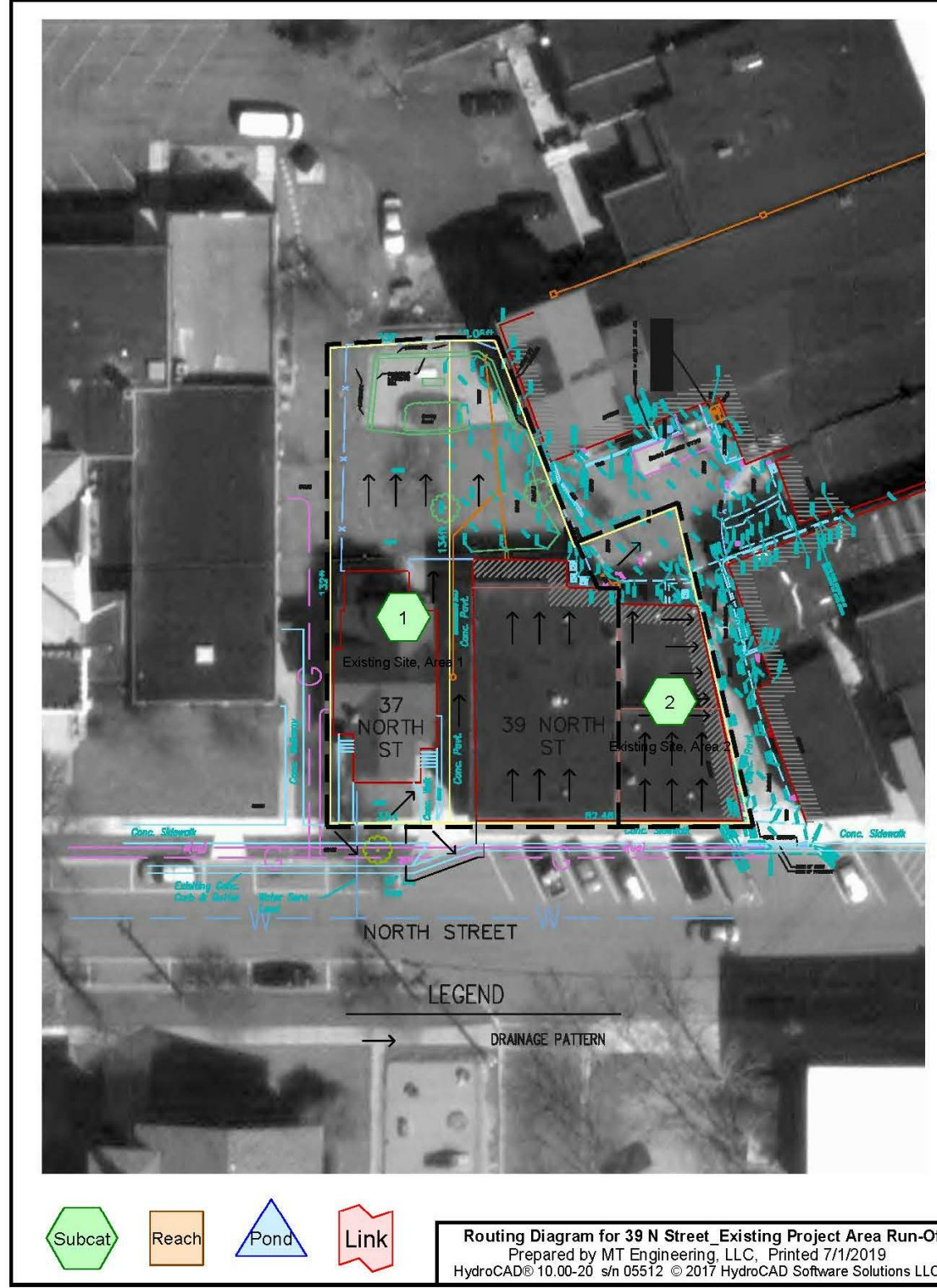
DATE: 06-18-19	SHEET 2 OF 3
CADD: MWT	ENG: MWT
PM: MWT	TECH: MWT
39 N ST, SPT	NA

MTE JOB No. **01914**

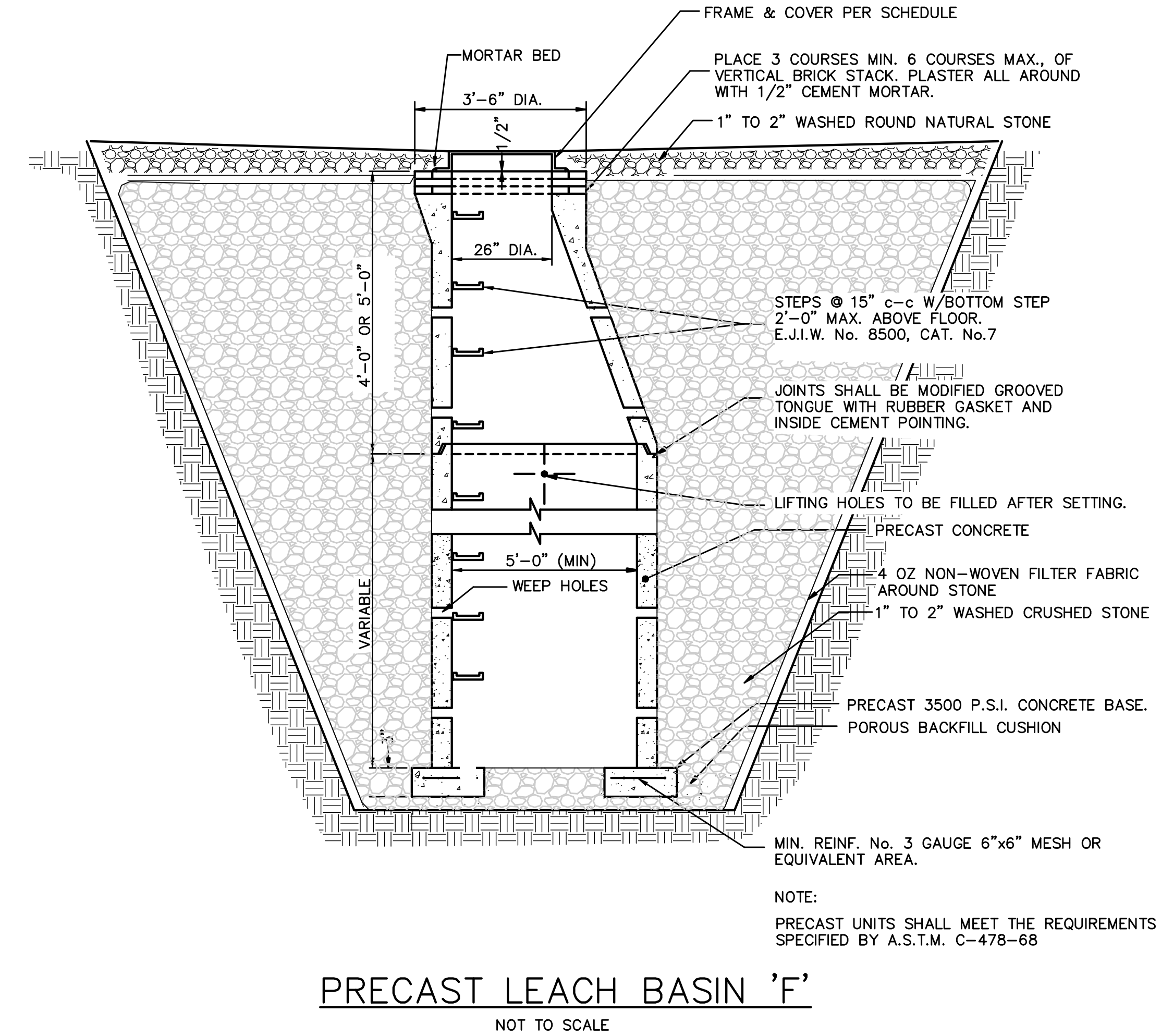
CONTROL SECTION: NA  
 MDOT JOB NO.: NA



# STORM WATER MANAGEMENT CALCULATIONS



Structure No.	Structure Dia., ft	Structure Type	Rim Elevation	Invert Elev.	Invert Elev.	Invert Elev.	Structure Cover	Remarks
R-1	5	F	1108.75	12" E	1104.75	-	MDOT J	Bottom of leach basin elevation to be 1100.75
R-2	5	F	1108.80	12" W	4" N	1105.00	MDOT J	Bottom of leach basin elevation to be 1100.75. 4" Diameter overflow outlet routed to existing 4" outlet location



**39 N Street\_Existing Project Area Run-Off** Type II 24-hr 100yr Rainfall=5.54"  
Prepared by MT Engineering, LLC Printed 7/1/2019  
HydroCAD® 10.00.20 sm 05512 © 2017 HydroCAD Software Solutions LLC

**Summary for Subcatchment 1: Existing Site, Area 1**

USGS Soil Maps indicate sandy loam - Soil Group A selected

Runoff = 1.23 cfs @ 11.97 hrs, Volume= 2,690 cf, Depth= 3.67"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
Type II 24-hr 100yr Rainfall=5.54"

Area (sf)	CN	Description
3,470	61	>75% Grass cover, Good, HSG B
5,302	98	Pavement & Roof, HSG B
8,772	83	Weighted Average
3,470	39	56% Pervious Area
5,302	60	44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.2	60	0.0300	0.16		Sheet Flow, Across grass & landscape stone at north end of pond Grass: Short n=0.150 P2=2.57"

**39 N Street\_Existing Project Area Run-Off** Type II 24-hr 100yr Rainfall=5.54"  
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**Summary for Subcatchment 2: Existing Site, Area 2**

[46] Hint: Tc=0 (Instant runoff peak depends on dt)

Runoff = 0.45 cfs @ 11.89 hrs, Volume= 913 cf, Depth= 4.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
Type II 24-hr 100yr Rainfall=5.54"

Area (sf)	CN	Description
1,816	98	Roofs, HSG B
447	79	<50% Grass cover, Poor, HSG B
2,263	94	Weighted Average
447	19	75% Pervious Area
1,816	80	25% Impervious Area

EXISTING RUN-OFF RATE BASED ON A 24-hr, 100yr event  
Equals: Exist. Area 1 Run-Off Rate +Exist. Area 2 Run-Off Rate  
= 1.23cfs + 0.45cfs  
= 1.68 cfs

PROPOSED RUN-OFF RATE BASED ON A 24-hr, 100yr event  
Equals: Proposed, Area Pond aka Leach Basin Run-Off Rate +Exist. Area 2 Run-Off Rate  
= 0.53cfs + 0.45cfs  
= 0.98 cfs

Conclusion: The increased impervious area is mitigated by the construction of the proposed leach basins. Proposed run-off rate of 0.98 cfs is less than the existing run-off rate of 1.68 cfs.

**39 N Street\_Proposed Project Area Run-Off** Type II 24-hr 100yr Rainfall=5.54"  
Prepared by MT Engineering, LLC Printed 7/1/2019  
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**Summary for Subcatchment 1A: Proposed Site**

Runoff = 1.55 cfs @ 11.95 hrs, Volume= 3,215 cf, Depth= 4.40"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.02 hrs  
Type II 24-hr 100yr Rainfall=5.54"

Area (sf)	CN	Description
1,890	61	>75% Grass cover, Good, HSG B
6,882	98	Pavement & Roof, HSG B
8,772	90	Weighted Average
1,890	21	55% Pervious Area
6,882	78	45% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.5	10	0.0200	0.07		Sheet Flow, Sheet flow across small front yard grass area Grass: Dense n=0.240 P2=2.57"
1.4	110	0.0250	1.28		Sheet Flow, Sheet flow down proposed driveway & parking area n=0.012 P2=2.57"
0.0	13	0.0100	4.54	3.56	Pipe Channel, 12" Storm Sewer 12.0" Round Area=0.8 sf Perim=3.1' n=0.25"
0.1	22	0.0200	4.78	0.94	Pipe Channel, 6" overflow outlet pipe 6.0" Round Area=0.2 sf Perim=1.8' n=0.13"
4.0	155				Total

**39 N Street\_Proposed Project Area Run-Off** Type II 24-hr 100yr Rainfall=5.54"  
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**Summary for Pond 1P: (new Pond)**

Inflow Area = 8,772 sf, 78.45% Impervious, Inflow Depth = 4.40" for 100yr event  
Inflow = 1.55 cfs @ 11.95 hrs, Volume= 3,215 cf  
Outflow = 0.60 cfs @ 12.04 hrs, Volume= 3,214 cf, Atten= 61%, Lag= 5.7 min  
Discarded = 0.07 cfs @ 12.04 hrs, Volume= 2,547 cf  
Primary = 0.53 cfs @ 12.04 hrs, Volume= 667 cf

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.02 hrs / 3  
Peak Elev= 1,108.69' @ 12.04 hrs Surf.Area= 386 sf Storage= 1,336 cf  
Plug-Flow detention time= 173.7 min calculated for 3,214 cf (100% of inflow)  
Center-of-Mass det. time= 173.4 min (955.6 - 782.2)

Volume	Invert	Avail Storage	Storage Description
#1	1,098.75'	484 cf	10.67'D x 10.00'H Vertical Cone/Cylinder Z=0.3 1,491 cf Overall - 282 cf Embedded = 1,209 cf x 40.0% Voids
#2	1,098.75'	396 cf	10.67'D x 10.00'H Vertical Cone/Cylinder Z=0.2 1,271 cf Overall - 282 cf Embedded = 989 cf x 40.0% Voids
#3	1,100.75'	233 cf	6.67'D x 6.67'H Vertical Cone/Cylinder Inside #1 282 cf Overall - 4.0" Wall Thickness = 233 cf
#4	1,100.75'	233 cf	6.67'D x 6.67'H Vertical Cone/Cylinder Inside #2 282 cf Overall - 4.0" Wall Thickness = 233 cf
		1,346 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Primary	1,108.92'	4.0" Round Culvert L= 22.0' CPP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Inverts= 1,106.92' / 1,105.50' S= 0.0645 / 7' C= 0.900 n= 0.010 PVC, smooth interior, Flow Area= 0.09 sf 3,000 in/hr Exfiltration over Wetted area
#2	Discarded	1,098.75'	

Discarded OutFlow Max=0.07 cfs @ 12.04 hrs HW=1,108.69' (Free Discharge)  
=2=Exfiltration (Exfiltration Controls 0.07 cfs)

Primary OutFlow Max=0.53 cfs @ 12.04 hrs HW=1,108.69' (Free Discharge)  
=1=Culvert (Inlet Controls 0.53 cfs @ 6.10 fps)

CONTROL SECTION: NA  
MDOT JOB NO.: NA

MTE PROFESSIONAL ENGINEERING SERVICES  
Phone: (617) 437-4344 Fax: (617) 437-4344

PROPOSED PEDIATRIC CLINIC  
DETAIL SHEET

3

DATE: 06-18-19	SHEET 1 OF 3
CADD: MWT	ENG: MWT
PLG: MWT	CHK: MWT
39 N ST SPT	NA

MTE JOB No. **01914**





**TO: Planning Commission**

**FROM: Zoning Administrator**

**DATE: July 16, 2019**

**RE: Wells Apartments Project**

**Background:** Spire Development of Columbus, Ohio has submitted documents for a new multi-tenant housing development. The drawings that are in the packet were submitted to the Planning Office on July 2, 2019. On July 8, 2019, a preliminary review meeting was held with the City Department Heads. Included in the packet are the results of that meeting.

# CITY OF HILLSDALE



ALAN C. BEEKER  
ZONING ADMINISTRATOR  
97 NORTH BROAD STREET  
HILLSDALE, MICHIGAN 49242-1695  
(517) 437-6449 FAX: (517) 437-6450

July 8, 2019

Below is a list of the items cited during the meeting to review the plans of the proposed multi-family apartment building to be located at 54 North West Street.

Present: Matt Taylor (City Engineer), Scott Hephner (Police & Fire Chief), Mark Hawkins (Deputy Fire Chief), Jake Hammel (Dept. of Public Services Director), Bill Briggs (Board of Public Utilities Water Dept.), Chad Culbert (Board of Public Utilities Electric Dept.), Alan Beeker (Zoning Administrator), Chris McArthur (Board of Public Utilities Director) and Randall Woodings (Architect).

Present by Conference Call: Scott Harold and Tom Grywalski (Spire Development)

## City Engineer

- Add notes to drawings re: BPU and MDOT specifications.
- Include site lighting plan and photometrics.

## Public Services

- New ADA compliant sidewalk to be installed along N. West and Westwood St. frontages.
- Drive Approaches to be MDOT "M" style.
- All Street Dept. details to be MDOT specified.

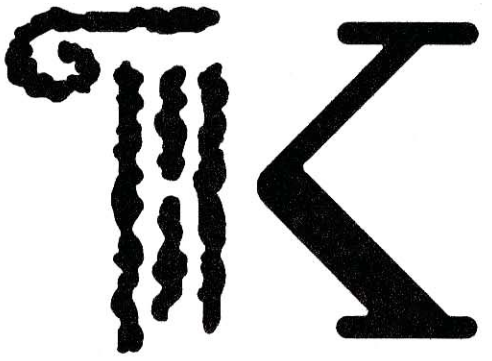
## Public Safety

- Building Fire Protection connections to be "Y" style Siamese.
  - Specify clearances at connections on drawings.

## Board of Public Utilities (BPU)

- Demolition
  - Remove abandoned utilities back to mains and repair right-of-way.
- BPU to perform flow test on adjacent fire hydrants and send results to Architect.
- BPU to send City Standard specifications to Architect.
- Show new sanitary line on drawings.
- Elec. Service to be 3 ph. 120/208/3ph available at southeast pole on site.

The Planning Commission will review the drawings at the regular meeting which will be held on July 16, 2019 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 2<sup>nd</sup> Floor Conference Room.



**KONTOGIANNIS  
& ASSOCIATES**

ARCHITECTURE  
PLANNING  
DESIGN

400 SOUTH FIFTH ST  
SUITE 400  
COLUMBUS, OHIO  
43215-5492

PHONE: 614-224-2083  
FAX: 614-224-4736  
E-MAIL: architects@kontogiannis.com

# WELLS APARTMENTS HILLSDALE, MICHIGAN

DEVELOPER: SPIRE DEVELOPMENT, INC.  
1201 DUBLIN ROAD  
SUITE 147  
COLUMBUS, OHIO 43215

DEVELOPER: FAIRFIELD HOMES, INC.  
603 WEST WHEELING STREET  
LANCASTER, OHIO 43130

JULY 1, 2019 PLANNING COMMISSION REVIEW

PROJECT:

**WELLS  
APARTMENTS**

DRAWING INDEX

- COVER SHEET
- 1 - EXISTING CONDITIONS
- 2 - SITE AERIAL & ZONING
- 3 - SITE PLAN
- 4 - SITE UTILITY PLAN
- 5 - SITE GRADING PLAN
- 6 - SITE LANDSCAPING PLAN
- 7 - BUILDING ELEVATIONS

HILLSDALE, MI 49242

DRAWING TITLE:  
COVER SHEET

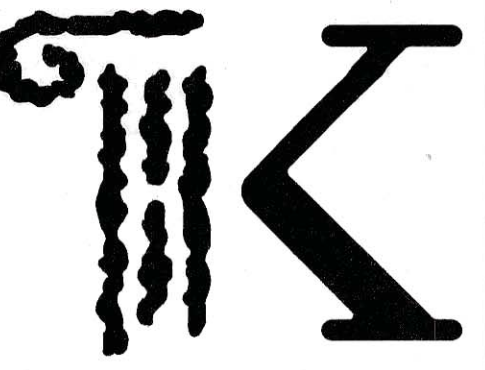
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PROJECT:  
**WELLS APARTMENTS**



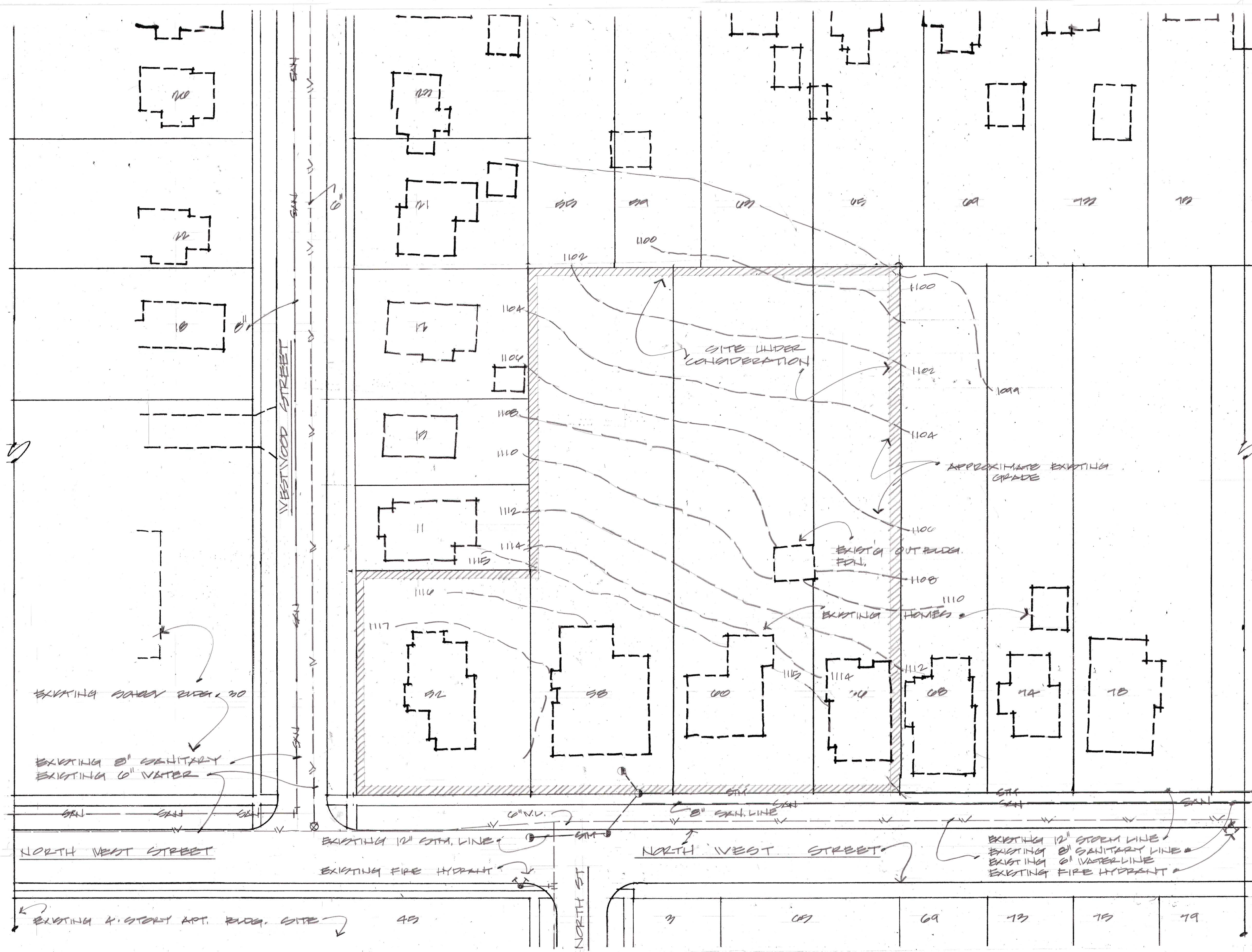
HILLSDALE, MI 49242

DRAWING TITLE:  
**EXISTING CONDITIONS PLAN**

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**EXISTING CONDITIONS PLAN**

SCALE: 1" = 30'



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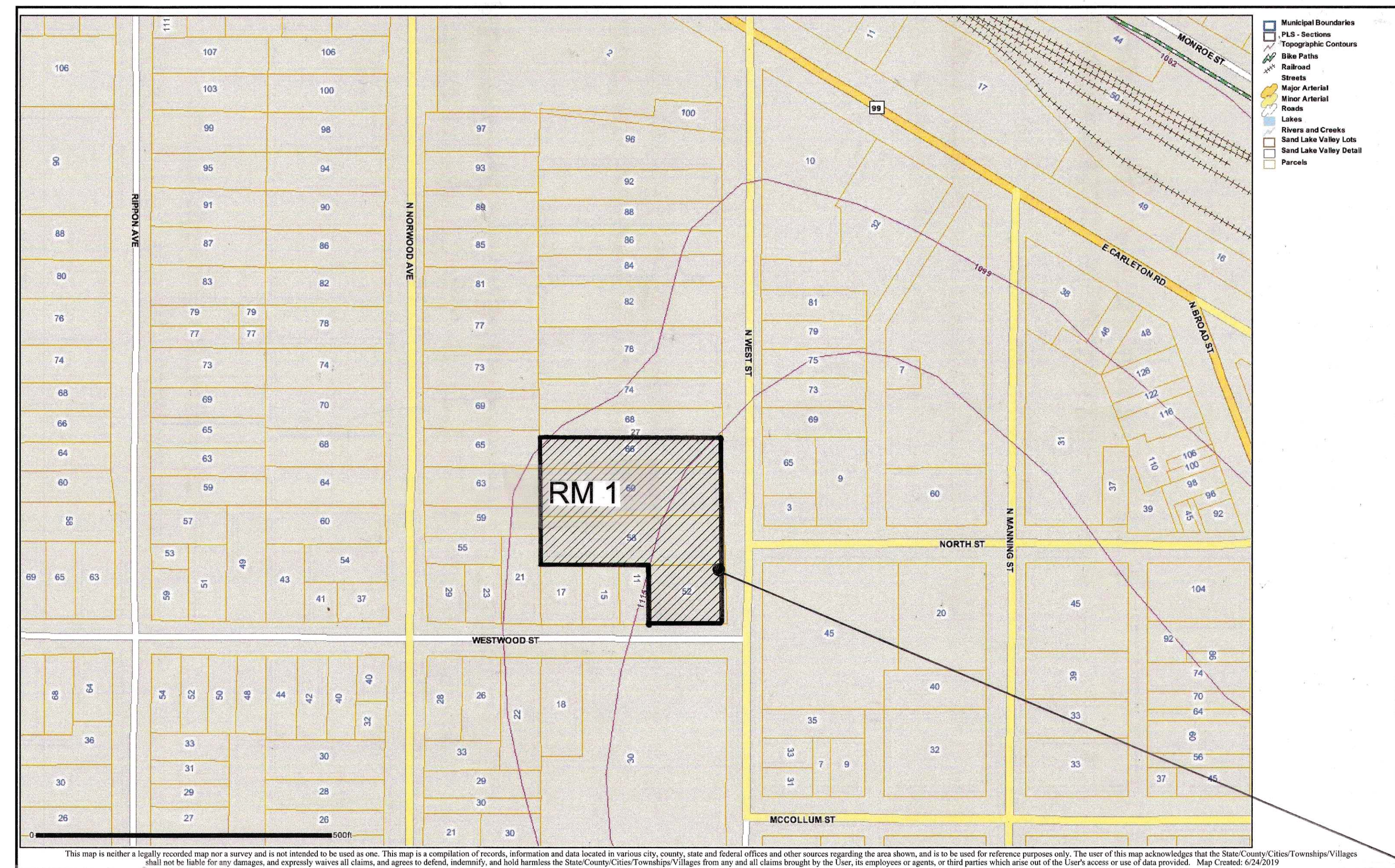


**AERIAL PHOTO**  
SEE VISUAL SCALE



**SITE LOCATION**

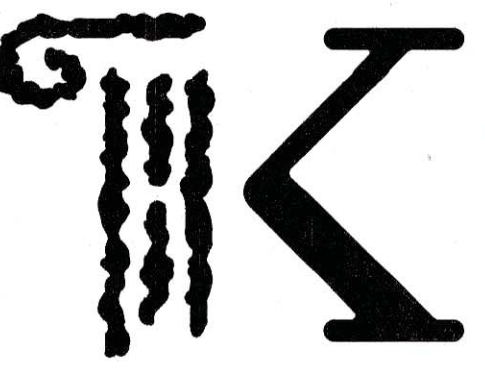
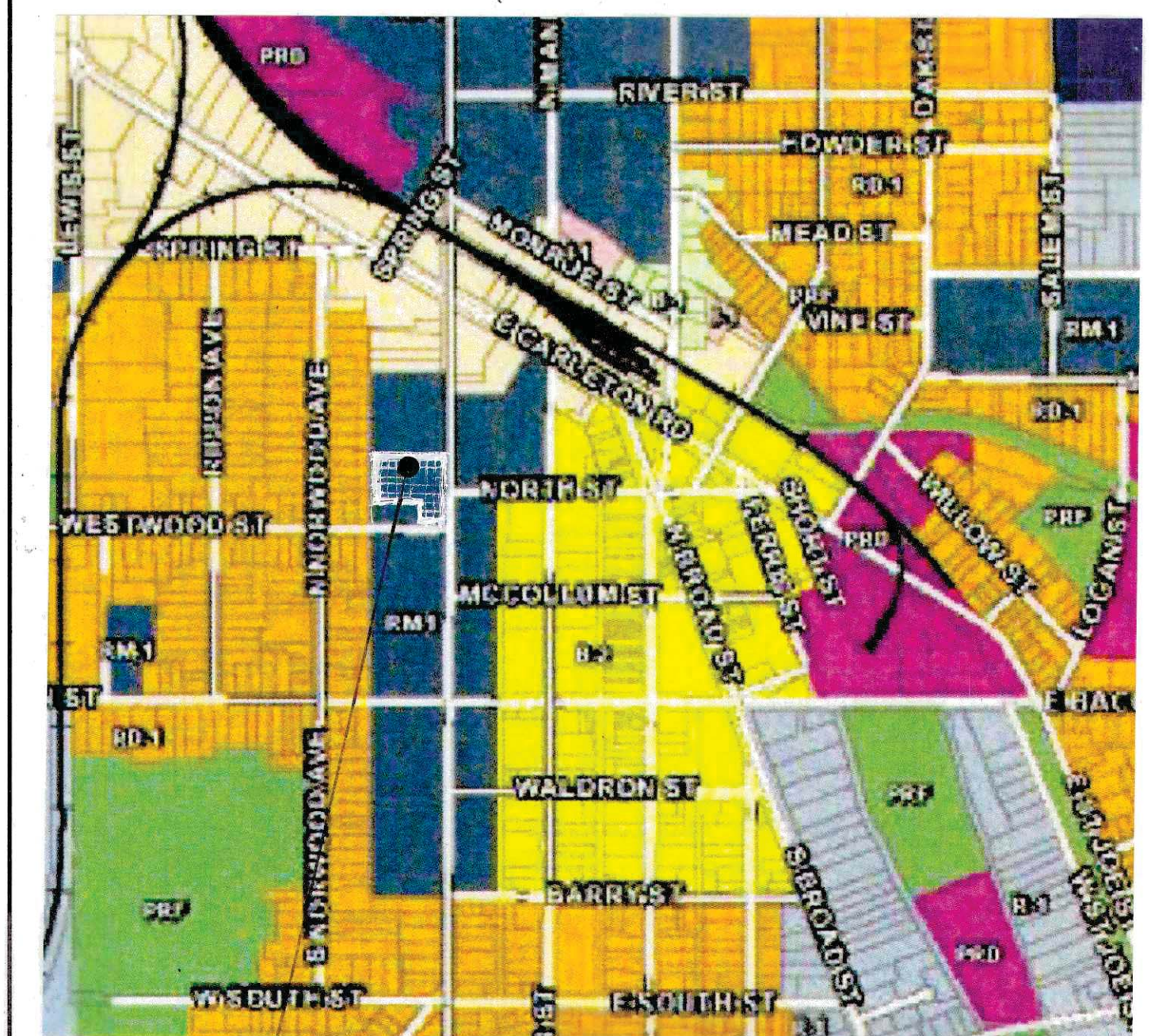
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**ZONING PLAN**  
SEE VISUAL SCALE



**SITE LOCATION**



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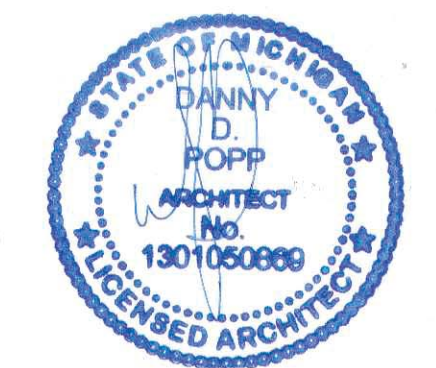
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PROJECT:

**WELLS  
APARTMENTS**



HILLSDALE, MI 49242

DRAWING TITLE:  
**AERIAL / ZONING**

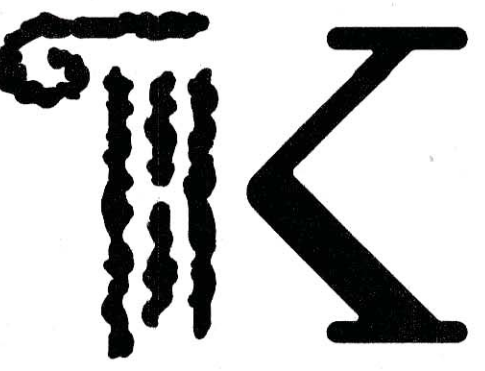
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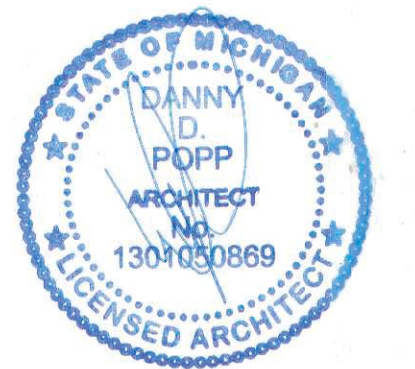
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PROJECT:

**WELLS  
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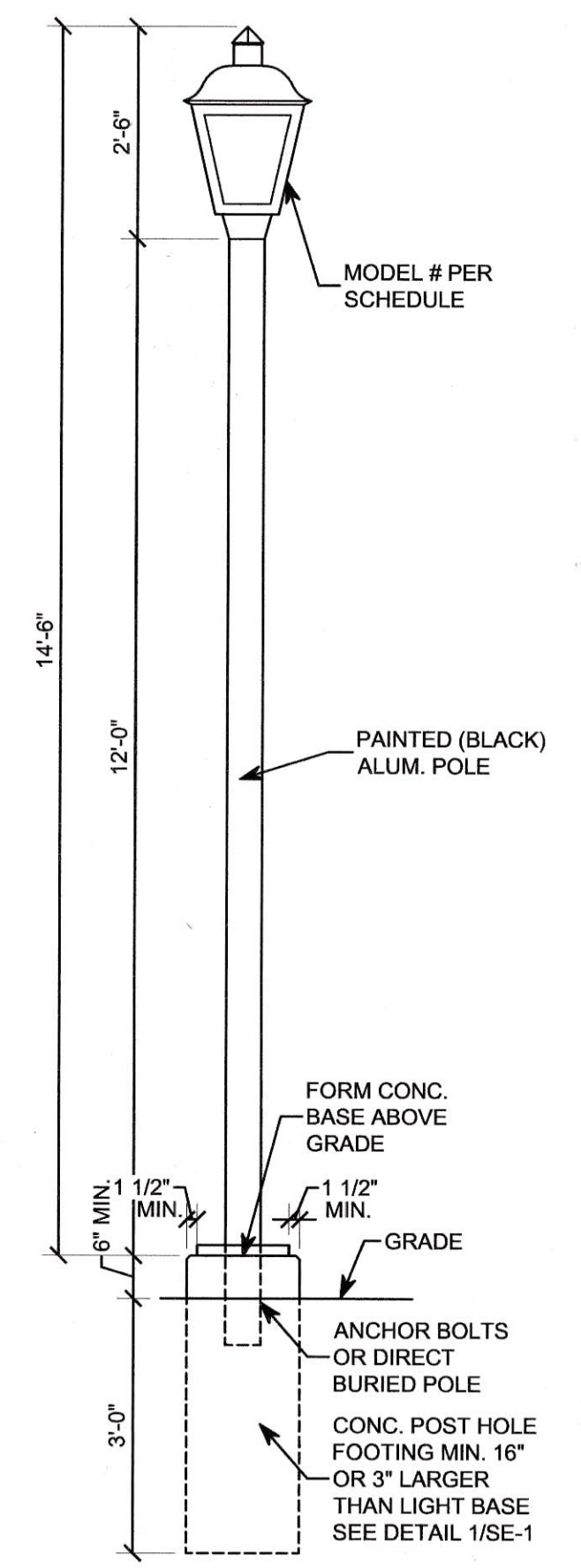
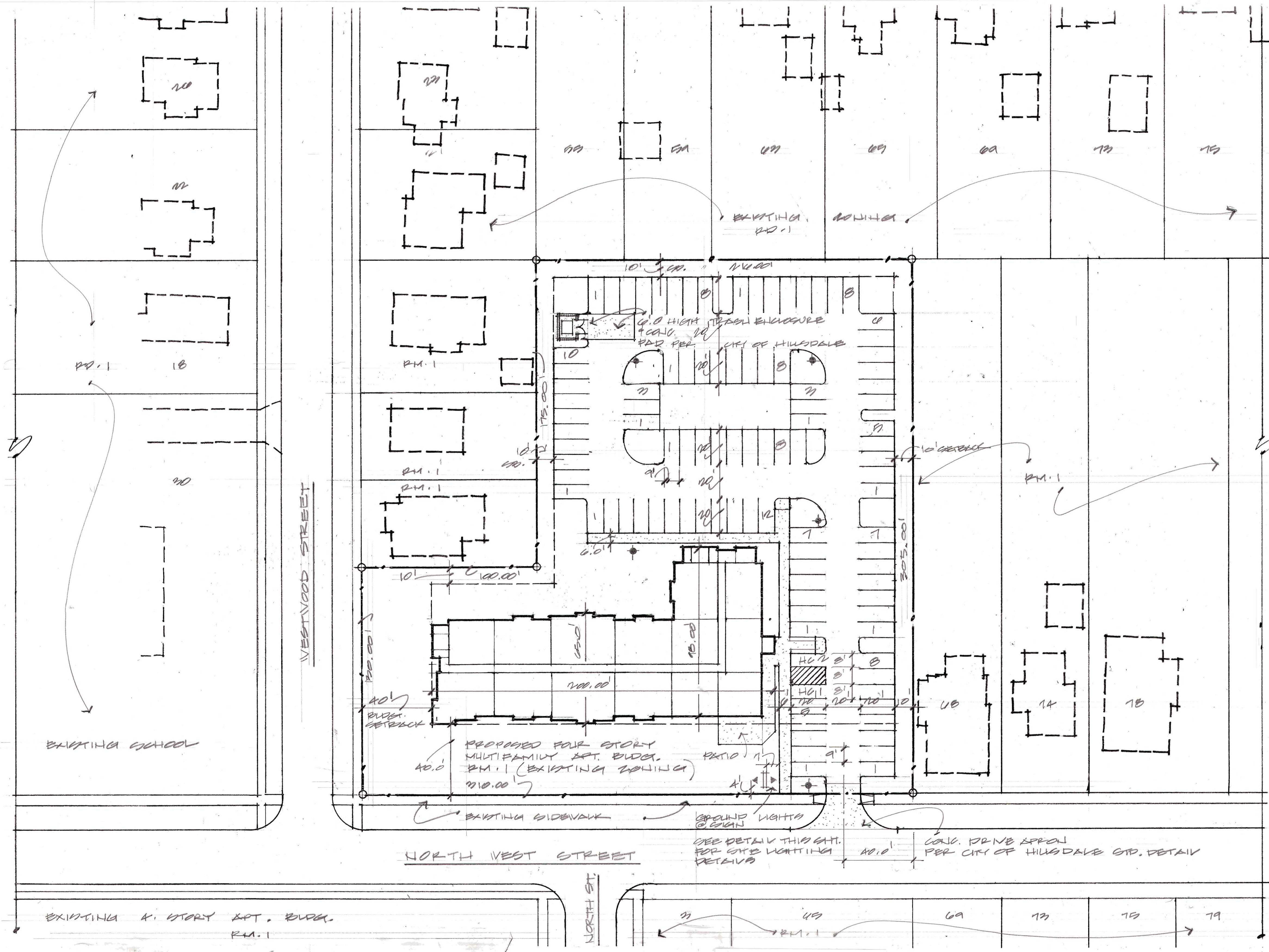
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DRAWING TITLE:  
**SITE PLAN**

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**LIGHT & POLE DETAIL**

SCALE: 1/2" = 1'-0"

OWNER  
SPIRE DEVELOPMENT, INC.  
1201 DUBLIN ROAD, SUITE 147  
COLUMBUS, OHIO 43215  
CONTACT: SCOTT HARROLD  
TEL: 937-477-6497

DESIGN PROFESSIONAL  
KONTOGIANNIS & ASSOCIATES  
400 SOUTH FIFTH STREET, SUITE 400  
COLUMBUS, OHIO 43215  
CONTACT: RANDALL WOODINGS  
TEL: 614-222-4401

JOINT VENTURE WITH MICHIGAN ARCHITECT  
DDP & ASSOCIATES  
DANNY POPP  
855 EAST COOKE ROAD  
COLUMBUS, OHIO 43224  
CONTACT: DANNY POPP  
TEL: 740-676-6335

**SITE PARKING**  
REQ'D FOR 50 UNITS - 2 SPACES/UNIT = 100  
PROVIDED - 100 SPACES

**SITE SURFACE:** 1.78 ACRES / 77,994.00 S.F.  
**TOTAL UNITS:** 50 UNITS  
18. 1BR. UNITS  
24. 2BR. UNITS  
8. 3BR. UNITS

**LOT COVERAGE:** 10,007 ÷ 77,994.00 = 12.83%  
**BLDG. HEIGHT:** 4 STORIES W/ GABLE ROOF  
28.07 TO ROOF  
41.00 TO TOP COPING @ ROOF

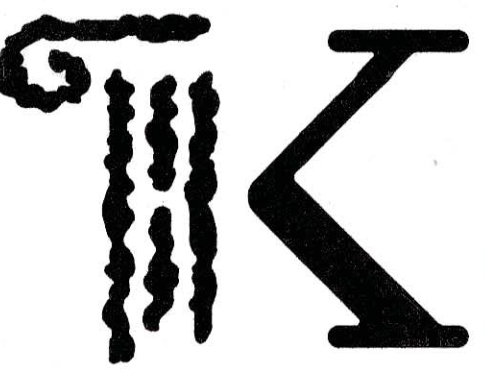
SEE SITE UTILITY SH. FOR IMPROVEMENTS/PREVIOUS APPLIC.  
USE GROUPS R-2 CONSTRUCTION TYPE SA  
OCCUPANCY LOADS SA, 500 ÷ 100 = 272.5A  
SPRINKLER SYSTEM: NFPA - 12R

**SITE PLAN**

SCALE: 1" = 30'







**KONTOGIANNIS & ASSOCIATES**

ARCHITECTURE  
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DESIGN

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PROJECT:

# WELLS APARTMENTS



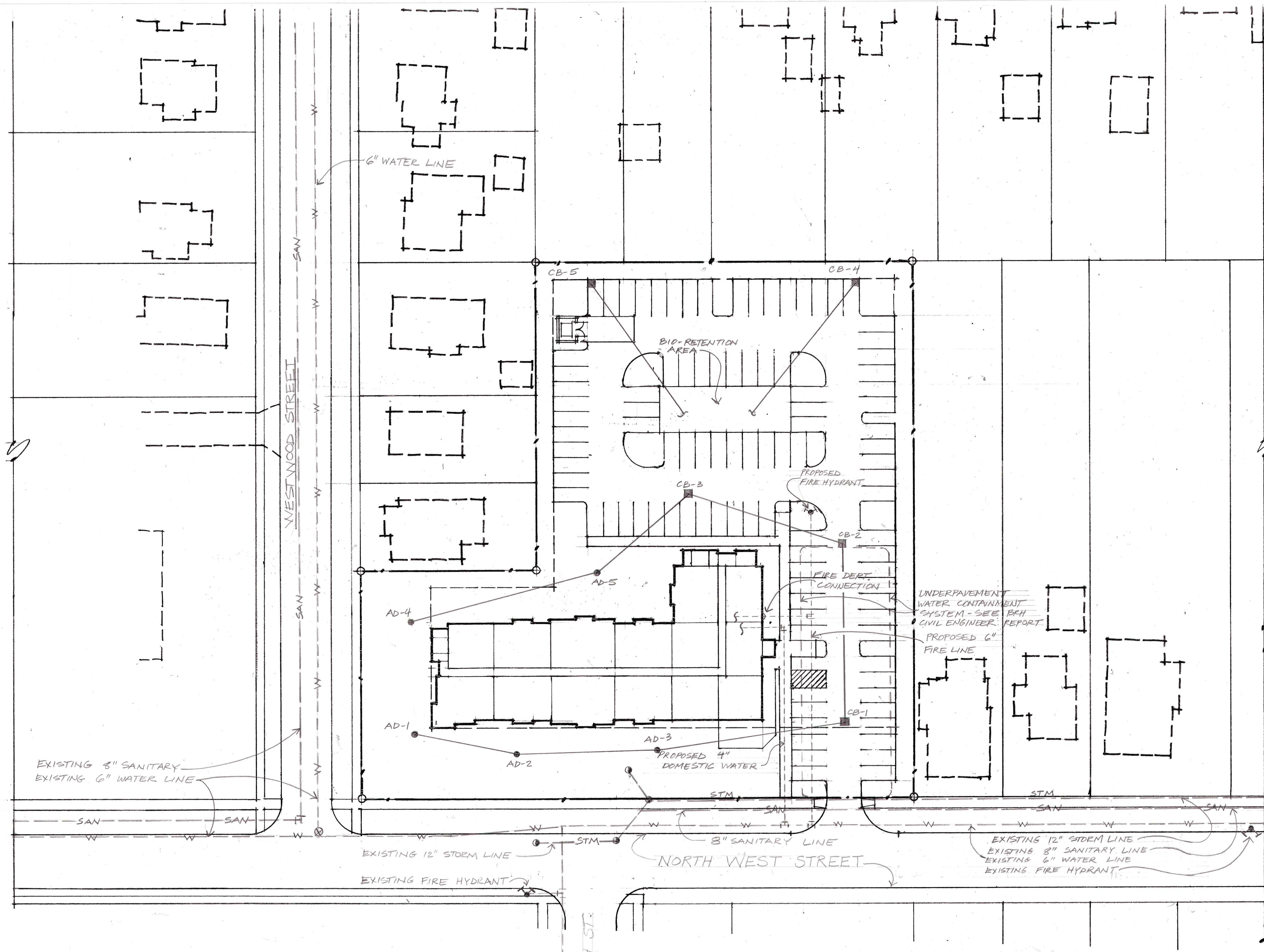
HILLSDALE, MI 49242

DRAWING TITLE:  
SITE UTILITY  
PLAN

DATE: 07/01/2019  
REVISED:

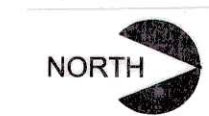
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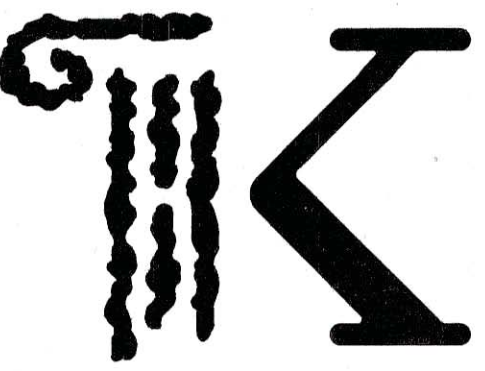
SITE AREA SUMMARY	
ROOF	13,627.00 SQ.FT.
SIDEWALK	1,738.00 SQ.FT.
PAVEMENT	30,265.00 SQ.FT.
DETENTION / RETENTION	SEE ENGINEER'S REPORT / BURRIED STORAGE AREAS
GRASS / LANDSCAPE	31,906.80 SQ.FT.
TOTAL AREA	77,536.80 SQ.FT.

**SITE UTILITY PLAN**  
SCALE: 1" = 30'



7/2/2019 12:55:01 PM, ggersheimer





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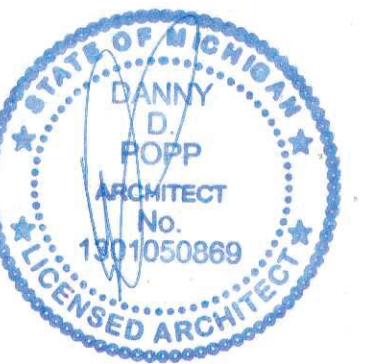
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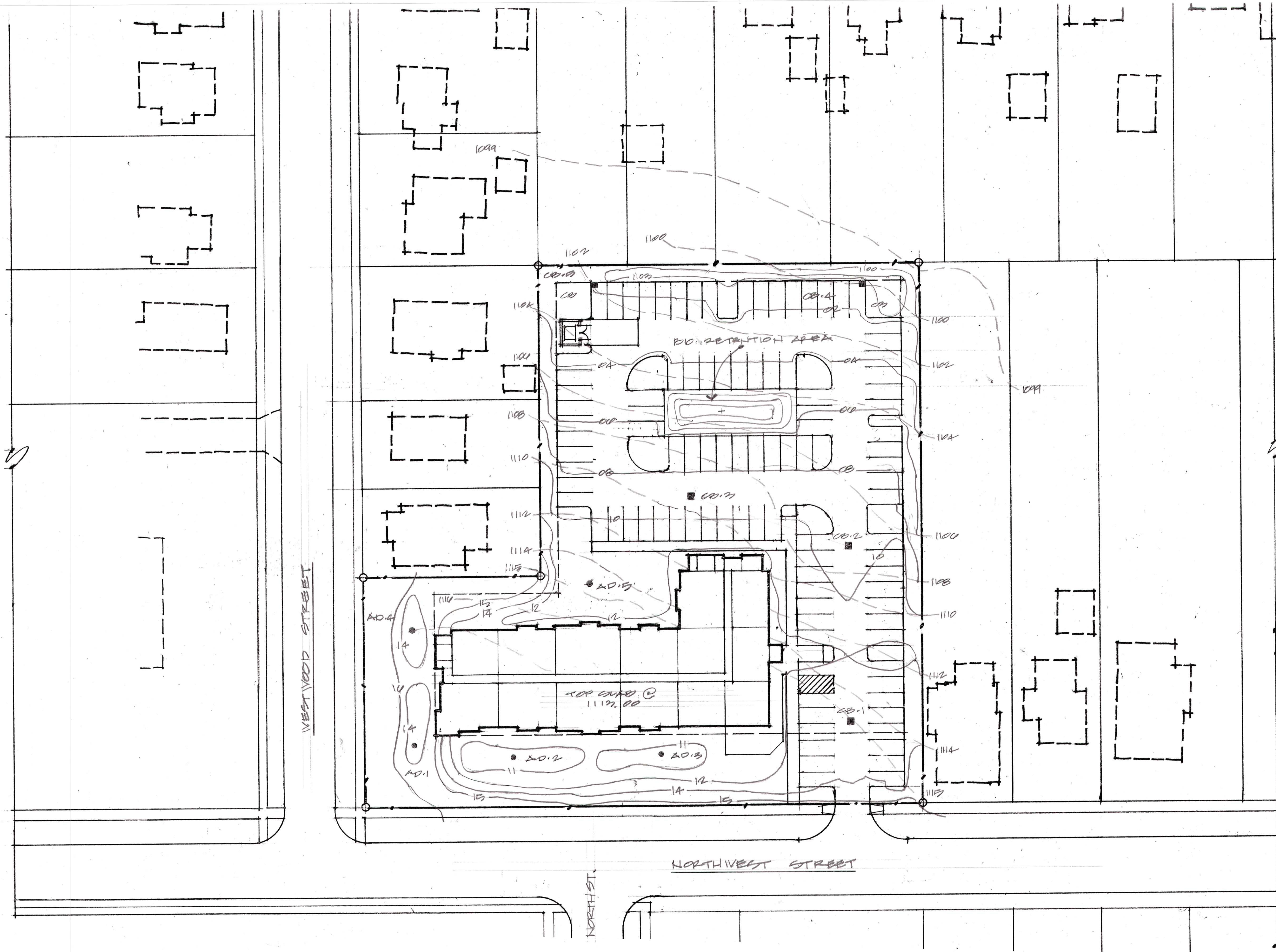
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DRAWING TITLE:  
**SITE GRADING  
PLAN**

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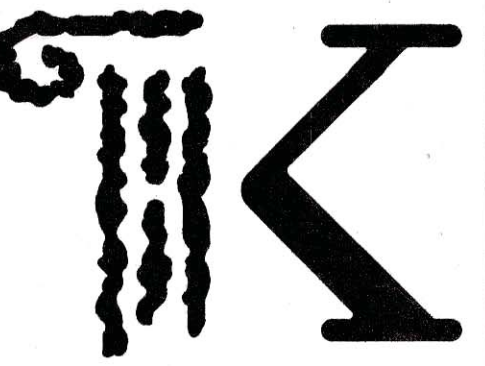


**SITE GRADING PLAN**

SCALE: 1" = 30'







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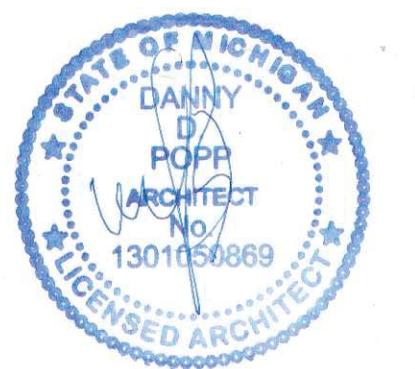
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APARTMENTS**



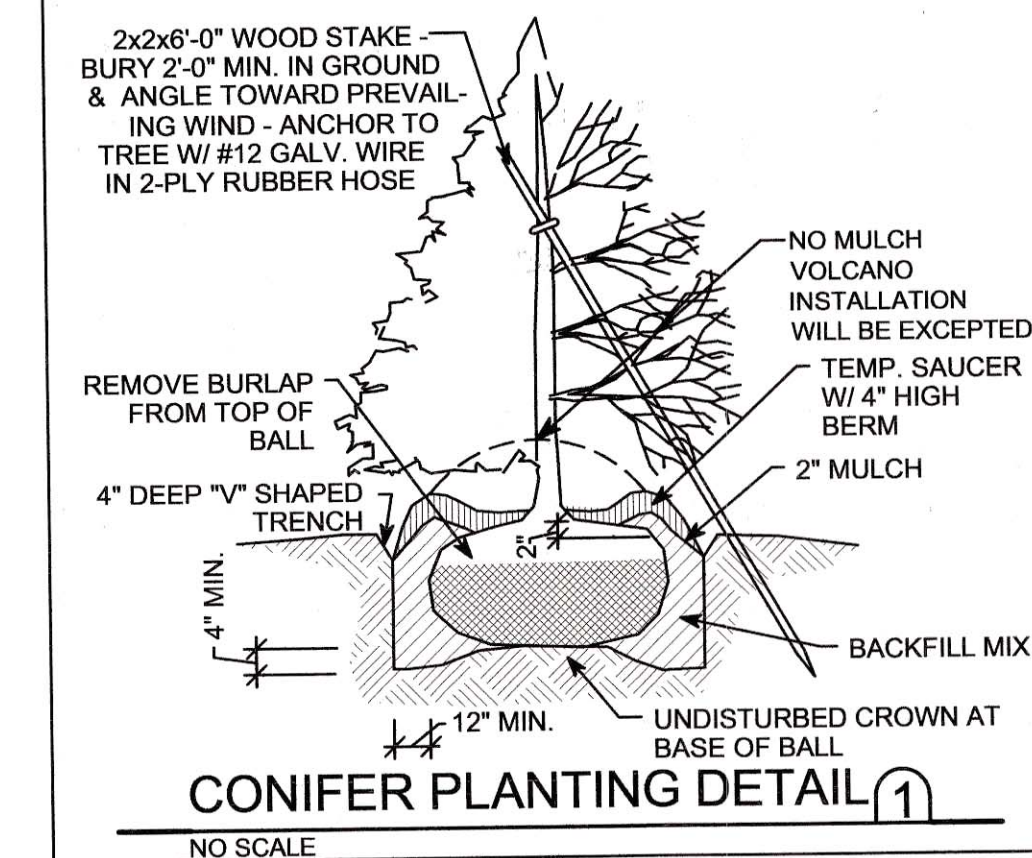
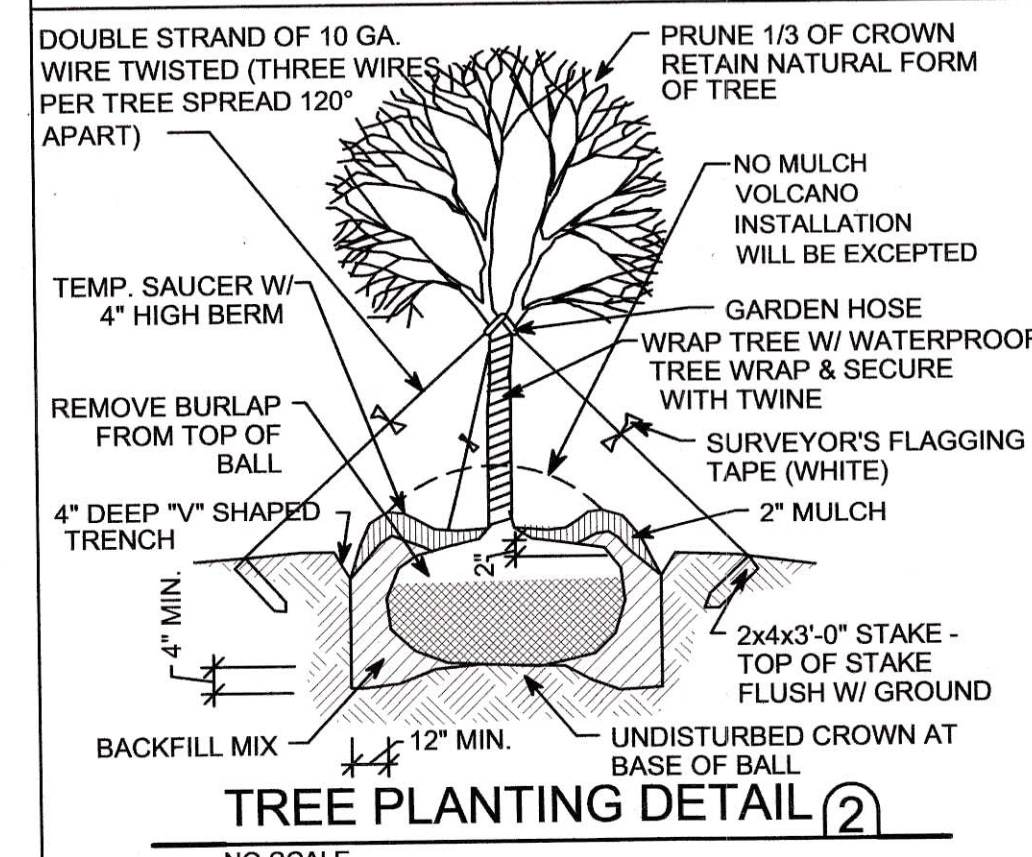
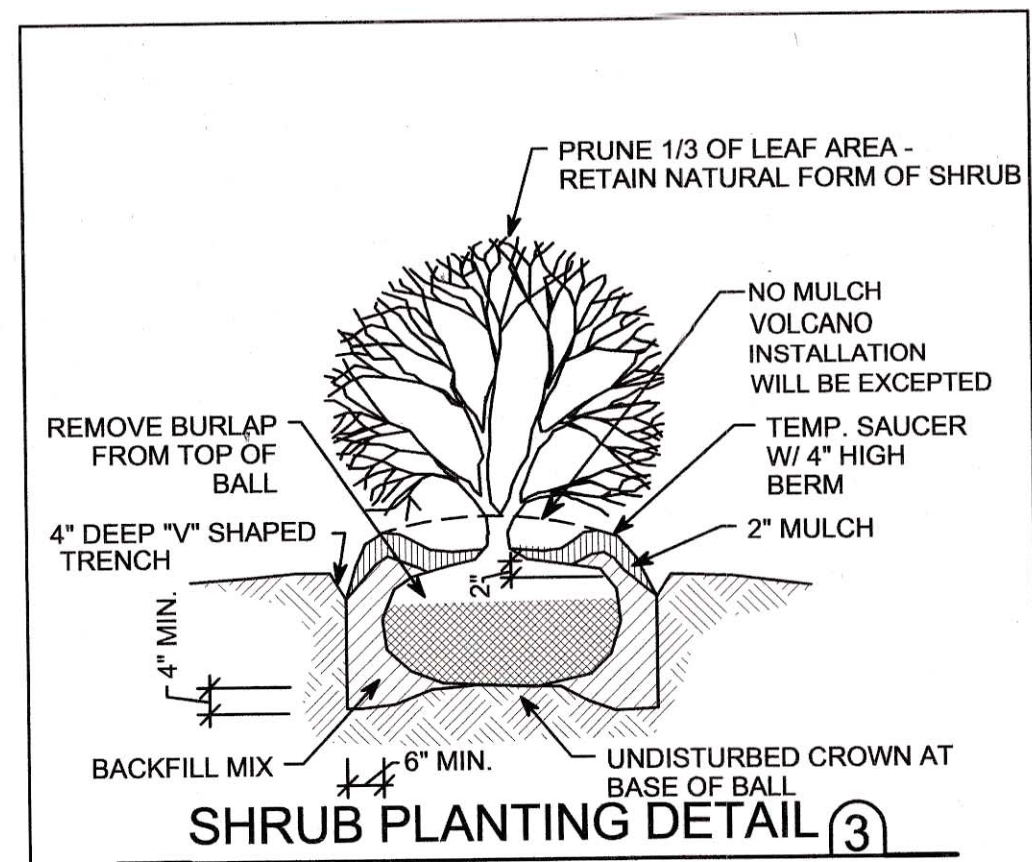
HILLSDALE, MI 49242

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**SITE LANDSCAPE  
PLAN**

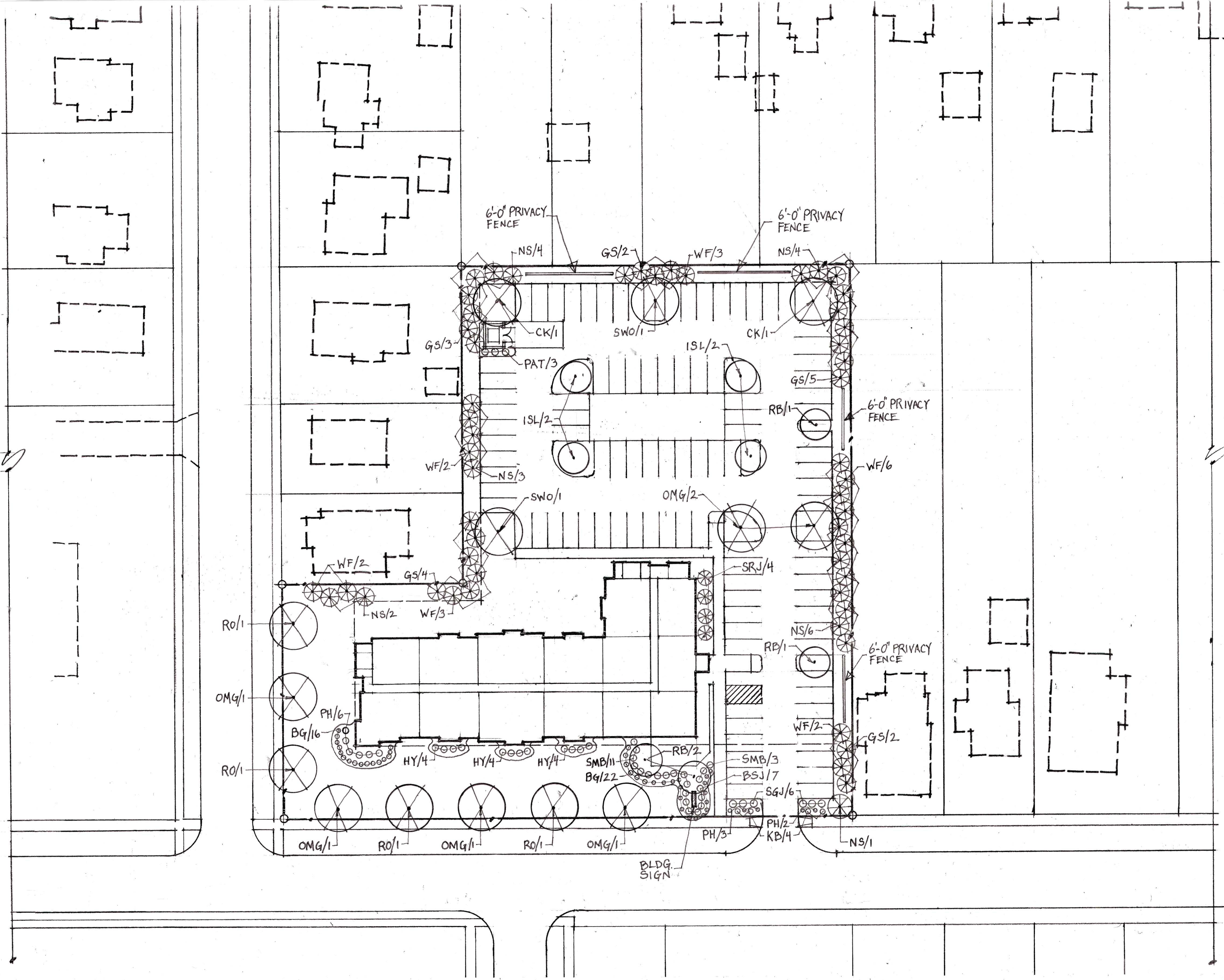
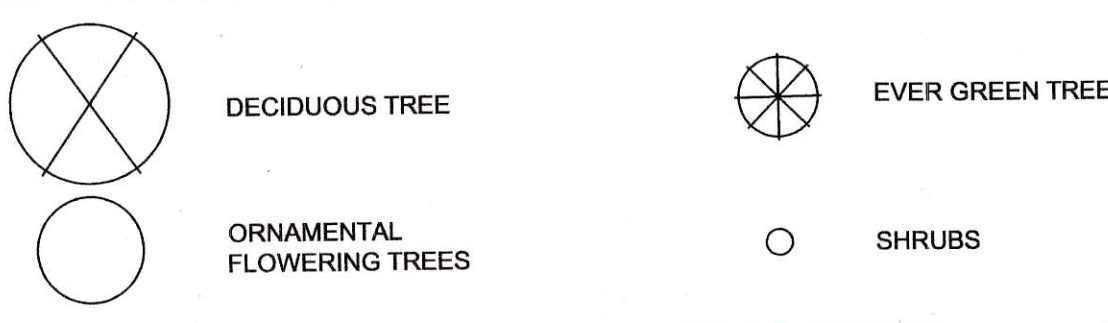
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PLANT LIST				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
<b>EVERGREEN TREES</b>				
WF	WHITE FIR	ABIES CONCOLOR	6'-0" HIGH	B & B
GS	GREEN SPRUCE	PICEA PLUNGENS	6'-0" HIGH	B & B
NS	NORWAY SPRUCE	PICEA ABIES	6'-0" HIGH	B & B
SRJ	SKYROCKET JUNITER	JUNIPERUS "SKYROCKET"	6'-0" HIGH	B & B
<b>ORNAMENTAL TREES</b>				
AE	SPRING FLURRY SERVICE BERRY	AMELANCHIER LAEVIS	2 1/2" CAL.	PLANT @ 15'-0" O.C.
MC	CORALBURST CRAB APPLE	MALUS X "CORALBURST"	1 1/2" CAL.	PLANT @ 15'-0" O.C.
RB	EASTERN RED BUD	CERCIS CANADENSIS	1 1/2" CAL.	PLANT @ 15'-0" O.C.
<b>DECIDUOUS TREES</b>				
ASB	AUTUMN SPLENDOR BUCKEYE	AESCULUS 'AUTUMN SPLENDOR'	2 1/2" CAL.	B & B
ISL	IVORY SILK LILAC	SYRINGA RETICULATA	2 1/2" CAL.	B & B
SWO	SWAMP WHITE OAK	QUERCUS BICOLOR	2 1/2" CAL.	B & B
OGM	RED MAPLE - OCTOBER GLORY	ACER RUBRUM 'OCTOBER GLORY'	2 1/2" CAL.	B & B
CK	CRIMSON KING	ACER PLATANOIDES 'CRIMSON KING'	2 1/2" CAL.	B & B
RO	RED OAK	QUERCUS RUBRA	2 1/2" CAL.	B & B
<b>SHRUBS</b>				
BG	GLODE WINTER GEM BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	24" HT.	B & B
KB	KOREAN 'WINTERGREEN' BOXWOOD	BUXUS MICROPHYLLA 'KOREANA'	24" MIN.	B & B
CAK	FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOESTER'	#2	CONT.
PH	HAMELN DWARF FOUNTAIN GRASS	FENISTETUM ALOPECUROIDES 'HAMELN'	#2	CONT.
BSJ	BLUE STAR JUNIPER	JUNIPERUS SQUAMATA	18" MIN.	PLANT @ 3'-0" O.C.
GTJ	GOLD TIP JUNIPER	JUNIPERUS GOLD TIP	18" MIN.	
SGJ	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	18" MIN.	
BB	BURNING BUSH	EUONYMUS ALATA	18" MIN.	
HY	HOLLY	ILEX CARLISLE	18" MIN.	
SMB	SMOKE BUSH	COTINUS COGOCYRIA	3'-4" HIGH	
PA	PYRAMIDAL ARBORVITAE	THUJA OCCIDENTALIS 'PYRAMIDALIS'	4'-0" HIGH	SPACE MAX. 38" O.C.
PAT	PYRAMIDAL ARBORVITAE	THUJA OCCIDENTALIS 'PYRAMIDALIS'	6'-0" HIGH	SPACE MAX. 38" O.C.

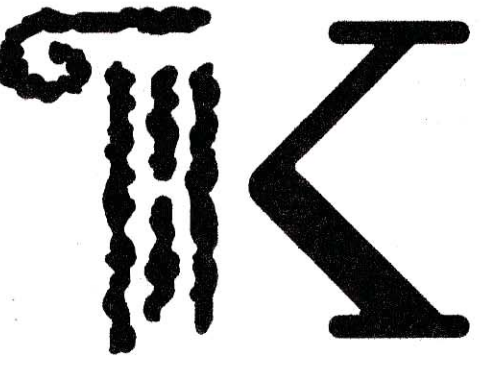


**SITE LANDSCAPE PLAN**

SCALE: 1" = 30'







**KONTOGIANNIS  
& ASSOCIATES**

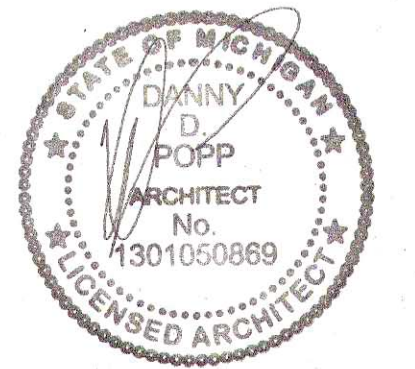
ARCHITECTURE  
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PROJECT:

**WELLS  
APARTMENTS**



HILLSDALE, MI 49242

DRAWING TITLE:  
**BUILDING  
ELEVATIONS**

DATE: 07/01/2019  
REVISED:



**NORTH WEST STREET ELEVATION**

SCALE: 1/8" = 1'-0"

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- ZONING SET 07/01/2019
- BID SET
- PERMIT SET
- CONSTRUCTION SET